

Approved 4/18/24
-H.O.

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B22000406	02/07/2022

Description of Work
 SFD/ CONSTRUCT 2 - ADDITIONS & WHOLE HOUSE REMODEL, 1 STORY, Part Crawl Space/Part Slab on Grade, 7R, 2FB, 1HB, 2FP, OTHER STRUCTURE = 2 Car Attached, 3BR, PORCH/DECK = N/A, ENERGY METHOD = Prescriptive Method, / *4.2.24 AMENDMENT REQUEST TO ADD 20' X 16' DECK WITH STEPS TO GRADE*

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
5178	TEN OAKS	RD
Unit Type	Unit #	X Coordinate
-Select-		-76.97689
		Y Coordinate
		39.22793
City	State	Zip Code
CLARKSVILLE	MD	21029
	Primary	
	Yes	

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
882012	127	2.01	275100	408000	132900	RURAL
Legal Description						
IMPSLOT 3[]5178 TEN OAKS RD[]LINDEN CHAPEL WDS						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	3	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405368316						
Section	Area	Tax Map					
		28					
Grid	Zoning District	ADC Map					
28-15	RR-DEO	4933-D4					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No	1969	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-04A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *

PARK BROTHERS LLC

Address Line 1

5200 TEN OAKS ROAD

Address Line 2

Address Line 3

Mail City	Mail State	Mail Zip Code
CLARKSVILLE	MD	21029
Phone	Primary	
443-829-9222	Yes	

E-mail

XSARTERBURN@THERAINMAKERGROUP.COM

Cell Number

Fax Number

[check spelling](#)

Other Structure 2 Car Attached	Bedrooms 3	Porch Deck N/A	No of Fireplaces 2	Type of Fireplace --Select--	Energy Code Prescriptive Method
W & S Fees Paid <input type="radio"/> Yes <input checked="" type="radio"/> No	Water Public	Sewage Public	Utilities Electric	Heating System Electric	Sprinkler System NFPA #13D
1st Floor Width 24 FT	1st Floor Depth 27 FT	2nd Floor Width FT	2nd Floor Depth FT	Basement Width 23 FT	Basement Depth 25 FT
Total Square Footage 1678	Occupiable Square Footage 1678	Affordable Housing Funding N/A	Foundation Measurement 8" CMU	Footings 16 X 8	Building Construction Type --Select--
Walls WOOD FR	Roof HIP / GABL	Change In Use <input type="radio"/> Yes <input checked="" type="radio"/> No	Grading Permit No	Senior Housing <input type="radio"/> Yes <input checked="" type="radio"/> No	MIHU Outside Downtown Columbia <input type="radio"/> Yes <input checked="" type="radio"/> No
Additional Description Info /*4.2.24 AMENDMENT REQUEST TO ADD 20' X 16' DECK WITH STEPS TO GRADE*				Expiration Date 10/7/2024	Affordable Downtown Columbia <input type="radio"/> Yes <input checked="" type="radio"/> No
				MIHU Required Units 0	Plan Submittal Paper Submittal

[check spelling](#)

GREEN INFORMATION

Goal Level --Select--	Actual Level --Select--	Leed Registration Number	Date of Leed Certification [Calendar Icon]
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STORM WATER MANAGEMENT

Green Roofs A1 <input type="radio"/> Yes <input type="radio"/> No	Permeable Pavements A2 <input type="radio"/> Yes <input type="radio"/> No	Reinforced Turf A3 <input type="radio"/> Yes <input type="radio"/> No	Disconnection of Rooftop Runoff N1	Disconnection of Non Rooftop Runoff N2 <input type="radio"/> Yes <input type="radio"/> No
Sheetflow to Conservation Areas N3 <input type="radio"/> Yes <input type="radio"/> No	Rainwater Harvesting M1	Submerged Gravel Wetlands M2	Landscape Infiltration M3	Infiltration Berms M4
Dry Wells M5	Micro Bioretention M6	Rain Gardens M7	Swales M8	Enhanced Filters M9

PSWM Certification Received in CID on [Calendar Icon]

Related Records

Showing 1-4 of 4

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B22000406	Residential Addition Single Family Dwelling Permit	Review In Process	5178	TEN OAKS	02/07/2022	SFD/ CONSTRUCT 2 - ADDITIONS & WHOLE HOUSE RE
F22000468	Residential New-Addition SFD Sprinkler Permit	Completed	5178	TEN OAKS	04/12/2022	SFD/Install wet fire sprinkler system for SFD - NFPA 13D pt
M22001118	Residential HVAC Addition Alteration Permit	Completed	5178	TEN OAKS	10/25/2022	SFD ADDITION & WHOLE HOUSE REMODEL- INSTALL T
P22001234	Residential Plumbing Addition Alteration Permit	Completed	5178	TEN OAKS	03/28/2022	SFD:// INSTALL PLUMBING FIXTURES:// (BSMT): 1- BATI



Submit Cancel

Park Brothers, LLC
5200 Ten Oaks Road
Clarksville, MD 21029
443-829-9222

*approved as shown
for 7 1/2' setback.
Jaw
4/18/24*

April 13, 2024

Mr. Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045

RE: 5178 Ten Oaks Road, Clarksville, MD 21029
Building Permit #B22000406
Request for Deck/Well Setback Reduction

Dear Hank:

I am the owner of Park Brothers, LLC, which is the owner of 5178 Ten Oaks Road, Clarksville, Maryland. This home is under renovation (building permit #B22000406) and I recently submitted an amendment to that permit to add a 16'x20' deck to the rear of the home. I am also the owner of Rainmaker Contracting, Inc, the entity under which that building permit has been issued.

As we discussed this past week, there was a misunderstanding regarding the well/deck setback requirement and the deck was designed with all posts a minimum of 10' from the centerline of the well. However, per our 4/12/24 phone call, I now understand that the regulations require all portions of the deck to be at least 10' from the well (not just the posts). I am therefore writing to request a variance to the 10' requirement.

The attached plans (a 50-scale site plan and a 1/8-scale CAD drawing of the deck area) show the nearest post will be outside the 10' minimum, but the edge of the proposed deck will be within about 7'-1" of the well centerline. Therefore, I would request the setback to the edge of the deck be reduced from 10' to approximately 7'. Given a 7' setback and the wide-open, flat area around the wellhead, there will still be plenty of space to position a drill rig over the well after the deck is constructed.

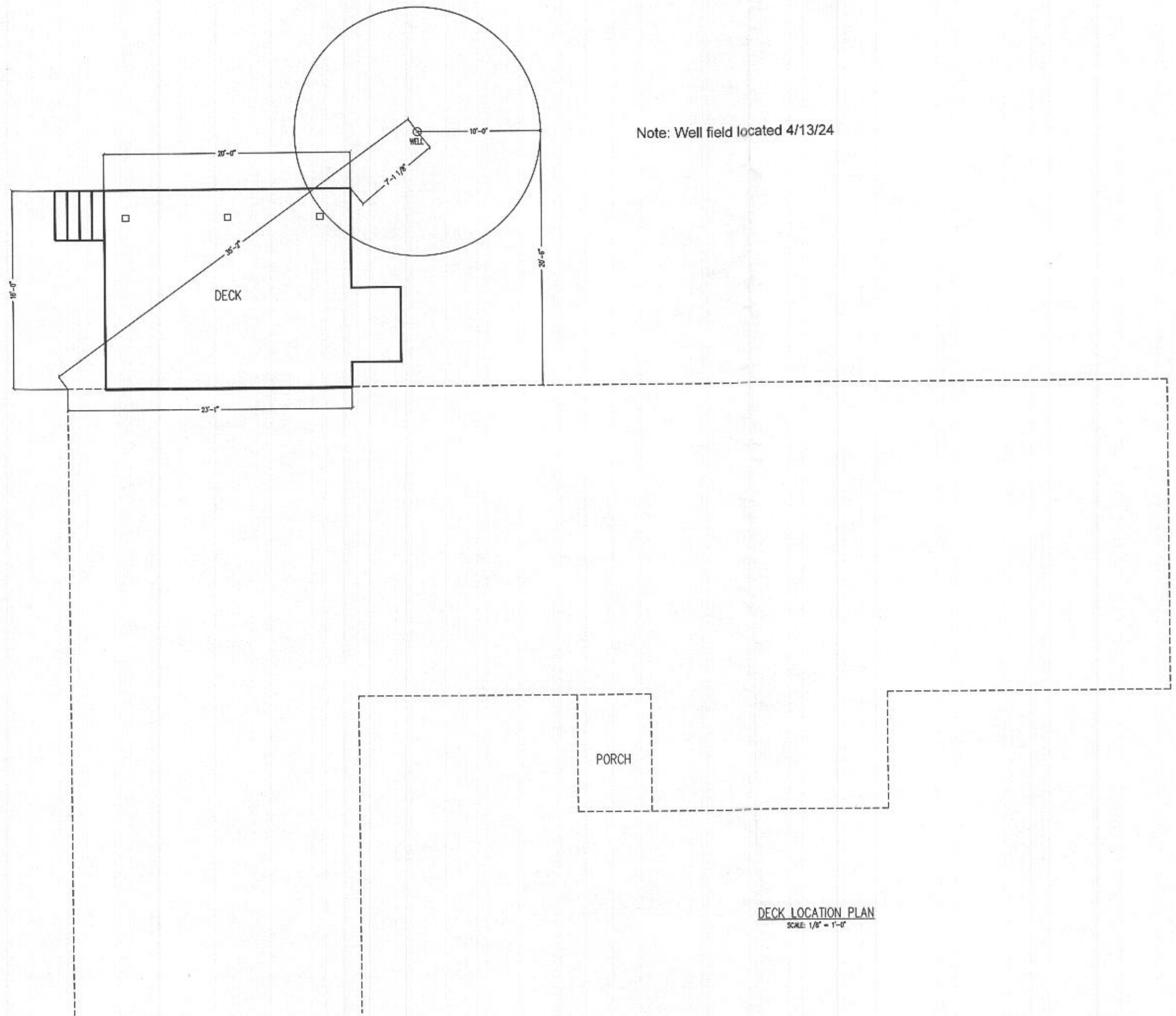
Please let me know if you need any additional information or if you would like to see the deck staked in the field.

Sincerely,



Scott Arterburn, Owner
443-829-9222

B220004db



Note: Well field located 4/13/24

DECK LOCATION PLAN
SCALE: 1/8" = 1'-0"

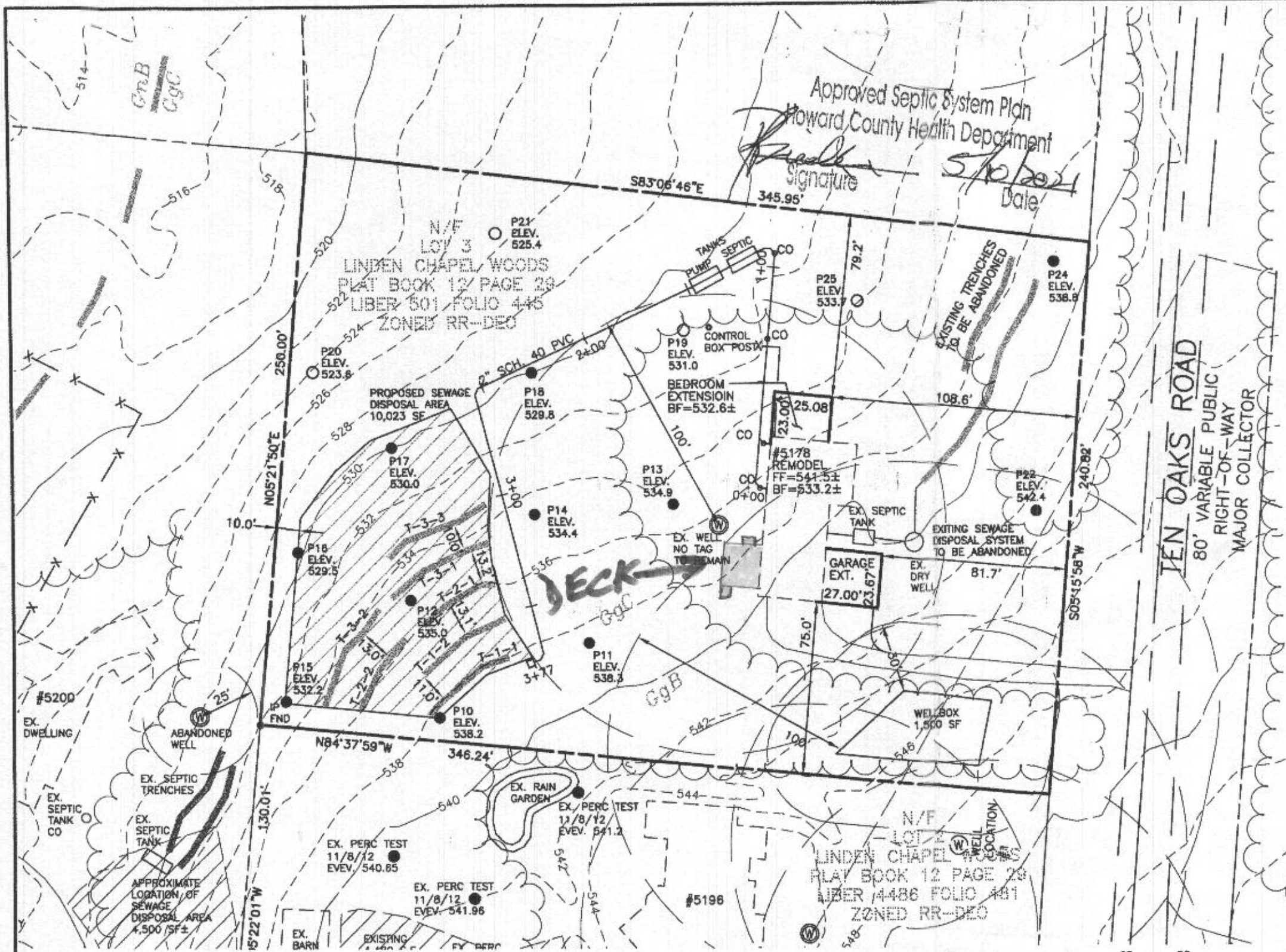
The Ranch Project

Park Brothers LLC
5200 Ten Oaks Road
Clarksville, Maryland 21029

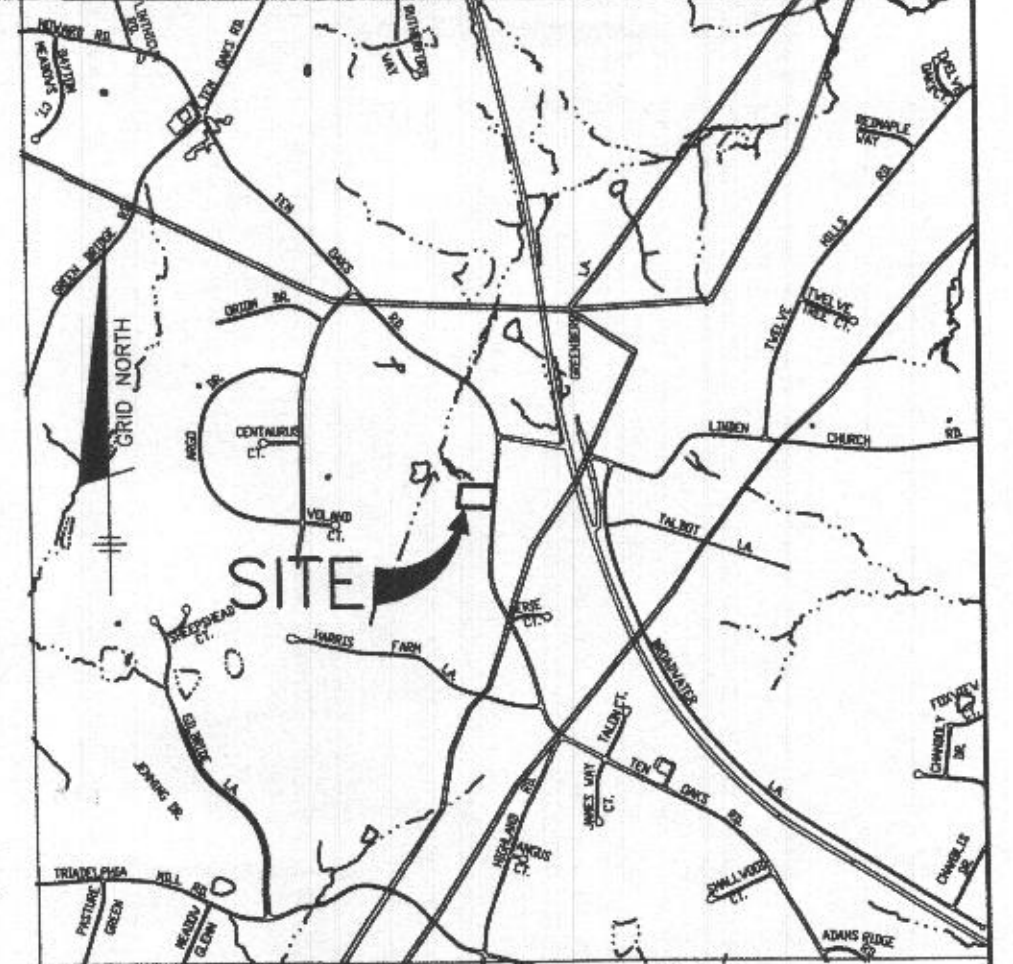
PERMIT #B22000406

DECK LOCATION PLAN
5178 Ten Oaks Road, Clarksville, MD
Tax Map 14, Grid 4, Parcel 76, Lot 1

Date: 4/13/24



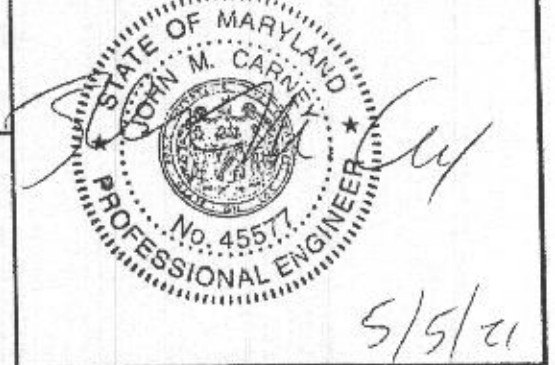
Approved Septic System Plan
 Howard County Health Department
Signature
 Date: 5/10/21



ADC MAP 4933 GRID D5
VICINITY MAP
 SCALE: 1" = 2000'

PLAN VIEW
 1" = 50'

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2022.

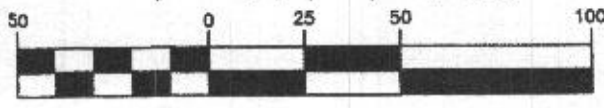


OWNER:
 PARK BROTHERS LLC
 5200 TEN OAKS ROAD
 CLARKSVILLE, MD 21029
 443-829-9222

PROJECT:	LINDEN CHAPEL WOODS LOT 3		
LOCATION:	TAX MAP: 28, GRID: 14, PARCEL: 127 5178 TEN OAKS ROAD, TAX ID 05-368316 ELECTION DISTRICT NO. 4, HOWARD COUNTY, MARYLAND		
TITLE:	ONSITE SEWAGE DISPOSAL PLAN		
HOUSE TYPE:	CUSTOM REMODEL		
DATE:	APRIL, 2021	PROJECT NO.	2763
SCALE:	AS SHOWN	DRAWING	1 OF 4

- GENERAL NOTES**
1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR WINDEN CHAPEL WOODS, PLAT BOOK 12, PAGE 29. REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
 2. THE EXISTING WELL SHOWN ON THIS PLAN (NO TAG) HAS BEEN FIELD LOCATED BY OWNER IN DECEMBER 2020 AND IS ACCURATELY SHOWN.
 3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
 4. TOPOGRAPHY SHOWN WAS BASED ON HOWARD COUNTY GIS AND WAS FIELD CONFIRMED BY BENCHMARK ENGINEERING, INC. IN NOVEMBER, 2020, FROM FIELD SHOT ELEVATIONS OF THE PERCOLATION TEST LOCATIONS.
 5. SEDIMENT AND EROSION CONTROLS WILL BE SUBMITTED BY HOWARD SOILS CONSERVATION DISTRICT AS A STANDARD GRADING PLAN.
 6. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED BUILDING PERMIT.
 7. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX

8. SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
10. ANY ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
11. THE SEPTIC TANK WILL BE A 2000 GALLON TWO COMPARTMENT TANK. THE PUMP TANK WILL BE A 2000 GALLON ONE COMPARTMENT TANK.
12. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
13. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS/OR SEPTIC SYSTEM HAVE BEEN SHOWN.
14. THE ENVIRONMENTAL SANITARIAN ATTENDING THE SEPTIC SYSTEM INSTALLATION HAS THE PREROGATIVE TO REQUIRE WATERTIGHT TESTS, OR TANK STABILIZING FIXTURES, SHOULD SOIL CONDITIONS INDICATE POTENTIAL FOR GROUNDWATER INFILTRATION OR TANK FLOTATION.



(IN FEET)
 1 inch = 50 ft.

BENCHMARK
 ENGINEERS • LAND SURVEYORS • PLANNERS
ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-6105 (F) 410-465-8844
 WWW.BEI-CMLENGINEERING.COM

B22000406

COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 4/10/24 ONLINE SUBMITTAL PAPER SUBMITTAL

To: HANK (Reviewer/Requestor's Name) HEALTH DEPT (Division)

From: SCOTT ARTERBORN / RAINMAKER (Your Name, Company Name) 443-829-9222 (Phone Number)

Subject: Project name LINDEN CHAPEL Woods Lot 3 Project site address 5178 TEN OAKS RD CLARKSVILLE Permit # B22000406 SDP # Other information pertinent to this project

- Checklist items: Letter of response to address plan review comment letter, Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted, Letter Summarizing Changes, Energy conservation calculations, X Copies of SITE PLAN & SD - SCAL (be specific), Health Department Request, DPZ/ DED Request, Applicant's Request, Two sets of single-family model plans to be placed on permanent file: Model name and/or #, Other

Contact Person Information: (Required)

SCOTT ARTERBORN Please Print Name

Telephone No: 443-829-9222

E-Mail Address: SARTEARBORN@THE.RAIN.MAKER.GROUP.COM

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by SS White-Plan Review / Yellow-Applicant / Pink-Permit Division t:\Operations\Updated forms\HoCoTransmittalForm05.2022

DI LP 2024 APR 10 PM 12:3

Handwritten note: NO fee HD submittal

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Thursday, April 18, 2024 2:06 PM
To: Scott Arterburn
Cc: Williams, Jeffrey
Subject: RE: 5178 Ten Oaks Deck_Waiver Request Approval
Attachments: Waiver Approval.pdf

Hi Scott,

Good afternoon. The waiver request has been approved (see attachment). Building permit # B22000406 has been approved by the Health Department.

Should you have any questions, please don't hesitate to ask.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist Bureau of Environmental Health Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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-----Original Message-----

From: Oswald Jr, Woodin
Sent: Wednesday, April 17, 2024 2:34 PM
To: Scott Arterburn <sarterburn@therainmakergroup.com>
Cc: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: RE: 5178 Ten Oaks Deck

Hi Scott,

Good afternoon. I did receive your variance request on Monday 4/15/24, and I forwarded it to the assistant director, Jeff Williams for his review the same day. Please note, waiver reviews may take up to 10 working days. As soon as I hear something, I will contact you.

Regards,

Hank

Hank Oswald

Licensed Environmental Health Specialist Bureau of Environmental Health Howard County Health Department

8930 Stanford Blvd. Columbia, MD 21045

(410) 313 - 1786

www.hchealth.org

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-----Original Message-----

From: Scott Arterburn <sarterburn@therainmakergroup.com>

Sent: Wednesday, April 17, 2024 1:44 PM

To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Subject: 5178 Ten Oaks Deck

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank -

Just confirming you received the variance request I sent last Saturday, and to find out if you have a timeline for a decision.

Thanks.

Scott Arterburn, P.E.

Top Gun Baseball

The Rainmaker Group

443-829-9222 (cell)

Name: Rainmaker Contracting, Inc
Street Address: 2101 Millers Mill Road
City, State, Zip: Cooksville, MD 21723
Date: 4/1/24

Amendment, Permit # B22000406

Ms. Debbie Whalen
Division of Plan Review
Department of Inspections, Licenses and Permits
Howard County Government
3430 Court House Drive
Ellicott City, MD 21043

RECEIVED

APR 02 2024

LICENSES & PERMITS
DIVISION

Assigned to HO
for review.
JB 4/16/24

Dear Ms. Whalen:

I am requesting to amend Permit # B22000406 at
5178 Ten Oaks Road, Clarksville, MD 21029 to
add a deck to the rear of the house.

20 X 16 w/4 STEPS

Enclosed:

- Fee: _____
- Plot Plans
- Sets of Construction Drawings
- Other: _____

If there is anything we can do to assist you, please let me know.

Sincerely,
Scott Arterburn 

Name: Scott Arterburn
Title: Owner
Phone: 443-829-9222
Email: sarterburn@therainmakergroup.com