

Record Detail (This section is required.)

Permit Type Building/Residential/New/Duplex Permit Number B25002210 Opened Date 06/05/2025

Description of Work SF DUPLEX/ DAVENPORT/, 2 STORY, Full Basement, Basement = Partially Finished, 8R, 4FB, 0HB, 0FP, 2 Car Attached, 2BR, Rear Porch, ENERGY METHOD = Performance Method, null.

Approved, [Signature] 8/7/25

check spelling

Address (This section is required.)

Search Reset Clear Get Parcel & Owner
Street # 12150 Street Name NICOLAR Street Type DR
Unit Type -Select-- Unit # X Coordinate Y Coordinate
City FULTON State MD Zip Code 20759 Primary Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner
GIS ID 11062622 Parcel 0135 Parcel Area 0 Land Value 0 Improved Value 0 Exemption Value 0 Plan Area RURAL
Legal Description

check spelling

Block 24 Lot PAR A Census Tract 605102 Council Dist 4 Inspection Dist Supervisor Dist Map # DAP Zone
Plan Area State Tax Id Subdivision Name The Highlands
Section Area Tax Map 41
Grid 41-19 Zoning District RR-DEO ADC Map 5052-A6
SDP No. SDP-23-018 Final Plan No. ECP-17-056 WP File No.
Record Plat No. 26646-2665 WS Contract No. FDP No. Primary Yes
Owner Occupied Year Built Historic District
Historic District Registry No. Stat Area 5-15A Flood Plain
Building No

Owner (This section is not required.)

Search Reset Clear
Name NVR, II
Address Line 1 11700 PLAZA AMERICAN DRIVE, SUITE #500
Address Line 2
Address Line 3
Mail City RESTON
Mail State VA
Mail Zip Code 20190
Phone 703-956-4000
Primary Yes
E-mail

mbertoni@nvrinc.com

Cell Number

Fax Number

4103795956

Professionals (This section is not required.)

License # \* 56  
 License Type \* Home Bldr  
 Primary Yes

Business Name NVR, INC. T/A NV HOMES AND RYAN HOMES

First Name Middle Name Last Name  
 Matt Berton

Address Line 1  
 Address Line 2  
 11700 PLAZA AMERICA DRIVE, SUITE #500

City RESTON State VA ZIP Code 20190

Phone 1 7039564000 Phone 2 4103795956 Fax

E-mail mbertoni@nvrinc.com

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type \* Applicant  
 Relationship Applicant  
 Primary No

First Name MI Last Name  
 JAMES J KERWIN

Full Name  
 JAMES J KERWIN

Organization Name  
 DECATUR BUILDING SERVICES

Street Address  
 PO Box 552  
 Address Line 2

City WOODBINE State MD Zip Code 21797

Phone 4433097792 Cell 4433097792 Fax

E-mail jim@decaturbuildingservices.com

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Contact  
 Relationship Agent for Owner  
 Primary Yes

First Name MI Last Name  
 Matt Berton

Full Name  
 Matt Berton

Organization Name  
 NVR, INC. T/A NV HOMES

Street Address  
 7080 Samuel Morse Drive  
 Address Line 2

City Columbia State MD Zip Code 21046

Phone 7039564000 Cell 4103795956 Fax

E-mail mbertoni@nvrinc.com

Addtl Info

Est Construction Cost \* 180000  
 Housing Units \* 0  
 Number of Buildings \* 0  
 Public Owned No

Construction Type  
 102 - Single Family Houses Attached (Duplexes/Townhouses)

BUILDING INFORMATION

BUILDING INFORMATION

Capital Project-No Fee \*

Capital Project #

Fee Exempt \*

Roadside Tree Project Permit

Roadside Tree Project Permit #

Yes  No  
**Guaranty Fund**  
 Yes  No  
**No of Stories** 2 (Text)  
**Bedrooms** 2 (Number)  
**W&S Fees Paid**  Yes  No  
**1st Floor Width** 40 FT (Number)  
**Building Construction Type** Conventional  
**Location Survey Approval Date** [calendar icon]  
**U&O Issued On** [calendar icon]

Yes  No  
**Condominium**  
 Yes  No  
**Foundation** Full Basement  
**Porch Deck** Rear Porch  
**Water Supply** Private  
**1st Floor Depth** 72 FT (Number)

(Text)  
**Existing Use** Vacant Lot  
**Basement** Partially Finished  
**No of Fireplaces** 0 (Number)  
**Sewage Disposal** Private  
**2nd Floor Width** 33 FT (Number)

Yes  No  
**Model** SF DUPLEX/ DAVENPORT/  
**No of Rooms** 8 (Text)  
**Full Baths** 4 (Number)  
**Half Baths** 0 (Number)  
**Oth** 2 (Number)

**Type of Fireplace** --Select--  
**Energy Code** Performance Method  
**Utilities** Gas & Electric  
**Heating System** Electric & Propane Gas  
**Sprinkler S** NFPA#13C

**2nd Floor Depth** 24 FT (Number)  
**Basement Width** 40 FT (Number)  
**Basement Depth** 68 FT (Number)  
**Height** 28 FT (Number)

**Footings** 16 X 8" (Text)  
**Foundation Measurement** 8" concrete (Text)  
**Walls** Wd. Fr. W/ Bv. & Siding

**Road Frontage** County  
**Expiration Date** 1/18/2026 [calendar icon]  
**Additional Description Info**

**U & O Comments**  
 //  
[check spelling](#)

**GRADING INFORMATION**

**Grading Permit No** G24000116 (Text)  
**Grading Certification Required**  Yes  No  
**Grading Certification Received in DILP On** [calendar icon]  
**Grading Certification**  
**Grading Certification Comments**  
**Seasonal Surety Comments**

[check spelling](#)

[check spelling](#)

**Seasonal Grading Surety Depositor** (Text)  
**Driveway Apron Surety Depositor** (Text)  
**Stormwater Surety Depositor**

**GREEN NEIGHBORHOOD INFORMATION**

**Check List Points Goal** (Text)  
**Check List Points Achieved** (Text)  
**Date of Certification** [calendar icon]

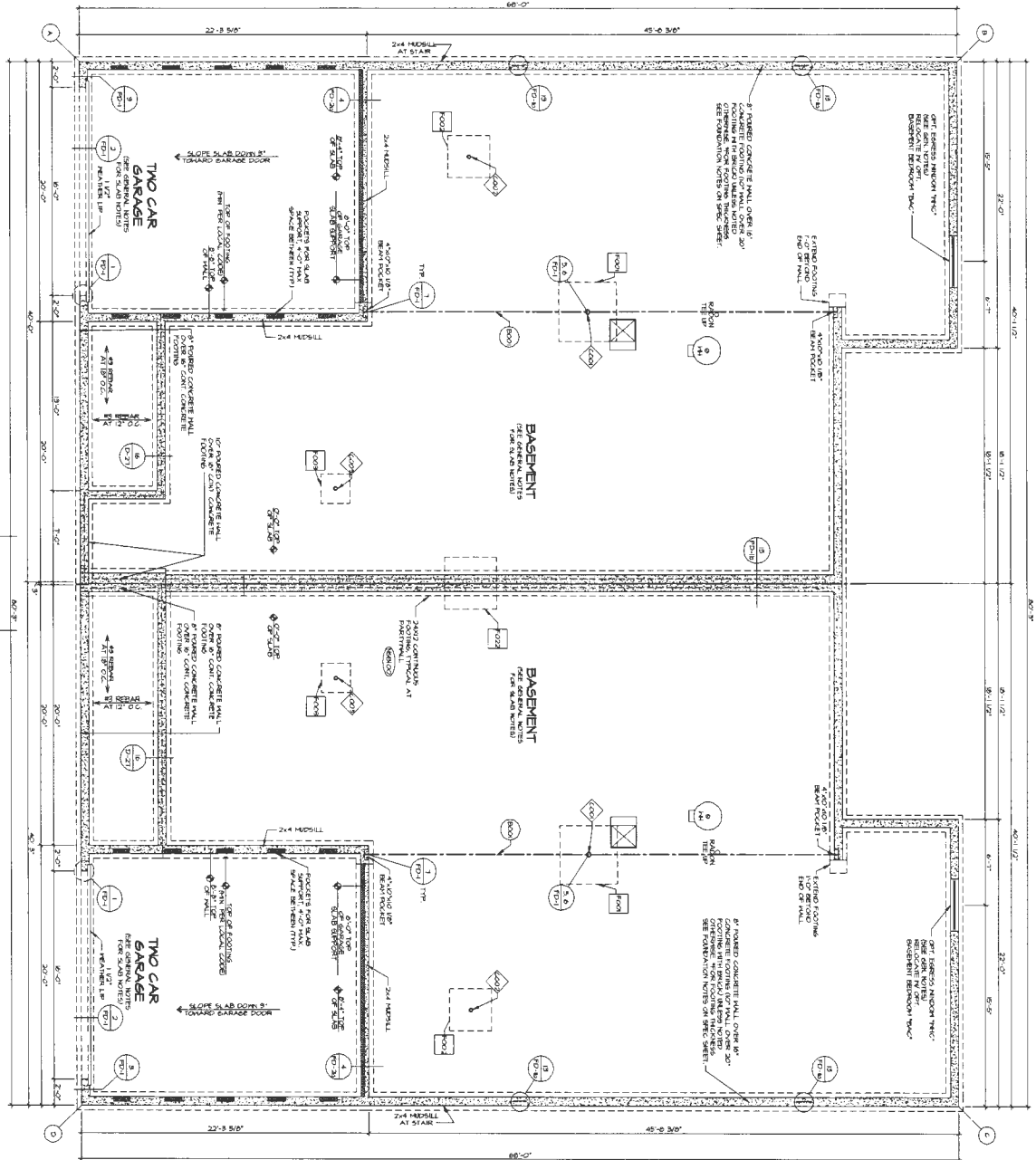
**PRIVATE ON LOT SWM FACILITIES**

**Green Roofs A1**  Yes  No  
**Permeable Pavements A2**  Yes  No  
**Reinforced Turf A3**  Yes  No  
**Disconnection of Rooftop Runoff N1** (Number)  
**Disconnection of Non Rooftop Runoff N2**  Yes  No  
**Sheetflow to Conservation Areas N3**  Yes  No  
**Rainwater Harvesting M1** (Number)  
**Submerged Gravel Wetlands M2** (Number)  
**Landscape Infiltration M3** (Number)  
**Infiltration Berms M4** (Number)  
**Dry Wells M5** (Number)  
**Micro Bioretention M6** (Number)  
**Rain Gardens M7** (Number)  
**Swales M8** (Number)  
**Enhanced Filters M9** (Number)

**Related Records**

Showing 1-5 of 31

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
G24000116	Residential Grading Permit	Issued	8500	LALLYBROCH	10/01/2024	THE HIGHLANDS/ GRADING & SEDIMENT CONTROL FC
B23002782	Residential New Townhouse Permit	Issued	8508	LALLYBROCH	07/21/2023	SFTH/CONDO/"DAVENPORT", 2 STORY, Full Basement, f
B24002741	Residential New Duplex Permit	Issued	8512	LALLYBROCH	07/24/2024	SF DUPLEX/ MODEL DAVENPORT/, 2 STORY, Full Basen
B24002746	Residential New Duplex Permit	Issued	8514	LALLYBROCH	07/24/2024	SF DUPLEX/ MODEL DAVENPORT/, 2 STORY, Full Basen
B24002747	Residential New Duplex Permit	Issued	8518	LALLYBROCH	07/24/2024	SF DUPLEX/ MODEL DAVENPORT/, 2 STORY, Full Basen



UNIT B  
ELEVATION "A"  
TWO CAR FRONT ENTRY GARAGE

UNIT A  
ELEVATION "A"  
TWO CAR FRONT ENTRY GARAGE

FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

**DIAGONALS**

NO.	DESCRIPTION
1	24" MASONRY WALL
2	12" CONCRETE SLAB
3	4" CONCRETE FOOTING

**PAD FOOTING SCHEDULE**

CONCRETE	LEASON	LEASON	LEASON	LEASON	OPTION	BAR MAT
1	1	1	1	1	1	1

**LEGEND**

- 24" MASONRY WALL
- 12" CONCRETE SLAB
- 4" CONCRETE FOOTING
- 24" MASONRY WALL OVER 4" CONCRETE FOOTING
- 12" CONCRETE SLAB OVER 4" CONCRETE FOOTING
- 4" CONCRETE FOOTING OVER 12" CONCRETE SLAB
- 24" MASONRY WALL OVER 12" CONCRETE SLAB
- 12" CONCRETE SLAB OVER 24" MASONRY WALL
- 4" CONCRETE FOOTING OVER 24" MASONRY WALL
- 24" MASONRY WALL OVER 12" CONCRETE SLAB OVER 4" CONCRETE FOOTING
- 12" CONCRETE SLAB OVER 24" MASONRY WALL OVER 4" CONCRETE FOOTING
- 4" CONCRETE FOOTING OVER 24" MASONRY WALL OVER 12" CONCRETE SLAB
- 24" MASONRY WALL OVER 12" CONCRETE SLAB OVER 4" CONCRETE FOOTING OVER 24" MASONRY WALL

**NOTES:**

1. FOUNDATION PLAN FOR UNIT A AND UNIT B.
2. FOUNDATION PLAN FOR UNIT A AND UNIT B.
3. FOUNDATION PLAN FOR UNIT A AND UNIT B.

SHEET NO. <b>A-2</b>	MODEL <b>DAVENPORT AT LYHUS</b>	SET NO. 02400
FOUNDATION PLAN	FOUNDATION PLAN	VERSION 01
OPTION DESCRIPTION	DWR #5055 - DAVENPORT DUPLEX	DRAWN BY SJR
		DATE 12/11/2010



**REV. NO. DATE**

1	12/11/2010
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**REVISIONS**

NO.	DESCRIPTION





4	BASEMENT FOUNDATION
3	FIRST FLOOR PLAN
2	SECOND FLOOR PLAN
1	FOUNDATION PLAN

**NOTE:** PERFORMING STANDARD DRAWINGS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

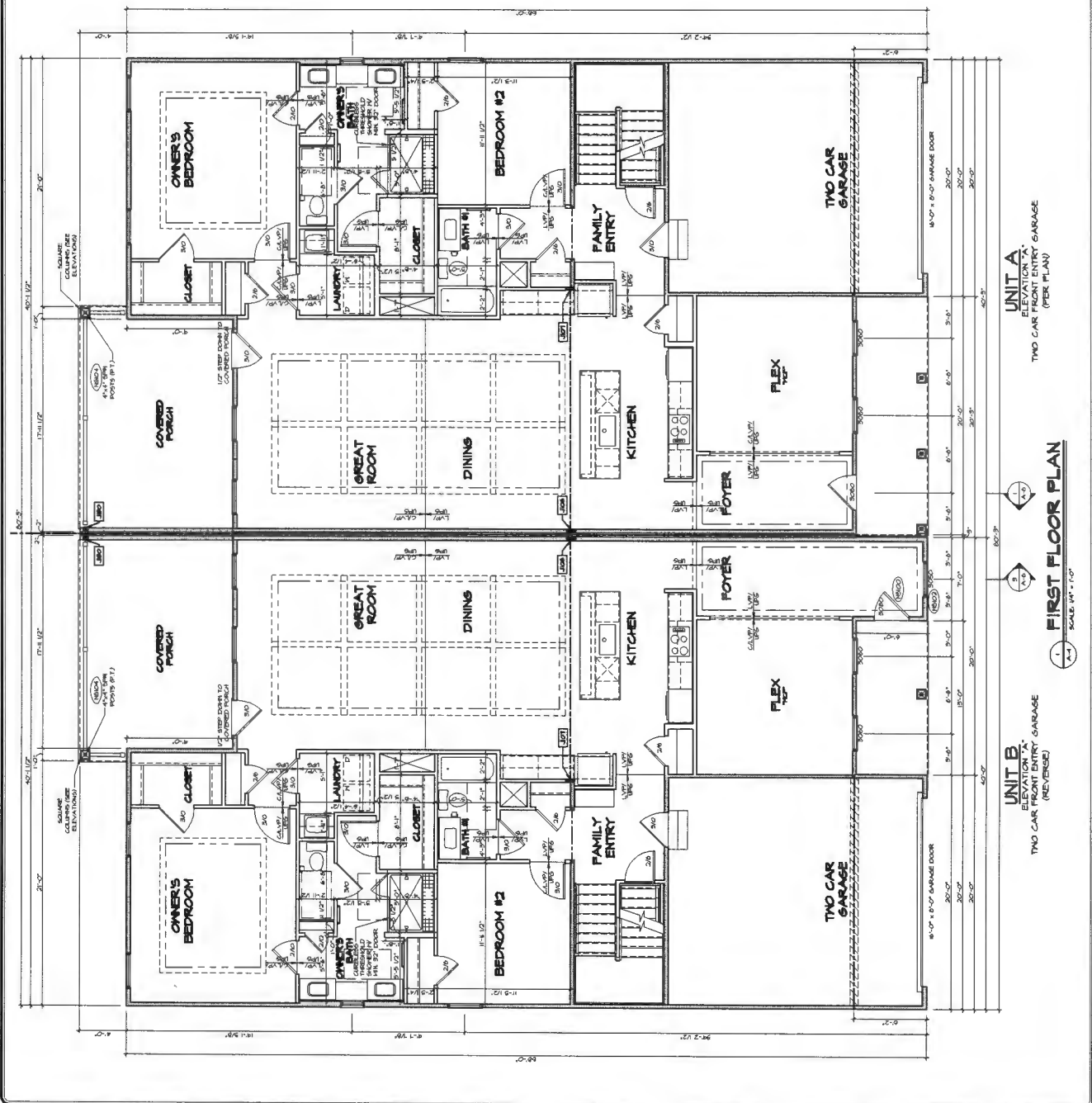
**REVISIONS:**

NO.	DATE	DESCRIPTION

**PROJECT:** DAVENPORT  
**OWNER:** A.T.C.  
**DESIGNER:** A.T.C.  
**DATE:** 8/15/16  
**SCALE:** 1/8" = 1'-0"

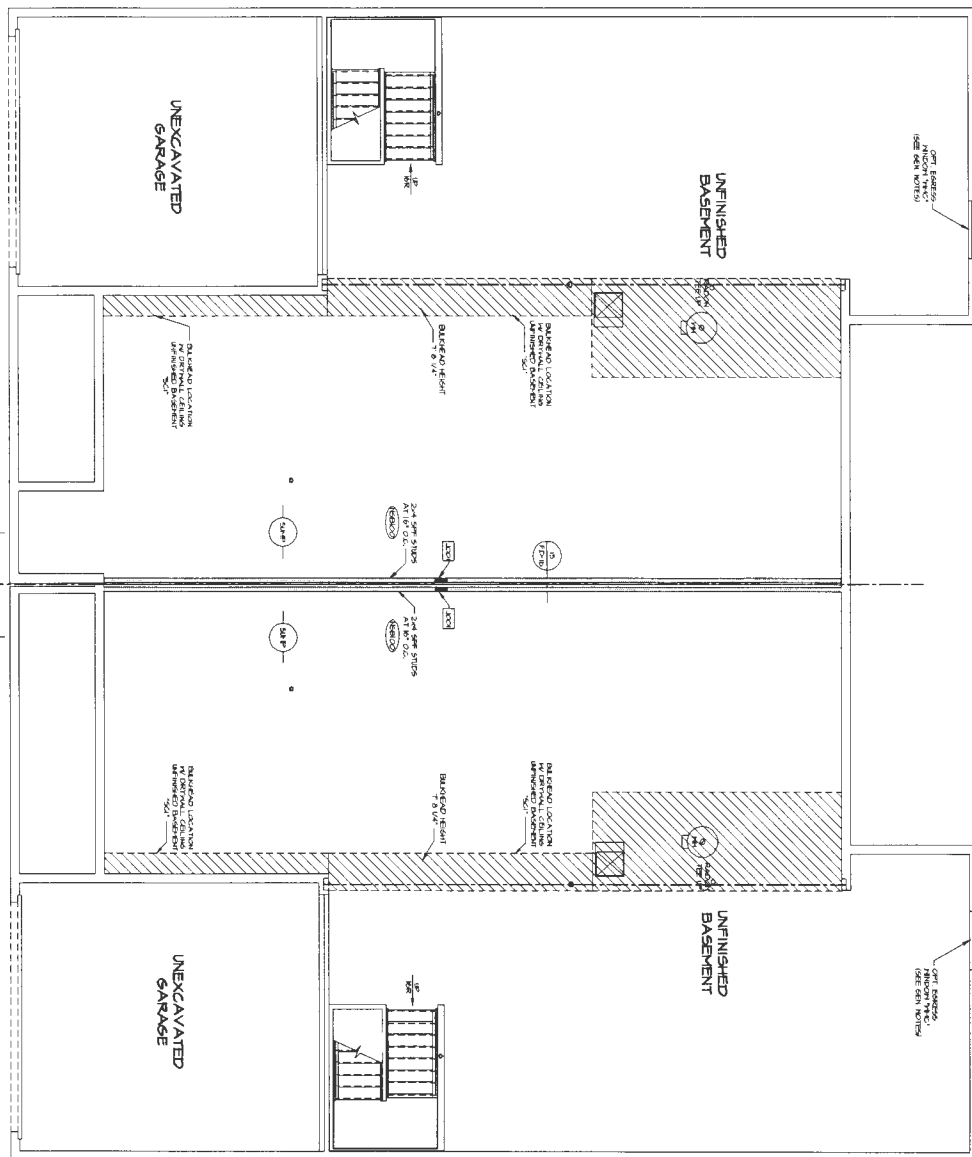
**UNIT A**  
 ELEVATION "A"  
 TWO CAR GARAGE (PER PLAN)

**UNIT B**  
 ELEVATION "A"  
 TWO CAR GARAGE (REVERSE)





**BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 APPROVED DIMENSIONS: YES



EXEMPTED	REVISION	DATE	BY	REMARKS

**NOTE:**  
 APPROVED DIMENSIONS  
 APPROVED DIMENSIONS  
 APPROVED DIMENSIONS

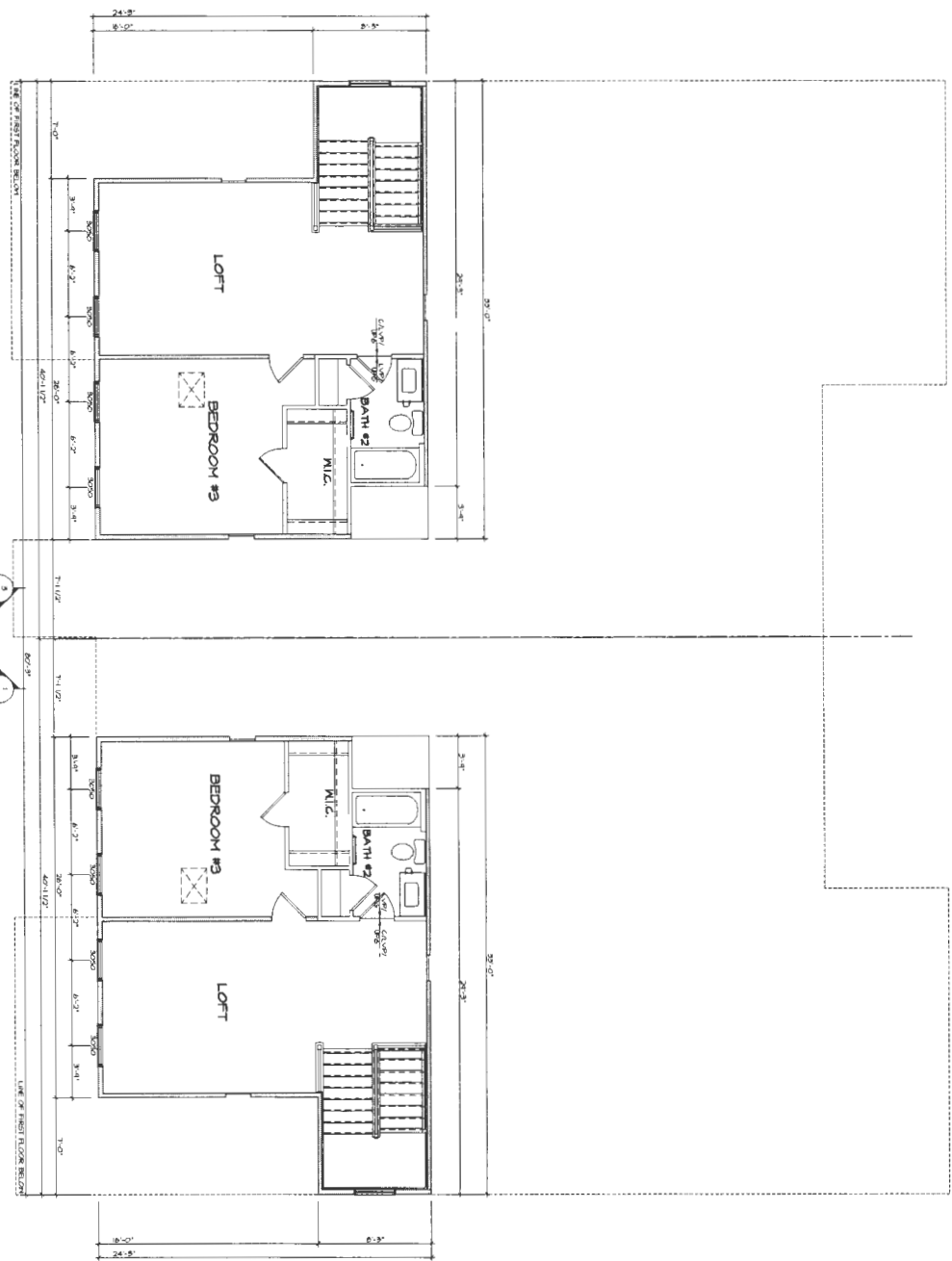
SHEET NO. <b>A-3</b>	MODEL <b>DAVENPORT AT LYHUS</b>	SET NO. 12600
DRAWING TITLE <b>BASEMENT FLOOR PLAN</b>	DESIGN BY SJR	DATE 12/11/2018
OPTION DESCRIPTION <b>UNFINISHED BASEMENT</b>	OPTION MEC	



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REV. NO.	DATE	REVISION





UNIT B  
ELEVATION "A"  
TWO CAR FRONT ENTRY GARAGE  
(REVERSED)

UNIT A  
ELEVATION "A"  
TWO CAR FRONT ENTRY GARAGE  
(OPEN PLAN)

1 SECOND FLOOR PLAN  
SCALE 1/4" = 1'-0"

NOTE:  
REVERSED SYMBOLD DIMENSIONS  
APPLY TO THIS PLAN ONLY

SHEET NO. <b>A-5</b>	MODEL <b>DAVENPORT AT LYHUS</b>	SET NO. 12400 VERSION 01
5	DRAWING TITLE <b>SECOND FLOOR PLAN</b> DIME #5055 - DAVENPORT DUPLEX	DRAWN BY <b>SJR</b> DATE: <b>12/7/2010</b>
	OPTION DESCRIPTION	OPTION



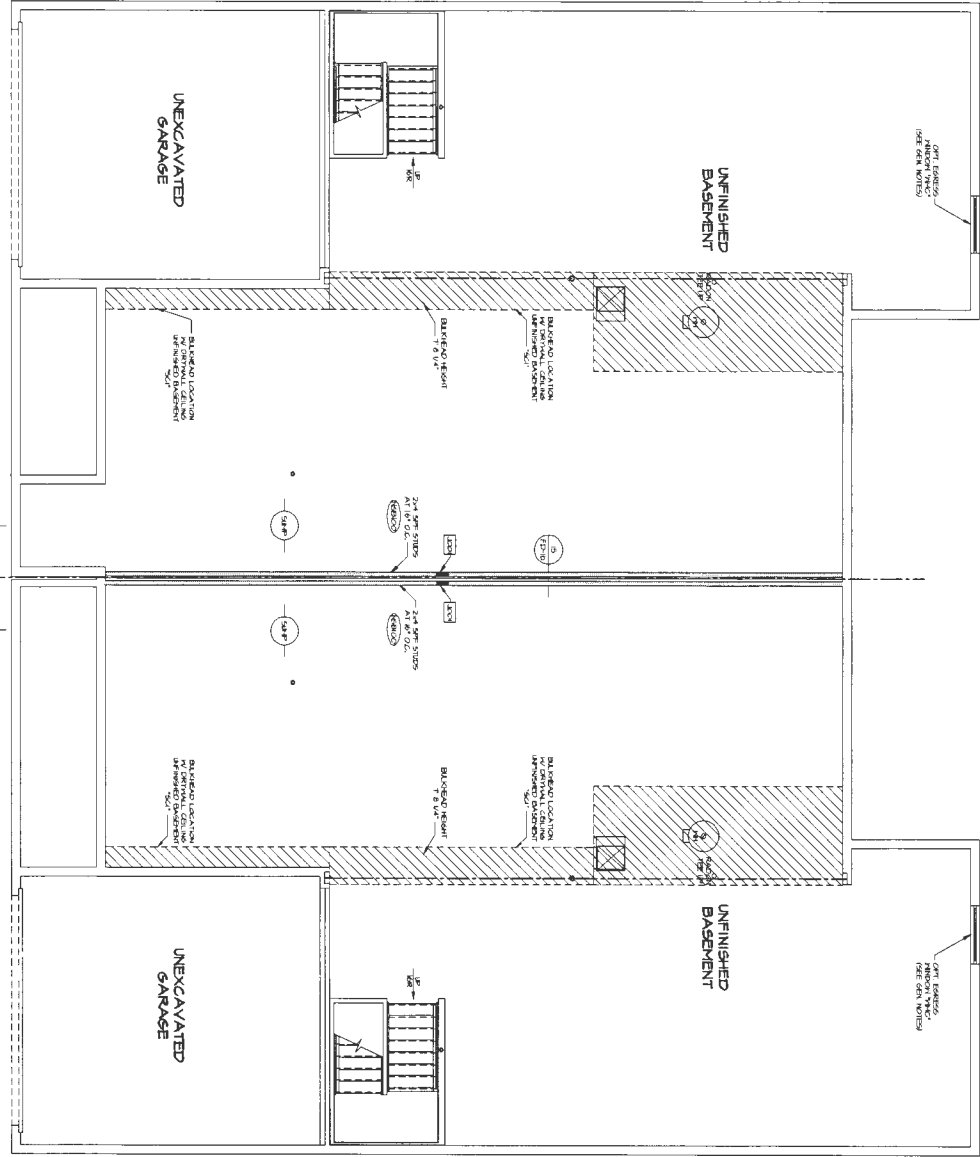
Professional seal area for the architect or engineer.

REV. NO.	DATE	REVISIONS



**BASEMENT FLOOR PLAN**  
UNFINISHED BASEMENT PLAN

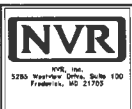
SCALE: 1/8" = 1'-0"



EXPIRES	BASEMENT JACK SCHEDULE
DATE	JUL - 18 2018
ISSUED	REVISIONS

**NOTE**  
SEE STAINED DRAWING FOR ALL OTHER ADDITIONAL NOTES

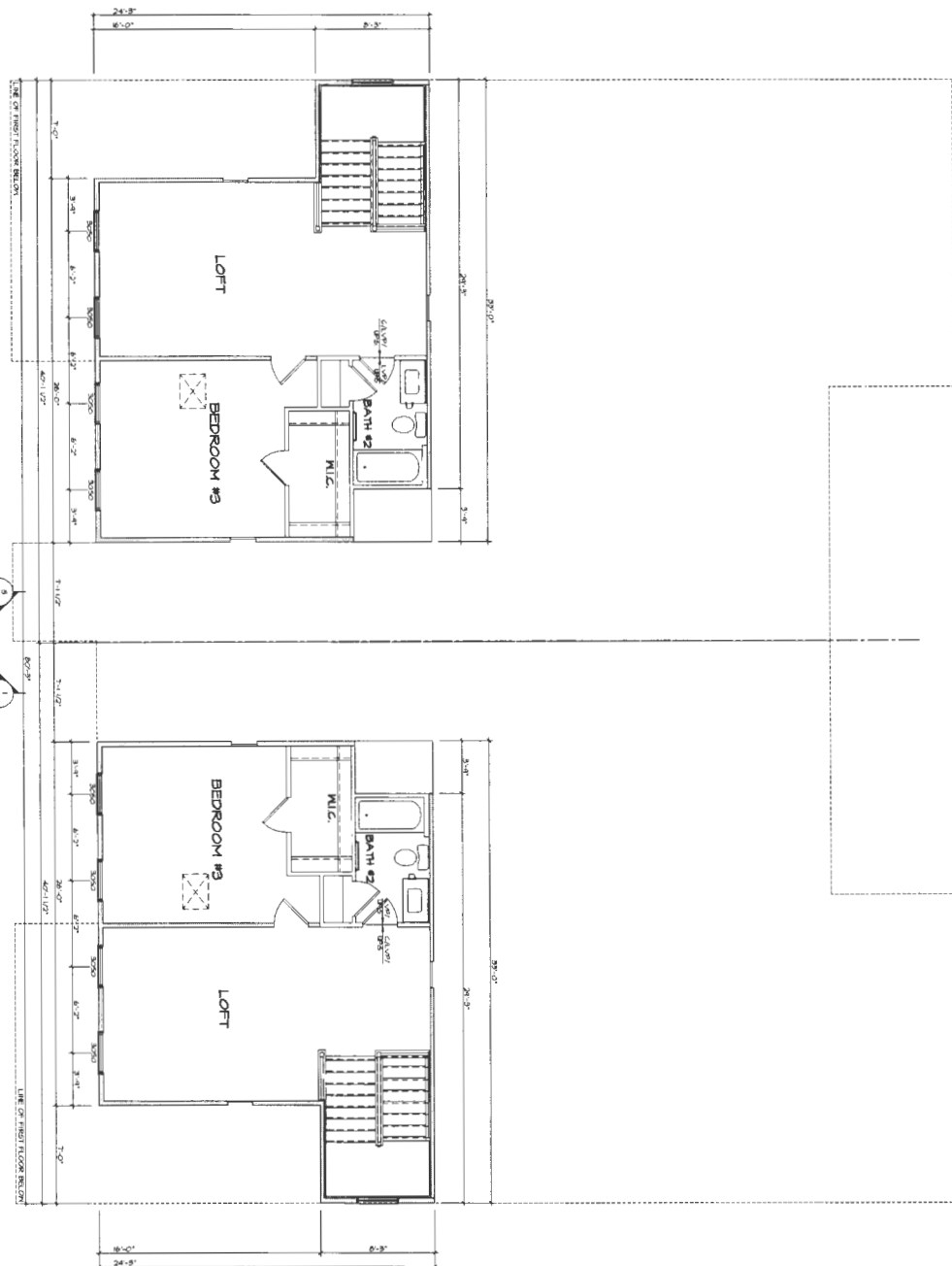
SHEET NO. <b>A-3</b>	MODEL <b>DAVENPORT AT LYHUS</b>	SET NO. 12400
DATE <b>12/11/2018</b>	VERSION 01	DRAWN BY SJR
OPTION DESCRIPTION UNFINISHED BASEMENT	DATE 12/11/2018	OPTION MEC



I, NVR, Inc., hereby certifies that the information contained herein is true and correct to the best of our knowledge and belief, and that we are not providing any warranty, express or implied, for the information contained herein. The information contained herein is for informational purposes only and should not be used for any other purpose without the express consent of NVR, Inc.

REV. NO.	DATE	REVISIONS





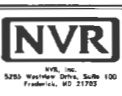
UNIT B  
ELEVATION 'A'  
TWO CAR FRONT ENTRY GARAGE  
(REVERSED)

UNIT A  
ELEVATION 'A'  
TWO CAR FRONT ENTRY GARAGE  
FLOOR PLAN

SECOND FLOOR PLAN  
SCALE 1/4" = 1'-0"

NOTE:  
REFER TO STANDARD DIMENSIONS  
FROM THE ARCHITECT'S MANUAL

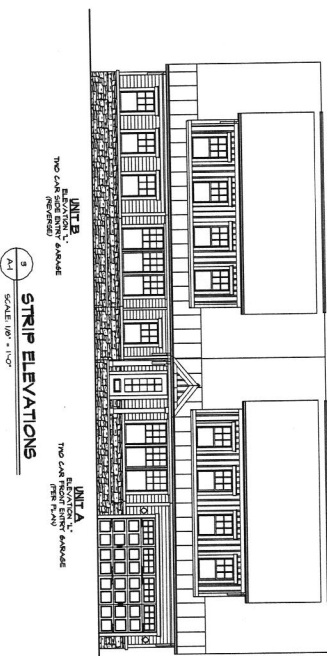
SHEET NO. <b>A-5</b>	MODEL: <b>DAVENPORT AT LYHUS</b>	SET NO: 12400
	DESIGN TITLE: <b>SECOND FLOOR PLAN</b>	VERSION C1
5	DNR #2655 - DAVENPORT DUPLEX	DATE: 12/1/2018
	OPTION DESCRIPTION	OPTION



SCALE: 1/4" = 1'-0"  
The owner hereby certifies that the information provided on this drawing is true and correct to the best of their knowledge and belief. The owner also certifies that the information provided on this drawing is not intended to be used for any other purpose, without the written consent of NVR, Inc.

REV. NO.	DATE	REVISIONS



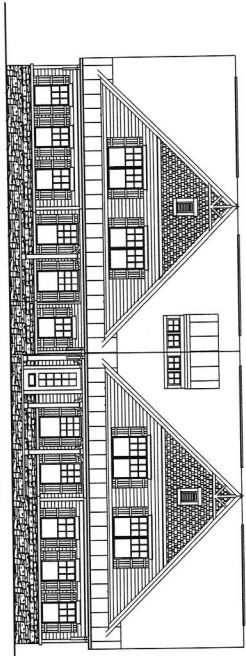


UNIT A  
ELEVATION A  
TWO CAR FRONT DRIVE GARAGE  
OPTION B  
SCALE: 1/8" = 1'-0"

UNIT B  
ELEVATION B  
TWO CAR FRONT DRIVE GARAGE  
OPTION B  
SCALE: 1/8" = 1'-0"

1  
A-1  
SCALE: 1/8" = 1'-0"

STRIP ELEVATIONS

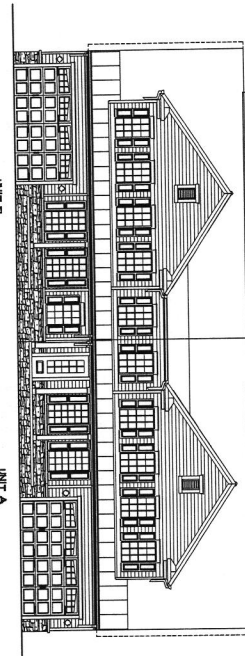


UNIT A  
ELEVATION A  
TWO CAR FRONT DRIVE GARAGE  
OPTION B  
SCALE: 1/8" = 1'-0"

UNIT B  
ELEVATION B  
TWO CAR FRONT DRIVE GARAGE  
OPTION B  
SCALE: 1/8" = 1'-0"

2  
A-1  
SCALE: 1/8" = 1'-0"

STRIP ELEVATIONS



UNIT A  
ELEVATION A  
TWO CAR FRONT DRIVE GARAGE  
OPTION B  
SCALE: 1/8" = 1'-0"

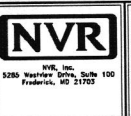
UNIT B  
ELEVATION B  
TWO CAR FRONT DRIVE GARAGE  
OPTION B  
SCALE: 1/8" = 1'-0"

3  
A-1  
SCALE: 1/8" = 1'-0"

STRIP ELEVATIONS

NOTE  
THIS IS A STANDARD DRAWING  
FOR ALL OTHER ADDITIONAL  
ESTIMATES REFER TO  
SECTION 0210

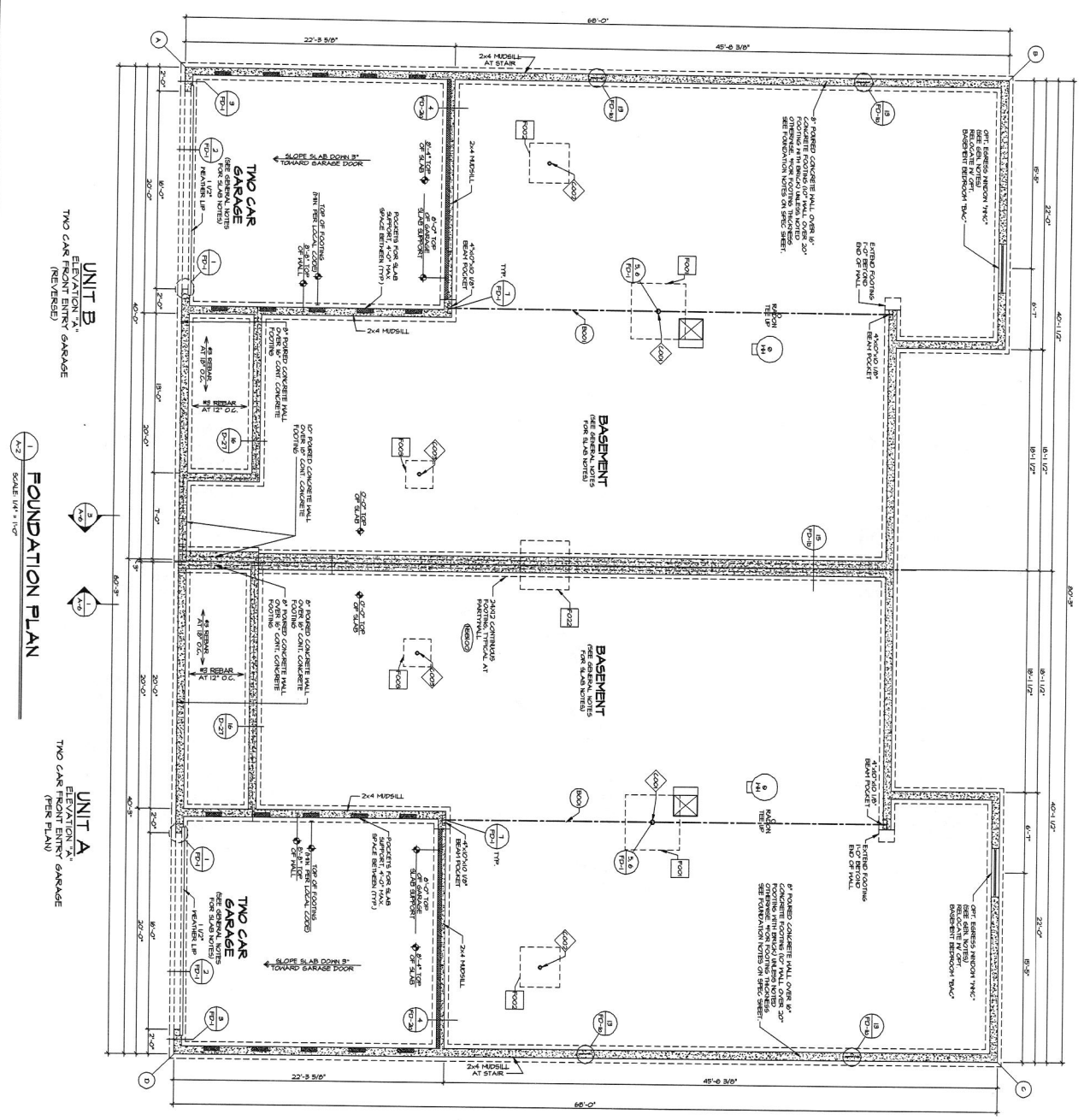
SHEET NO. <b>A-1</b>	MODEL <b>DAVENPORT AT LYHUS</b>	SET NO. 12600 VERSION C1
FRONT ELEVATION	DRAWN BY <b>SJR</b>	DATE: <b>12/10/2018</b>
OPTION DESCRIPTION PARTIAL STONE VENEER	DATE: <b>12/10/2018</b>	OPTION <b>EYV</b>



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REV. NO.	DATE	REVISIONS





UNIT B  
ELEVATION "A"  
TWO CAR FRONT ENTRY GARAGE  
(REVERSE)

FOUNDATION PLAN  
SCALE 1/4" = 1'-0"

UNIT A  
ELEVATION "A"  
TWO CAR FRONT ENTRY GARAGE  
(PER PLAN)

IDENTIFIER	USING	TYPE	OPTION	REV
1022	1'-0"	4'-0"		

DIMENSIONS	
ELAY REVERSE / ELAY PER PLAN	12'-0" / 1'-0"
BO	12'-0" / 1'-0"

FAD FOOTING SCHEDULE	
IDENTIFIER	USING
1022	1'-0"

LEGEND	
○	NON-REINFORCED WALL
□	INDICATES ROOMS FROM NON-LOAD BEARING
△	JACKS
◇	BEAM/HEADER
■	FAD ROOMS
○	STEEL COLUMN
×	FINISH THE ROOM
×	POSTAL FINISH
○	JOST/STEPS
○	L.V.
○	REINFORCING SCHEDULE NUMBER

NOTES:  
1. SEE GENERAL NOTES A-H FOR  
2. SEE GENERAL NOTES I-K FOR  
3. SEE GENERAL NOTES L-N FOR

SHEET NO. **A-2**  
 MODEL **DAVENPORT AT LYHUS**  
 DRAWING TITLE **FOUNDATION PLAN**  
 PROJECT NAME **DAVENPORT DUPLEX**  
 OPTION DESCRIPTION

SET NO. **12400**  
 DRAWN BY **SR**  
 DATE **12/11/2018**  
 OPTION

**NVR**  
 NVR, Inc.  
 5255 Westgate Drive, Suite 100  
 Frederick, MD 21703

REV. NO. DATE