

GENERAL CONSTRUCTION NOTES:

1.1. DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE FABRICATION OF ROOF AND/OR FLOOR TRUSSES.

2. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS SPECIFIC OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.

3. PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.

4. ALL CLOSETS TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.

5. PROVIDE 22-1/2" x 30" ATTIC ACCESS WITH SWITCHED LIGHT UNLESS OTHERWISE NOTED.

6. PROVIDE PLUMBING FIXTURE ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.

7. PROVIDE HANDRAILS 36"-38" ABOVE NOSINGS ON ALL STAIRS WITH THREE OR MORE RISERS. RETURN RAILS TO WALL OR NEWEL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIR. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC. 36" OR MORE ABOVE GRADE OR FLOOR BELOW GUARDS SHALL BE MIN 3" HIGH AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE.

8. PROVIDE NOMINAL 2X FIVE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEAD AND CHASE. IF OPEN WOOD FLOOR TRUSSES ARE UTILIZED PROVIDE 1/2" C.B. DRAFTSTOPS, NOT TO EXCEED 500 S.F.

9. PROVIDE A MINIMUM OF TWO DIAGONAL BRACES AT APPROX 45 DEGREE ANGLE AT MIDPOINT OF SPAN FROM BOTTOM CHORD TO RIDGE OF ROOF TRUSSES. INSTALL OTHER BRACES AS REQUIRED BY THE TRUSS MANUFACTURER SHOP DRAWINGS AND IN COMPLIANCE WITH IIBB BY SUPPLIED BY MANUFACTURER.

10. PROVIDE A MINIMUM OF 6"-8" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7-3/4" AND TREADS SHALL BE AT LEAST 10" WITH 1-1/4" NOSING.

11. PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1/32" FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARBONATED FIBER INSULATION IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW.

12. MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL PENETRATIONS IN FLOORS AND EXTERIOR WALLS CAUSED BY THEIR TRADES.

13. ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL BUTT JOINTS AND FLANGES AT FLOORS, CEILING, WINDOWS, DOOR FLANGES, AND JAMBS.

14. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER SPECIFICATIONS.

15. SLOPE ALL STAIRS, PORCHES, WALKS, AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.

16. ALL DESIGNS FOR MANUFACTURED FLOOR JOIST, RAFTERS AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER SHOP DRAWINGS AND RECOMMENDATIONS.

17. CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF RIDGE WITHIN 10 FEET, BUT OF LESS THAN 3' AT POINT OF ROOF PENETRATION.

18. FLOOR JOIST/TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS +/- 1/4" UNLESS USE OF DOUBLE TOP PLATE.

19. PRIVATE GARAGES SHALL BE SEPARATED FROM DWELLING AND ATTIC WITH 5/8" GYPSUM BOARD ON GARAGE SIDE. IF PERMIT IS ISSUED UNDER THE IRC CODE, PROVIDE ONE-HOUR RATED SEPARATION BETWEEN GARAGE AND LIVING SPACES OVER OR IN ACCORDANCE WITH SPECIFIC REQUIREMENTS OF THE LOCAL JURISDICTION.

20. PROVIDE MINIMUM 6" STEP DOWN INTO GARAGE FROM DWELLING.

1.03 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.

1.04 DESIGN LIVE LOADS
 ROOF 30 PSF
 SLEEPING FLOORS: 40 PSF
 LIVING FLOORS: 40 PSF
 EXTERIOR DECKS: 60 PSF
 STAIRS: 80 PSF
 ATTIC SLABS: 150 PSF

UNDESIGNATED: 10 PSF
 DESIGN DEAD LOADS 20 PSF
 ROOF 10 PSF
 CEILING: 10 PSF
 SLEEPING FLOORS: 15 PSF
 LIVING FLOORS: 15 PSF
 WIND LOAD: 15 PSF (EXPOSURE C)
 FLUID PRESSURE: 30 PCF MAXIMUM
 LOADS GREATER THAN 30 PCF REQUIRE FOUNDATION TO BE ENGINEERED
 SOIL BEARING 2000 PSF (ASSUMED)
 GUARD RAILS: 200# AT ANY POINT IN ANY DETAIL

SITE WORK:

2.01 EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FOR FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON SOFT OR FROZEN MATERIAL.

2.02 MINIMUM SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF AT ALL WALL AND PIER FOOTINGS. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THAT THE ABOVE BEARING CAPACITY IS OBTAINABLE, OR TO NOTIFY THE ARCHITECT IF SPECIAL DESIGN IS REQUIRED.

2.03 BACKFILL AND COMPACTION: USE ONLY CLEAN EARTH CONTAINING NO ORGANIC MATTER, GRADED WITH POSITIVE SLOPE. FILL BENEATH STRUCTURE SHALL BE COMPACTED TO 90% DENSITY AS PER ASTM D1557 METHOD D.

2.04 PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND EXTERIOR OF BASEMENT FOUNDATION LOCATION TO BE DETERMINED BY LOCAL CODES FOR INSIDE OR OUTSIDE OF FOUNDATION. PROVIDE UNDER SLAB VENTING AS REQUIRED BY LOCAL JURISDICTION.

CONCRETE:

3.01 CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE STANDARD 318-33.

3.02 CONCRETE FOOTINGS SHALL HAVE MINIMUM OF 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI (UNLESS OTHERWISE NOTED)

3.03 ALL INTERIOR CONCRETE SLABS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.

3.04 REINFORCING RODS: ASTM A-615 AND A-305 MESH: 6x6-1.41 x 4.00 ASTM A-185 REINFORCING IN FOOTINGS IS REQUIRED WHERE VARIATIONS IN SOIL CONDITIONS MAY EXIST.

3.05 ALL INTERIOR CONCRETE SLABS 30 FEET OR MORE IN ANY DIMENSION SHALL HAVE WWF, CONTROL JOINTS, OR FIBER REINFORCEMENT.

3.06 VAPOR BARRIER UNDER ALL SLABS EXCEPT GARAGES: 6 MIL POLYETHYLENE, LAP ALL EDGES 6", LAY OVER 4" GRAVEL BED.

3.07 EXTERIOR CONCRETE SLABS 5% TO 7% AIR ENTRAINMENT AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. (SEE 4.01)

3.08 FOUNDATION WALLS: POURED IN PLACE WALLS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. (SEE 4.01)

3.09 THE BOTTOM OF ANY FOOTING SHALL BE A MINIMUM OF 2' ABOVE FINISH GRADE. DEEPER IF LOCAL FROST CONDITIONS WARRANT.

MASONRY:

4.01.0 MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE LOWER LEVEL FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING: HEIGHTS ARE FOR UNREINFORCED WALLS WHERE UNSTABLE SOIL OR GROUND WATER CONDITIONS DO NOT EXIST.

TYPE OF WALL HEIGHT OF FILL
 8" CMU HOLLOW 4'-0"
 12" CMU HOLLOW 6'-0"
 8" POURED CONCRETE 7'-0"
 16" POURED CONCRETE 6'-0"
 HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION, OR REINFORCING.

4.01.1 WALLS OVER 9'-0" OR ON UNSTABLE SOIL SHALL BE ENGINEERED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.

4.02 CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM C-90 GRADE A SOLID BLOCK OR ASTM C-145 GRADE B STANDARD AND TO BE 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2000 PSI.

4.03 PROVIDE OVER CMU WALLS TO BE NOT LESS THAN 3/8" PORTLAND CEMENT PARINGS FROM FOOTING TO FINISH GRADE. PARING AND POURED CONCRETE WALLS SHALL BE COVERED WITH COAT OF APPROVED BITUMINOUS MATERIAL APPLIED AT THE RECOMMENDED RATE BELOW GRADE (SEE 7.0)

4.04 EXTREME CARE AND PROPER MEASURES SHALL BE USED SO AS NOT TO DAMAGE, BULK OR TOP WALL. SHORING BRACING, ETC., SHALL BE EMPLOYED UNTIL FULL DEAD LOAD OF THE BUILDING IS ON THE WALLS.

4.05 MASONRY LINTELS: PROVIDE LIGHT WEIGHT PRE-CAST LINTELS FOR ALL OPENINGS AND RECESSES IN CMU WALLS. PROVIDE (1) 4x8 LINTEL FOR EACH 4' OF WALL THICKNESS. REINFORCE EACH LINTEL WITH TWO #4 BARS AT TOP AND BOTTOM AND WITH #3 TIES SPACED @ 9" OC UNLESS OTHERWISE NOTED. PRE-CAST LINTELS SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.

4.06 USE TYPE "M" MORTAR FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH.

4.07 USE TYPE "N" MORTAR FOR EXTERIOR ABOVE-GRADE LOAD BEARING AND NON-LOAD BEARING WALLS, AND FOR OTHER APPLICATIONS WHERE ANOTHER TYPE IS NOT INDICATED.

4.08 MASONRY VENEER SHALL BE INSTALLED OVER 1/2" FELT OR APPROVED WATER RESISTANT SHEETING. TIRROGUE WALL FLASHING AND WEEPS SHALL BE PROVIDED AT ANY LOCATION WHERE INTERIOR SPACE PROJECTS BEYOND FACE OF VENEER, IE. BAY WINDOWS, OFF-SET CHIMNEYS ETC.

4.09 IF APPLICABLE AND SHOWN IN THE DRAWINGS FOR ATTACHED DWELLINGS, MASONRY PARTY WALLS SHALL BE CONSTRUCTED TO CLASSIFICATION D-2, 8" CMU IN ACCORDANCE WITH U-1905 TO PROVIDE 2 HOUR SEPARATION FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING. SEE 6.04.4

4.10 PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED TO JOIST IN ACCORDANCE WITH A.P.A. RECOMMENDATIONS. LEAVE 1/8" SPACE AT ALL EDGES FOR EXPANSION.

4.11 PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH PANEL CLIPS (1 PER BAY) LEAVE 1/8" SPACE AT PANEL ENDS.

4.12 REFERENCE NOMINAL THICKNESS SHALL MEAN THE FOLLOWING ACTUAL THICKNESS AND SPECIFICATIONS:
 3/4" = 23/32" APA RATED STURDI-FLOOR 24 OC EXPOSURE
 5/8" = 19/32" APA RATED STURDI-FLOOR 24 OC EXPOSURE
 7/8" = 15/16" APA RATED STURDI-FLOOR 1818 EXPOSURE
 7/16" = 7/16" RATED SHEATHING (OSB) 24V6 EXPOSURE

4.13 FOR ATTACHED DWELLINGS, PROVIDE FIRE RESISTANT TREATED (F.R.T.) ROOF SHEATHING 4 FEET EACH SIDE OF PARTY WALL CENTERLINE. PLYWOOD SHALL BE CERTIFIED NOT TO CAUSE ACID HYDROLYSIS AT MOISTURE CONDITIONS AT TEMPERATURE BELOW 400 F. ALTERNATIVES TO THE USE OF F.R.T SHALL ONLY BE AS APPROVED BY THE LOCAL JURISDICTION. THE INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 130 MAY ALLEVIATE THE NEED FOR F.R.T IN CERTAIN JURISDICTIONS - VERIFY WITH THE BUILDING CODE OFFICIAL.

4.14 ALL WOOD LESS THAN 8" FROM GRADE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE ACC 40 PRESSURE TREATED.

4.15 NOTCHES IN TOP OR BOTTOM OF A JOIST SHALL NOT EXCEED 1/8 OF DEPTH AND SHALL NOT OCCUR IN CENTER THIRD OF SPAN.

4.16 HOLES BORED IN A JOIST SHALL NOT BE WITHIN 2" OF TOP OR BOTTOM, AND SHALL NOT EXCEED 1/3 THE DEPTH.

4.17 UNLESS NOTED ELSEWHERE IN THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR HEADERS SHALL BE MIN. 8" X 12" (7x8 AND 8x10) AND THE FOLLOWING SIZES:
 SUPPORTING MAX OPENING HEADER
 ROOF 6"-2" 2-2x8
 6"-2" 2-2x10
 6"-2" 2-2x12

ROOF + 1 STORY 4" 0" 2-2x8
 6"-2" 2-2x10
 6"-2" 2-2x12

ROOF + 2 STORY 4" 0" 2-2x10
 6"-2" 2-2x12

FOR OPENINGS GREATER THAN THOSE NOTED, CONSULT THE ARCHITECT OR ENGINEER IF NOT NOTED ON THE DRAWINGS

WOOD:

5.01 ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF WOOD PRESERVATION.

5.02 PRESSURE TREATED WOOD IS TO MEET AMERICAN WOOD PRESERVERS INSTITUTE STANDARD LP-2 OR LP-4.

6.03 JOISTS AND GIRDS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES. WHEN FIRE AND SPRUCE PINE FIR (S.P.F.) SHALL BE NOTHER SPECIES ONLY.

6.04 PROVIDE DOUBLE JOIST UNDER ALL PARRELL PARTITIONS OVER 5'-0" IN LENGTH UNLESS MANUFACTURED JOIST SYSTEM HAS BEEN SPECIFIED.

6.05 WHEN LAMINATED BEAMS ARE SPECIFIED ON THE DRAWINGS AS L.V. OR P.B., THEY ARE INTERCHANGEABLE (MIN. FIB-2000 P/B)

6.06 BEARING WALL STUDS: MINIMUM 8" X 8" STUD GRADE, KD OR BETTER

6.07 EXTERIOR WALLS, INTERIOR BEARING WALLS AND WALLS ATTACHED TO WOOD FRAME CONSTRUCTION, AT WALL AND ROOF INTERSECTIONS, AT CHIMNEY AND ROOF INTERSECTIONS, IN ROOF VALLEYS, AT ALL ROOF PENETRATIONS, AND AT WALL OPENINGS IF RECOMMENDED BY WINDOW AND DOOR MANUFACTURER UNLESS OTHERWISE NOTED.

6.08 INTERIOR NON BEARING WALLS MAY BE 9/2" 2x4 STUDS 24" OC

6.09 LATERAL WALL BRACING
 SEE WALL BRACING PLAN FOR DETAILS

6.10 RAFTERS - SEE PLANS FOR SIZE, SPACING, MINIMUM GRADE AND SPECIES.

6.11 DRUM FABRICATION AND INSTALLATION OF TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE TP-82

6.12 BRACING WOOD TRUSSES TO BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE, INC. PUBLICATION BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS HB-91.

6.13 ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THAT TYPE GRADE AND SPECIES OF WOOD, AND SHALL BE IDENTIFIED BY AN APPROVED TESTING AGENCY.

6.14 PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED TO JOIST IN ACCORDANCE WITH A.P.A. RECOMMENDATIONS. LEAVE 1/8" SPACE AT ALL EDGES FOR EXPANSION.

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6.19 NOTCHES IN TOP OR BOTTOM OF A JOIST SHALL NOT EXCEED 1/8 OF DEPTH AND SHALL NOT OCCUR IN CENTER THIRD OF SPAN.

6.20 HOLES BORED IN A JOIST SHALL NOT BE WITHIN 2" OF TOP OR BOTTOM, AND SHALL NOT EXCEED 1/3 THE DEPTH.

6.21 UNLESS NOTED ELSEWHERE IN THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR HEADERS SHALL BE MIN. 8" X 12" (7x8 AND 8x10) AND THE FOLLOWING SIZES:
 SUPPORTING MAX OPENING HEADER
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 6"-2" 2-2x10
 6"-2" 2-2x12

ROOF + 1 STORY 4" 0" 2-2x8
 6"-2" 2-2x10
 6"-2" 2-2x12

ROOF + 2 STORY 4" 0" 2-2x10
 6"-2" 2-2x12

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THERMAL & MOISTURE PROTECTION:

7.01.0 DAMPROOFING: APPLY (1) COAT OF ASPHALT BITUMEN TO EXTERIOR OF ALL BELOW GRADE WALLS AT BASEMENT CONDITIONS. WHEN HABITABLE SPACE OCCURS BELOW GRADE, PROVIDE WATERPROOFING MEMBRANE, AQUICONS BASED BLASTOMETRIC VINYL ACRYLIC MASTIC, 36 MIL MIN. THICKNESS, OR OTHER APPROVED EQUAL.

7.01.1 SLAB VAPOR BARRIER: 10 MIL POLYETHYLENE SHEET WHEN NOTED ON DRAWINGS. OVERLAY ALL EDGES 6"

7.02 BIL SEALER: 1/2" x 5'-0" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR BIL PLATES, OR OTHER APPROVED SEALER.

7.03 PROVIDE CORROSION - RESISTIVE FLASHING AT INTERSECTIONS OF MASONRY AND WOOD FRAME CONSTRUCTION OVER PROJECTING WOOD TRIM, WHERE DECKS, PORCHES, ETC. ATTACH TO WOOD FRAME CONSTRUCTION, AT WALL AND ROOF INTERSECTIONS, AT CHIMNEY AND ROOF INTERSECTIONS, IN ROOF VALLEYS, AT ALL ROOF PENETRATIONS, AND AT WALL OPENINGS IF RECOMMENDED BY WINDOW AND DOOR MANUFACTURER UNLESS OTHERWISE SPECIFIED ON DRAWINGS PROVIDE AND INSTALL THERMAL INSULATION AS FOLLOWS:

7.04.0 UNLESS OTHERWISE SPECIFIED ON DRAWINGS PROVIDE AND INSTALL THERMAL INSULATION AS FOLLOWS:
 7.04.1 WALLS:
 1) 2x6 STUD WALLS R-21 FIBERGLASS BATTS WITH INTERGRAL VAPOR BARRIER (2021 IECC ALTERNATIVE)
 2) 2x4 STUD WALLS R-13 FIBERGLASS BATTS WITH INTERGRAL VAPOR BARRIER (2021 IECC ALTERNATIVE)
 FLOORS OVER GARAGE:
 R-36 FIBERGLASS BATTS WITH INTERGRAL VAPOR BARRIER
 R-36 FIBERGLASS BATTS WITH INTERGRAL VAPOR BARRIER

7.04.2 INTERIOR CEILING AT ROOF: R-49 FIBERGLASS DATT WITH INTERGRAL VAPOR BARRIER, COMBINATION R-11 BATT AND R-38 BLOWN INSULATION, OR R-45 BLOWN. ADDITIONAL FREE VENTILATION IS REQUIRED IF VAPOR BARRIER IS NOT USED. (2021 IECC ALTERNATIVE)

7.04.4 BASEMENT FOUNDATION WALLS: R-13 FIBERGLASS BATT WITH 1/2" S25 FACING
 CRAWL SPACE WALLS: R-51 WITH 1/2" S25 FACING

7.04.5 SLAB PERIMETERS EXPOSED TO OUTSIDE OR WITHIN 30" OF GRADE: R4.5x24" EXTERIOR VERTICAL OR HORIZONTAL FROM SLAB WALL INTERSECTION.

7.05 ROOFING: UNLESS NOTED OTHERWISE, ROOFING SHALL BE MIN. 220# CLASS "C" FIBERGLASS BASED ASPHALT/SHINGLE OVER 1/2" POUND FIBER FIBER FLASHING TO POPE AND INSIDE OF INTERIOR FACE OF WALL LINE MAY BE ALSO INSTALLED AT THE OWNERS DISCRETION.

7.06 WALL SHEATHING: AS SHOWN ON DRAWINGS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

7.07 SIDING MATERIAL: AS SHOWN ON DRAWINGS AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

7.08 GUTTERS AND LEADERS: 3/4" PREFINISHED ALUMINUM OUTTERS WITH 3/4" PREFINISHED ALUMINUM LEADERS LEAD TO CONCRETE SPLASH BLOCKS OR AS REQUIRED.

DOORS & WINDOWS:

8.01 REVIEW IS UNDER THE 2021 IRC CODE (UNAMENDED)

8.02 ALL INTERIOR DOORS EXCEPT CLOSETS 1/8" THICK 18 RCPT SHALL BE MIN. 2" IN WIDTH.

8.03 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW PROVIDING 1/3 SQFT OF NET CLEAR OPENING WITH A SILL HEIGHT NOT MORE THAN 44" A.F.F.

8.04 SAFETY GLAZING (TEMPERED) SHALL BE PROVIDED IN SLEEPING ROOMS AND BATHS. GLAZING SHALL BE PROVIDED IN SHOWER AND TUB ENCLOSURES AND WINDOWS WITHIN 6 FEET OF TUB.

8.05 FIXED PANEL GREATER THAN 9 SQFT WITHIN 18" A.F.F. OR WITHIN 18" OF A WALKING SURFACE. GLAZING WITHIN 12" OF A STAR RAILING.

8.06 PROVIDED SELF-CLOSING DOOR BETWEEN DWELLING AND GARAGE. DOOR SHALL BE 1-3/4" THICK SOLID WOOD OR INSULATED STEEL W/ MIN. 20 MINUTE FIRE RATING.

FINISHES:

9.01.0 WALL: 1/2" TAPERED EGGE GYPSUM BOARD APPLIED, TAPED AND FINISHED IN ACCORDANCE WITH GYPSUM ASSOCIATION GA-215 AND ASTM-C-840

9.01.1 5/8" GYPSUM BOARD IS TO BE USED TO COMPLETELY SEPARATE GARAGE FROM LIVING AREA. APPLIED ON GARAGE SIDE PER THE PLANS, OR IN MANOR ACCEPTABLE TO LOCAL JURISDICTION. (SEE GENERAL CONSTRUCTION NOTE #19)

9.01.2 PROVIDE RATED ASSEMBLIES AS DETAILED IN THE DRAWINGS FOR PARTY WALLS OR OTHER RATED WALLS OR FLOORS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE TESTING AGENCY'S REQUIREMENTS.

9.02 WHEN CERAMIC TILE IS USED, WATER RESISTANT GYPSUM BOARD 1/2" THICK, OR APPROVED EQUAL, IS REQUIRED AT TUB AND SHOWER SURROUNDS TO A HEIGHT OF 36" ABOVE TUB OR SHOWER PAN. GLASS MESH AND CEMENT BOARD IS AN ACCEPTABLE ALTERNATE.

9.03 PAINT (INTERIOR) UNLESS DIRECTED OTHERWISE: CEILING (1) COAT PRIMER (1) COAT LATEX FINISH WALLS (1) COAT PRIMER (1) COAT LATEX FINISH TRIM (1) COAT PRIMER (1) COAT SEMI-GLOSS ENAMEL FINISH

9.04 PAINT (EXTERIOR) UNLESS DIRECTED OTHERWISE: 1) TRIM: (1) COAT PRIMER (1) COAT FINISH OR EXTERIOR GRADE EXTERIOR LATEX SEMI-GLOSS ENAMEL.

9.05 CERAMIC TILE: WALLS: GLAZED MOSAIC TILE OVER WATER RESISTANT GYPSUM BOARD OR GLASS MESH MORTAR UNITS. USE THIN SET ORGANIC ADHESIVE (ANSI A118.1) OVER 1/2" GYPSUM BOARD OR LATEX PORTLAND MORTAR (ANSI A118.5) OVER CEMENT BOARD FLOORS: GLAZED MOSAIC TILE OVER MINIMUM 5/8" PLYWOOD UNDERLAYMENT, SCHEDULE 1" OC TO SUBFLOOR. USE EPOXY MORTAR AND GROUT APPLICATION (ANSI A118.3)

9.06 UNDERLAYMENT: SCHEDULE 1" OC TO SUBFLOOR. USE EPOXY MORTAR AND GROUT APPLICATION (ANSI A118.3)

9.08 RESILIENT FLOORS: SHEET VINYL RESILIENT FLOORING OVER 1/4" MIN. FIBERBOARD OR PLYWOOD UNDERLAYMENT.

SPECIALTIES:

10.01 FIREPLACE: PRE-BUILT FULL APPROVED, SELECTED BY THE OWNER, AND INSTALLED ACCORDING TO CODE AND MANUFACTURER RECOMMENDATIONS, IF APPLICABLE

10.02 TOILET AND BATH ACCESSORIES PER PLANS, OR BY OWNER

10.03 MIRRORS: MIRROR QUALITY & SIZES PER PLANS, OR BY OWNER

10.04 PROVIDE TWO TOWEL BARS FOR EACH FULL BATH, ONE PER POWDER ROOM.

10.05 PROVIDE EITHER SHOWER RODS 80" AFF OR TEMPERED OR SAFETY LAMINATE GLASS DOORS, PER OWNER

MECHANICAL:

15.01 HVAC AND PLUMBING CONTRACTORS SHALL COORDINATE ALL CHANGES IN JOIST, TRUSSES, ETC., WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL MECHANICAL AND PLUMBING CODES.

15.02 PROVIDE ONE DAMPERED REGISTER PER 600 SQUARE FOOT OF UNFINISHED BASEMENT SPACE.

15.03 PROVIDE EXHAUST FANS AT EACH BATH AND VENT TO EXTERIOR OF HOUSE

15.04 DETACHED DWELLINGS CONSTRUCTED IN THE STATE OF MARYLAND AND ALL ATTACHED DWELLINGS CONSTRUCTED IN THE STATE OF MARYLAND SHALL INCLUDE A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 130.

15.05 ALL DUCTWORK THAT PENETRATES ALL RATED WALL OR FLOOR ASSEMBLY SHALL BE PROVIDED WITH FIRE DAMPERS.

15.06 ALL VENTS AND FLUES SHALL BE INSTALLED WITH MINIMUM OF 2" CLEARANCE TO ADJACENT WOOD FRAMING GREATER IF SPECIFIED BY MANUFACTURER.

15.07 ANY PIPING PASSING UNDER FOOTINGS OR THROUGH A FOUNDATION WALL OR SLAB SHALL BE PROVIDED WITH A SLEEVE TWO PIPES LARGER THAN THE SUBJECT PIPE.

15.08 PROVIDE OVER FLOW PANS AND DRAINS FOR WASHER AND OR WATER HEATER WHEN LOCATED ON WOOD FLOOR SYSTEM.

15.09 PROVIDE HOSE BIBBS (FREEZE-PROOF OR WITH SHUT OFFS) AT FRONT AND REAR OF SINGLE FAMILY DWELLINGS.

15.10 PROVIDE 1-1/2" CONDENSATION LINE FROM WATER HEATER AND AIR HANDLER TO POSITIVE OUT FALL OR TO SUMP PUMP IF PROVIDED.

ELECTRICAL:

16.01 WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE LOCAL REGULATIONS. FIXTURES AND APPLIANCES AS SELECTED BY THE OWNER.

16.02 PROVIDE G.F.I. RECEPTACLES AT ALL WET LOCATIONS IN ACCORDANCE WITH NEC

16.03 PROVIDE HARDWIRED SMOKE DETECTORS AT EACH FLOOR LEVEL WITHIN 10' OF SLEEPING AREA, NOT CLOSER THAN FOUR FEET FROM RETURN AIR INTAKES. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND SIMULTANEOUSLY. IF PERMIT IS ISSUED UNDER 2015 IRC CODE AND DWELLINGS IS NOT SPRINKLERED, INSTALL ADDITIONAL SMOKE DETECTORS IN EACH SLEEPING ROOM.

REVISIONS	BY
7/22/24	RB
8/29/24	RB
9/8/24	RB
12/17/24	RB
4/17/25	RB

RUSHE RESIDENCE
 1400 SHAFFERSVILLE RD
 MOUNT AIRY MD 21771

RB Home Design
 1419 CHESAPEAKE AVE MIDDLE RIVER MD 21220
 RBHOMEDSIGN@HOTMAIL.COM
 443-613-5115

SPECIALTIES:

1.0 GENERAL CONDITIONS

1.01 CONSTRUCTION SHALL COMPLY WITH THE LATEST ADDITION OF INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AND APPLICABLE LOCAL CODES AND AMENDMENTS.

1.01.1 ALL CONSTRUCTION SHALL BE CLASSIFIED AS "USE GROUP R-3, TYPE 5-B CONSTRUCTION" WHEN REVIEWED UNDER IRC 2021

1.02 DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. GENERAL CONTRACTORS AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.

WOOD:

4.01.0 MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE LOWER LEVEL FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING: HEIGHTS ARE FOR UNREINFORCED WALLS WHERE UNSTABLE SOIL OR GROUND WATER CONDITIONS DO NOT EXIST.

TYPE OF WALL HEIGHT OF FILL
 8" CMU HOLLOW 4'-0"
 12" CMU HOLLOW 6'-0"
 8" POURED CONCRETE 7'-0"
 16" POURED CONCRETE 6'-0"
 HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION, OR REINFORCING.

4.01.1 WALLS OVER 9'-0" OR ON UNSTABLE SOIL SHALL BE ENGINEERED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.

WOOD:

5.01 ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF WOOD PRESERVATION.

5.02 PRESSURE TREATED WOOD IS TO MEET AMERICAN WOOD PRESERVERS INSTITUTE STANDARD LP-2 OR LP-4.

THERMAL & MOISTURE PROTECTION:

7.01.0 DAMPROOFING: APPLY (1) COAT OF ASPHALT BITUMEN TO EXTERIOR OF ALL BELOW GRADE WALLS AT BASEMENT CONDITIONS. WHEN HABITABLE SPACE OCCURS BELOW GRADE, PROVIDE WATERPROOFING MEMBRANE, AQUICONS BASED BLASTOMETRIC VINYL ACRYLIC MASTIC, 36 MIL MIN. THICKNESS, OR OTHER APPROVED EQUAL.

FINISHES:

9.01.0 WALL: 1/2" TAPERED EGGE GYPSUM BOARD APPLIED, TAPED AND FINISHED IN ACCORDANCE WITH GYPSUM ASSOCIATION GA-215 AND ASTM-C-840

9.01.1 5/8" GYPSUM BOARD IS TO BE USED TO COMPLETELY SEPARATE GARAGE FROM LIVING AREA. APPLIED ON GARAGE SIDE PER THE PLANS, OR IN MANOR ACCEPTABLE TO LOCAL JURISDICTION. (SEE GENERAL CONSTRUCTION NOTE #19)

9.01.2 PROVIDE RATED ASSEMBLIES AS DETAILED IN THE DRAWINGS FOR PARTY WALLS OR OTHER RATED WALLS OR FLOORS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE TESTING AGENCY'S REQUIREMENTS.

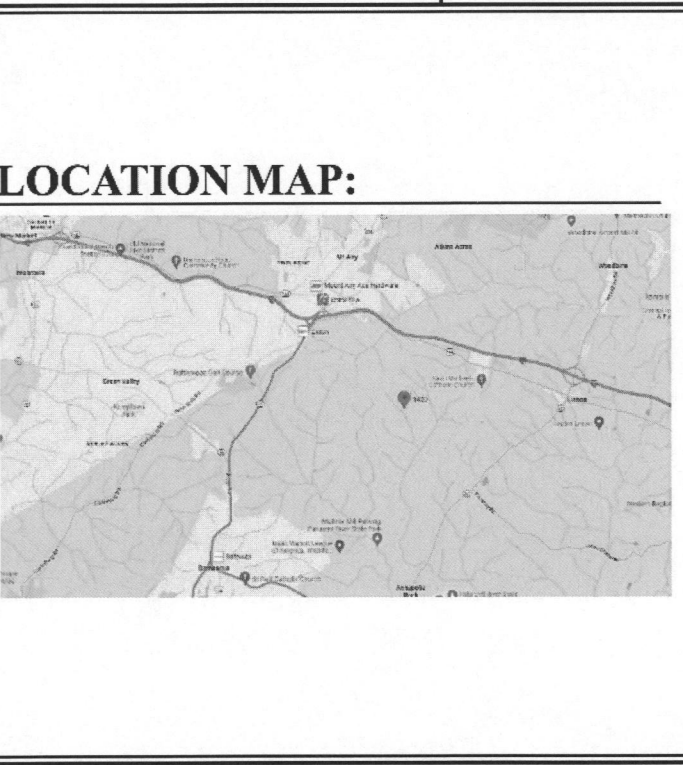
9.02 WHEN CERAMIC TILE IS USED, WATER RESISTANT GYPSUM BOARD 1/2" THICK, OR APPROVED EQUAL, IS REQUIRED AT TUB AND SHOWER SURROUNDS TO A HEIGHT OF 36" ABOVE TUB OR SHOWER PAN. GLASS MESH AND CEMENT BOARD IS AN ACCEPTABLE ALTERNATE.

ELECTRICAL:

16.01 WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE LOCAL REGULATIONS. FIXTURES AND APPLIANCES AS SELECTED BY THE OWNER.

16.02 PROVIDE G.F.I. RECEPTACLES AT ALL WET LOCATIONS IN ACCORDANCE WITH NEC

16.03 PROVIDE HARDWIRED SMOKE DETECTORS AT EACH FLOOR LEVEL WITHIN 10' OF SLEEPING AREA, NOT CLOSER THAN FOUR FEET FROM RETURN AIR INTAKES. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND SIMULTANEOUSLY. IF PERMIT IS ISSUED UNDER 2015 IRC CODE AND DWELLINGS IS NOT SPRINKLERED, INSTALL ADDITIONAL SMOKE DETECTORS IN EACH SLEEPING ROOM.



RUSHE RESIDENCE

1400 SHAFFERSVILLE RD

MOUNT AIRY MD 21771



COLOR RENDITION

LIST OF DRAWINGS:

ARCHITECTURAL
 C-5 COVERSHEET
 A-1 FRONT / REAR ELEVATIONS
 A-2 LEFT / RIGHT ELEVATIONS
 A-3 1ST FLOOR PLAN
 A-4 2ND FLOOR PLAN
 A-5 BUILDING SECTIONS
 A-6 BUTLIDG SECTIONS

STRUCTURAL
 S-1 FOUNDATION PLAN
 S-2 1ST FLOOR FRAMING PLAN
 S-3 2ND FLOOR FRAMING PLAN

KITCHEN CABINETS / VANITY CABINETS: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

KITCHEN APPLIANCES: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

PLUMBING FIXTURES: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

RECREATIVE LIGHTING: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

RECESSED LIGHTING: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

HVAC EQUIPMENT (INCLUDING IN LINE HUMIDIFIERS): SUPPLIED BY OWNER, SIZED AND INSTALLED BY CONTRACTOR

WIFI 1 PUMP, MANIFOLD, EXPANSION TANK AND PIPING SUPPLIED BY OWNER, SIZED AND INSTALLED BY CONTRACTOR

ALL OTHER WELL PUMP ACCESSORIES SUPPLIED AND INSTALLED BY CONTRACTOR

75 GALL LPPV WATER HEATER: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

WATER TREATMENT SYSTEM: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

MATERIAL AND INSTALLATION AS NEEDED T.B.D

SUMP PUMP AND PIT: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

RADON FAN: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

SILT FENCE: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR

GRAVEL BASE AND ASPHALT DRIVEWAY: SUPPLIED BY OWNER, INSTALLED BY OWNER

GRADING PERMIT: SUPPLIED BY CONTRACTOR

SEPTIC SYSTEM/DRY WELLS BIO POND/GRADING: SUPPLIED BY CONTRACTOR

ALL PIPING, VALVES, ACCESS, SUPPORTS, SLEEVES, PATCHING REQUIRED BY CODE: RESPONSIBILITY OF CONTRACTOR

SECURITY SYSTEM: TBD

SPRINKLER NOTE:
 THE STRUCTURE SHALL BE FULLY SPRINKLERED. THE SPRINKLER SYSTEM SHALL BE DESIGNED BY A LICENSED / CERTIFIED FIRE SPRINKLER CONTRACTOR.

ALARM NOTES:
 1) SMOKE ALARMS SHALL BE INSTALLED AND COMPLY WITH NFPA 72 AND IRC SECTION R314.
 2) CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND COMPLY WITH IRC SECTION R215

PERMIT NOTE:
 THE MECHANICAL, ELECTRICAL, AND PLUMBING PERMITS WILL BE OBTAINED BY THE RESPECTIVE CONTRACTORS ON THE PROJECT.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 15424. EXPIRATION DATE: JULY 2, 2025

GEOFFREY A. TIZARD, II, P.E.
 5 LEADBURN COURT
 TOWSON, MARYLAND 21284

THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED AT SITE FOR INFORMATION AND THAT PERTAINING SOLELY TO THE FABRICATION PROCESSES OR TO THE MEASUREMENTS, METHODS, MATERIALS OR CONSTRUCTION OF THE WORK OF ALL TRADES.

RB HOME DESIGNS

DATE: 4/17/25

SCALE: 1/4" = 1'

DRAWN BY: R. BREDLOW

COVER SHEET

SHEET NO. C.S.

7/22/24	RB
8/29/24	RB
9/8/24	RB
12/17/24	RB
2/12/25	RB
4/17/25	RB

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 1419 CHESAPEAKE AVE. MIDDLE RIVER MD 21220
 RBHOMEDSIGN@HOTMAIL.COM
 443-613-5115

RUSHE RESIDENCE
 1400 SHAFFERSVILLE RD
 MOUNT AIRY MD 21771

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RB HOME DESIGN
 DATE: 4/17/25
 SCALE: 1/4" = 1'
 DRAWN BY: RB
 FRONT / REAR ELEVATIONS
 SHEET NO. **A-1**



FRONT ELEVATION



REAR ELEVATION

FOR CONSTRUCTION PLANS

BRACED WALL PLAN CONSTRUCTION

7/16" OSB WALL. WOOD STRUCTURAL PANEL SHEATHING ATTACHED TO FRAMING WITH 6d AT 6" OC AT PANEL EDGES, AND 12" OC AT INTERMEDIATE MEMBERS
 2x6 WALL STUDS TO BE @ 16" OC DOUBLE 2x6 TOP PLATE W/ OVERLAPING CORNERS AND SIGLE BOTTOM PLATE
 MIN. R21 FIBERGLASS BATT INSULATION BETWEEN ALL STUD BAYS. ALL TOP AND BOTTOM PLATE PENETRATIONS TO BE FIRE STOPPED
 GYPSUM WALL BOARD TO BE APPLIED TO INTERIOR OF FRAMING WITH ADHESIVE AND TYPE S OR W SCREWS @ 7" OC AT PANEL EDGES AND 24" OC AT INTERMEDIATE FRAMING MEMBERS

EXTERIOR WALLS TO BE OF 2x6 @ 16" OC W/ DOUBLE TOP PLATE
 INTERIOR BEARING WALLS TO BE MIN. 2x4 @ 16" OC W/ DOUBLE TOP PLATE
 INTERIOR NON BEARING WALLS TO BE 2x4 @ 16" OC W/ DOUBLE TOP PLATE

TYP. WINDOW AND DOOR HEADER POST SCHEDULE
 1-2x6 (1-KING STUD, 1-JACK STUD)
 2-2x6 (1-KING STUD, 2-JACK STUDS)
 3-2x6 (1-KING STUD, 3-JACK STUDS)

WALL BRACING DESIGN INFO

LOCATION: HOWARD COUNTY, MARYLAND
 SEISMIC CATEGORY: B
 WIND SPEED: 115 MPH

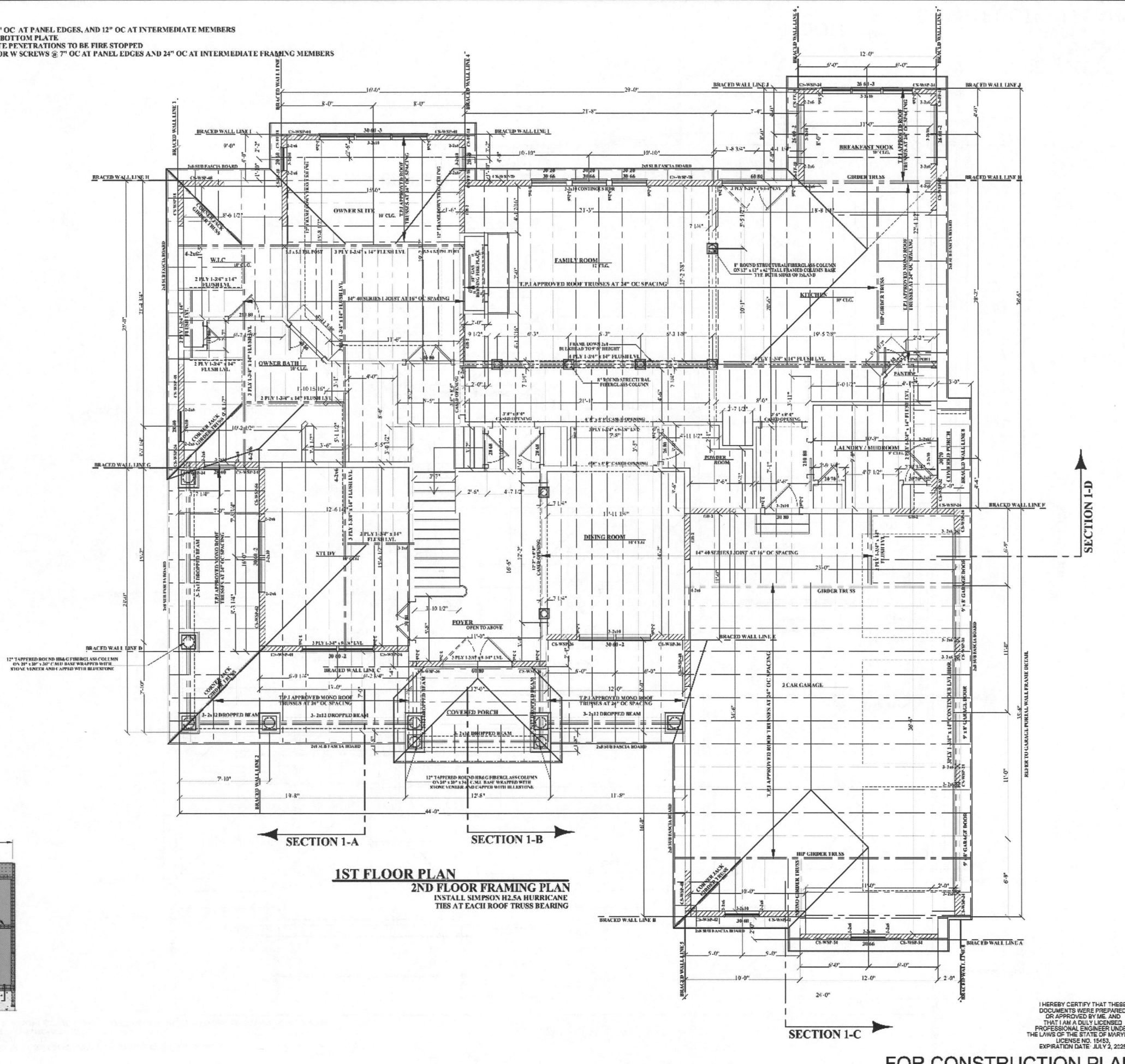
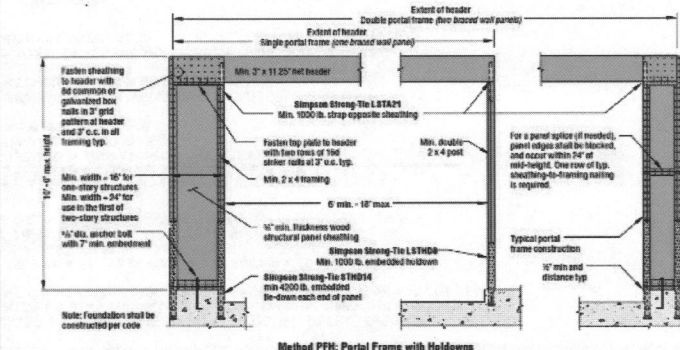
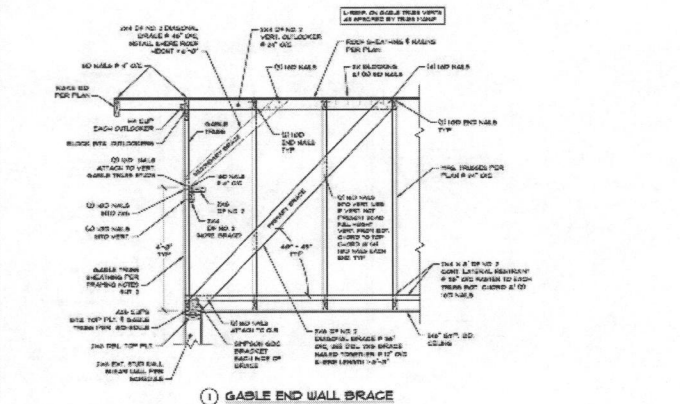
METHOD 3 (WOOD SHEATHING) / CONTINUOUS SHEATHING
 METHOD 5 (GYPSUM BOARD)

* THESE DRAWINGS ARE LIMITED TO IRC WALL BRACING REQUIREMENTS ONLY

LEDGEN

- CS-WSP CONTINUOUS SHEATHING- WOOD STRUCTURAL PANEL (-LENGTH)
- CS-FF 6" NARROW WALL (-LENGTH) NARROW WALL
- CS-PF CONTINUOUS SHEATHED PORTAL FRAME
- ABW ALTERNATE BRACED WALL
- GB-1 36" (1 SIDE)
- GB-2 48" (2 SIDES)
- TD DOWN DEVICE (- LRS)

R602.10.4 CONTINUOUS SHEATHING. BRACED WALL LINES WITH CONTINUOUS SHEATHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION. ALL BRACED WALL LINES ALONG EXTERIOR WALLS ON THE SAME STORY SHALL BE CONTINUOUSLY SHEATHED.



7/22/24	RB
8/29/24	RB
9/8/24	RB
12/17/24	RB
2/12/25	RB
4/17/25	RB

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RB HOME DESIGN

DATE: 4/17/25

SCALE: 1/4" = 1'

DRAWN BY: RB

1ST FLOOR FRAMING

SHEET NO.

S-2

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 15453 EXPIRATION DATE: JULY 3, 2025

FOR CONSTRUCTION PLANS

BRACED WALL PLAN CONSTRUCTION

7/16" OSB WALL WOOD STRUCTURAL PANEL SHEATHING ATTACHED TO FRAMING WITH 6d @ 6" OC AT PANEL EDGES, AND 12" OC AT INTERMEDIATE MEMBERS
 2X6 WALL STUDS TO BE @ 16" OC DOUBLE 2X6 TOP PLATE W/ OVERLAPPING CORNERS AND SIGLE BOTTOM PLATE
 MIN. R21 FIBERGLASS BATT INSULATION BETWEEN ALL STUD BAYS ALL TOP AND BOTTOM PLATE PENETRATIONS TO BE FIRE STOPPED
 GYPSUM WALL BOARD TO BE APPLIED TO INTERIOR OF FRAMING WITH ADHESIVE AND TYPE S OR W SCREWS @ 7" OC AT PANEL EDGES AND 24" OC AT INTERMEDIATE FRAMING MEMBERS

EXTERIOR WALLS TO BE OF 2x6 @ 16" OC W/ DOUBLE TOP PLATE
 INTERIOR BEARING WALLS TO BE MIN. 2x4 @ 16" OC W/ DOUBLE TOP PLATE
 INTERIOR NON BEARING WALLS TO BE 2x4 @ 16" OC W/ DOUBLE TOP PLATE

TYP. WINDOW AND DOOR HEADER POST SCHEDULE
 1-2x6 (1-KING STUD, 1-JACK STUD)
 2-2x6 (1-KING STUD, 2-JACK STUDS)
 3-2x6 (1-KING STUD, 3-JACK STUDS)

WALL BRACING DESIGN INFO

LOCATION: HOWARD COUNTY, MARYLAND
 SEISMIC CATEGORY: B
 WIND SPEED: 115 MPH

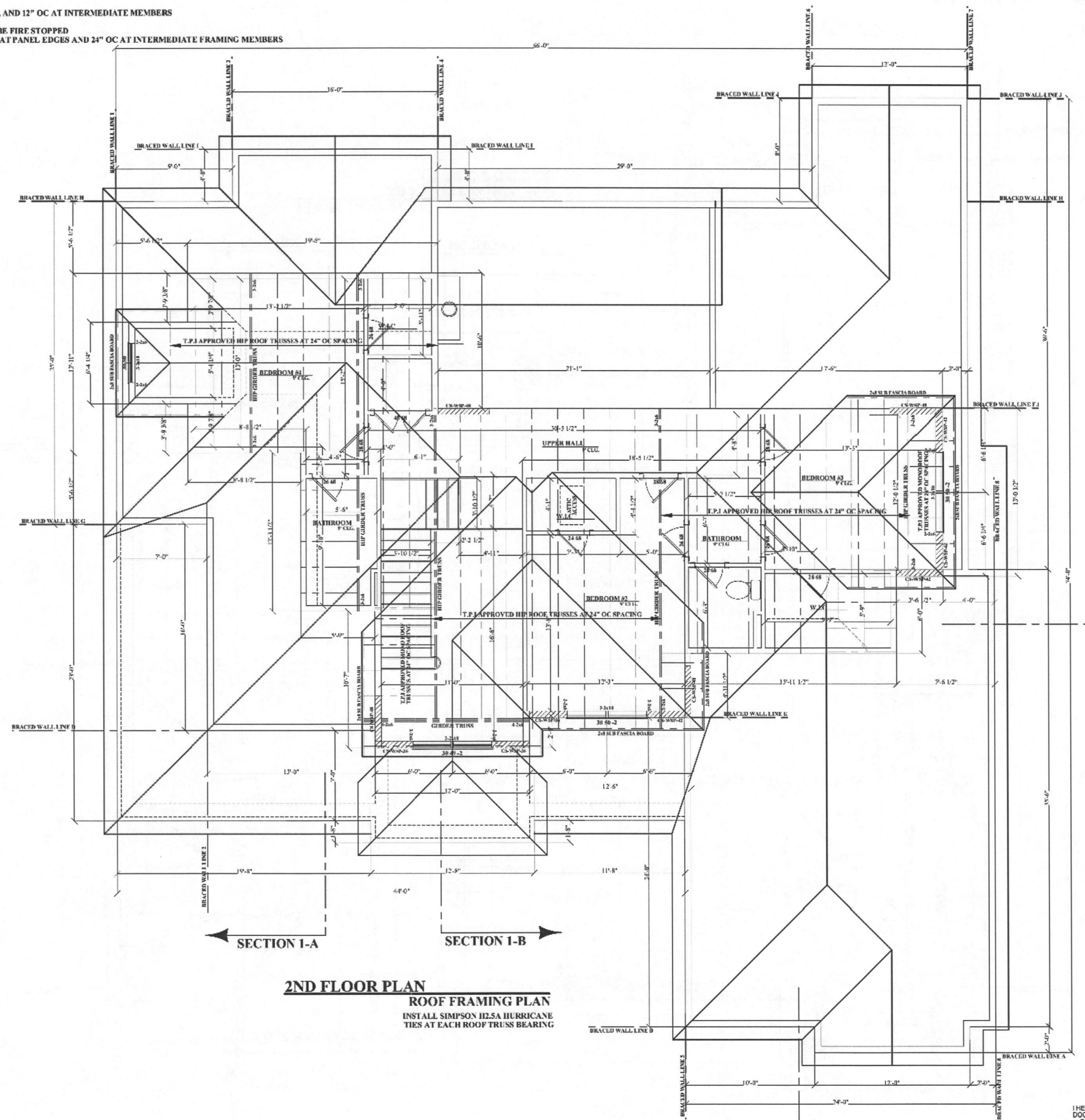
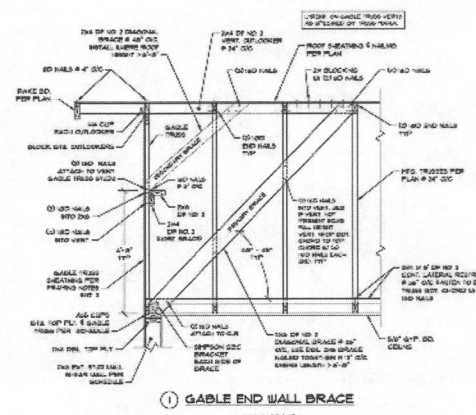
METHOD 3 (WOOD SHEATHING) / CONTINUOUS SHEATHING
 METHOD 5 (GYPSUM BOARD)

*THESE DRAWINGS ARE LIMITED TO IRC WALL BRACING
 REQUIRMENTS ONLY

LEDGEND

- CS-WSP CONTINUOUS SHEATHING- WOOD STRUCTURAL PANEL (-LENGTH)
- CS-FF 6.1 NARROW WALL (-LENGTH)
- CS-PP CONTINUOUS SHEATHED PORTAL FRAME
- ARBV ALTERNATE BRACED WALL
- GB-1 36" (1 SIDE)
- GB-2 48" (2 SIDES)
- TIE DOWN DEVICE (- LBS)

R602.10.4 CONTINUOUS SHEATHING. BRACED WALL LINES WITH CONTINUOUS SHEATHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION. ALL BRACED WALL LINES ALONG EXTERIOR WALLS ON THE SAME STORY SHALL BE CONTINUOUSLY SHEATHED.



2ND FLOOR PLAN
ROOF FRAMING PLAN
 INSTALL SIMPSON I2.5A HURRICANE TIES AT EACH ROOF TRUSS BEARING

SECTION 1-D

SECTION 1-A

SECTION 1-B

SECTION 1-C

FOR CONSTRUCTION PLANS

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 15453, EXPIRATION DATE: JULY 2, 2025

7/22/24	RB
8/29/24	RB
9/8/24	RB
12/17/24	RB
2/12/25	RB
4/17/25	RB

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 MOUNT AIRY MD 21771

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RB HOME DESIGN

DATE: 4/17/25

SCALE: 1/4" = 1'

DRAWN BY: RB

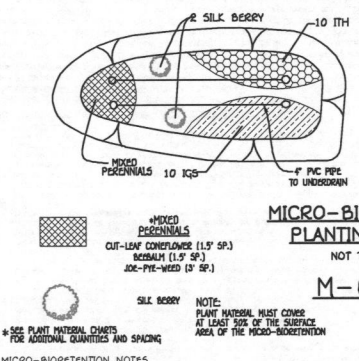
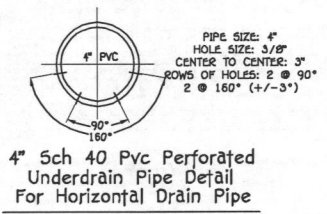
2ND FLOOR FRAMING

SHEET NO.

S-3

SOILS LEGEND			
SOIL	NAME	HSG	K' VALUE
GgB	Genly loam, 3 to 8 percent slopes	B	0.37
GgC	Genly loam, 8 to 15 percent slopes	B	0.32

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
x 448.5	SPOT ELEVATION
---	EXISTING OVERHEAD WIRE
---	PROPOSED PAVING
---	PROPOSED SIDEWALKS
---	LIMIT OF DISTURBANCE
---	EXISTING SEWAGE DISPOSAL AREA
---	PROPOSED ROOF LEADER
---	EXISTING WELL BOX
---	EXISTING WELL
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	EXISTING SOIL BORING
---	SUPER SILT FENCE
---	STABILIZED CONSTRUCTION ENTRANCE
GgA	SOIL LINES AND TYPES
GgB	
---	PERMANENT SOIL STABILIZATION MATTING



MICRO-BIORETENTION NOTES

- THE SIDES AND BOTTOM OF THE MICRO-BIORETENTION ARE TO BE WRAPPED IN IMPERMEABLE LINER.
- WORK THE PERFORATED HDPE UNDER DRAIN PIPE WITH 1/4" MESH (144) OR SMALLER GALVANIZED HARDWARE CLOTH.
- PROVIDE 2" MINIMUM SPACING BETWEEN UNDER DRAIN AND PERFORATED PIPE THROUGH STONE RESERVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM FOR SMALL BOTS. (SEE PLAN)

BIORETENTION & MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	SYMBOL	BOTANICAL/COMMON NAME	SIZE	CONTAINER	REMARKS
10	10	IB	ITCA VIRGINICA 'LITTLE HEAVY DWARF' VIRGINIA SWIFTSPIRE	18"-22" HT	3 GAL	30" O.C. MIN.
10	10	IB	'SHAMROCK' INK-BERRY	24"-30" HT	3 GAL	30" O.C./MALE CULTIVAR
3	3	IB	SILK-BERRY	24"-30" HT	3 GAL	30" O.C./MALE CULTIVAR

OWNERS/DEVELOPER CERTIFICATION

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

SIGNATURE OF DEVELOPER _____ DATE _____

PRINTED NAME & TITLE _____

DESIGN CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

DESIGNER'S SIGNATURE _____ DATE _____

PRINTED NAME _____

MD REGISTRATION NO. 21476
P.E. (E.I.S.) OR R.L.A. (circle one)



THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: _____ DATE _____

HOWARD SOIL CONSERVATION DISTRICT

STORMWATER MANAGEMENT SUMMARY

AREA ID	ESDV REQUIRED CU.FT.	ESDV PROVIDED CU.FT.	Pe REQUIRED	Pe PROVIDED	Rev REQUIRED CU.FT.	Rev PROVIDED CU.FT.	REMARKS
ROOF & DRIVEWAY (7,935 SqFt.)	N/A	874	N/A	N/A	N/A	N/A	1 MICRO-BIORETENTION (M-6)
TOTAL SITE	884	874	1.0'	1.03'	32	144	

STORMWATER MANAGEMENT PRACTICES

AREA ID	PERMEABLE PAVING A-2	DISCONNECTION OF ROOFTOP RUNOFF	DISCONNECTION OF NON-ROOFTOP RUNOFF	FILTERBASS PLUS	BIORETENTION	BIORETENTION PLUS	SUBMERGED GRAVEL WETLAND	DEWYELL
LOT 2	NO	NO	NO	NO	NO	YES (1)	NO	NO

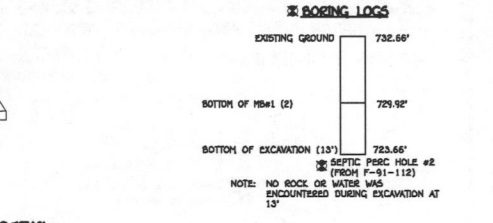
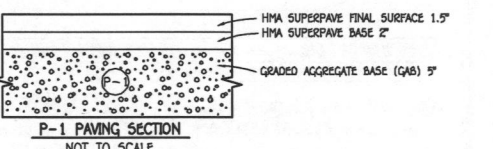
OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6) AND (F-6)

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDER BEYOND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRDS.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

- GENERAL NOTES**
- THE SUBJECT PROPERTY IS ZONED RC-DEO (PER 10/06/04 COMPREHENSIVE ZONING PLAN)
 - EXISTING TOPOGRAPHY SHOWN IS FROM A FIELD RUN SURVEY PERFORMED BY FISHER, COLLINS AND CARTER, INC. IN DATED MAY, 2024 AND SUPPLEMENTED WITH HOWARD COUNTY GIS.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY HORIZONTAL NAD 83, GCS AND DECA WERE USED FOR THIS PROJECT.
GOCG: N 610,709.491, E 1,474,055.027, ELEV. 757.227
OSCH: N 610,110.499, E 1,272,725.119, ELEV. 816.511
 - STORM WATER MANAGEMENT IS IN ACCORDANCE WITH THE H.D.E. STORM WATER DESIGN MANUAL, VOLUMES 1 & II, REVISED 2009 TO MEET THE NEW DEVELOPMENT CRITERIA. PROVIDED STORMWATER MANAGEMENT INCLUDES THE USE OF ONE (1) MICRO-BIORETENTION FACILITY (M-6) TO BE MAINTAINED BY THE HOMEOWNER.
 - PREVIOUS DPE FILE NUMBER F-91-112.
 - THIS PROPERTY IS NOT LOCATED WITHIN THE METROPOLITAN DISTRICT. PRIVATE WELL AND SEPTIC WILL BE UTILIZED FOR THIS PROJECT.
 - NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS(S) OR THEIR BUFFERS, FOREST CONSERVATION BASELINE AREAS AND 100 YEAR FLOODPLAIN.
 - THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION PER SECTION 16.12021(b)(2)(1) OF THE HOWARD COUNTY CODE SINCE IT IS A RESIDENTIAL DEVELOPMENT ON A SINGLE LOT WHERE THE TOTAL CUTTING, CLEANING OR GRADING OF FOREST RESOURCES IS LESS THAN 20,000 SQUARE FEET. A DECLARATION OF INTENT HAS BEEN SUBMITTED TO HOWARD COUNTY.
 - THE ENVIRONMENTAL STUDY FOR THIS PROJECT WAS ESTABLISHED BY FORENVICON DATED JULY 17, 2024.
 - THERE ARE NO 100-YEAR FLOODPLAIN AREAS ON THIS PROJECT.
 - NO CHETTERIES EXISTS ON THIS SITE BASED ON A VISUAL SITE VISIT AND AN EXAMINATION OF THE HOWARD COUNTY CHETTERIES INVENTORY MAP.
 - THIS PROPERTY IS WITHIN THE BRIGHTON DAM WATERSHED (MD 12-DIGIT CODE: 021311080666).
 - SOILS SHOWN HEREON ARE BASED ON NEDS WIS SOIL SURVEY.
 - ANY DRAINAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CONSTRUCTED AT THE DEVELOPER'S EXPENSE.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY MESS UTILITY AT 1-800-EST-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

SITE ANALYSIS DATA CHART

A.	TOTAL AREA OF PROPERTY = 130,683 SF (3.00) AC.±
B.	LIMIT OF DISTURBED AREA (SITE) = 53,386 SF (1.23) AC.±
C.	PROPOSED USE: RESIDENTIAL.
D.	PREVIOUS HOWARD COUNTY FILES: F-91-112
E.	TOTAL AREA OF FLOODPLAIN LOCATED ON-SITE = 0.0 AC
F.	TOTAL AREA OF SLOPES IN EXCESS OF 15% = 0.0 AC
G.	TOTAL AREA OF WETLANDS (INCLUDING BUFFER) = 0.0 AC
H.	TOTAL AREA OF STREAM (INCLUDING BUFFER) = 0.0 AC
I.	TOTAL AREA OF EXISTING FOREST = 72,090 SQ.FT. OR 1.65 AC±
J.	TOTAL GREEN OPEN AREA = 122,749 SQ.FT. OR 2.82 AC±
K.	TOTAL PROPOSED IMPERVIOUS AREA = 7,935 SQ.FT. OR 0.18 AC±
L.	TOTAL PROPOSED IMPERVIOUS PAVING AREA = 4,105 SQ.FT. OR 0.09 AC±
M.	TOTAL PROPOSED IMPERVIOUS ROOF AREA = 3,830 SQ.FT. OR 0.09 AC±
N.	TOTAL AREA OF ERODIBLE SOILS = 0.0 AC±
P.	TOTAL CLEARING AREA = 19,480 SQ. FT. OR 0.45 AC.±



GRADING, SEDIMENT & EROSION CONTROL PLAN

1400 SHAFFERSVILLE ROAD

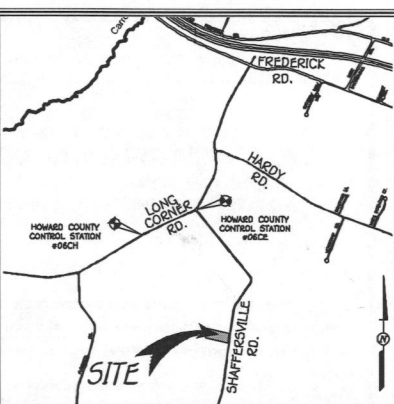
TAX MAP NO.: 6 GRID NO.: 12 PARCEL NO.:257

PLAT No. 10271
ZONED RC-DEO
FORTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: APRIL, 2025
SHEET 1 OF 2

OWNER/DEVELOPER
THE DAVID W. RUSCHE SR. REVOCABLE TRUST DATED JUNE 17, 2024
941 SPERRY WAY
SYKEVILLE, MARYLAND 21784
(301)-440-7510

GP 25-032



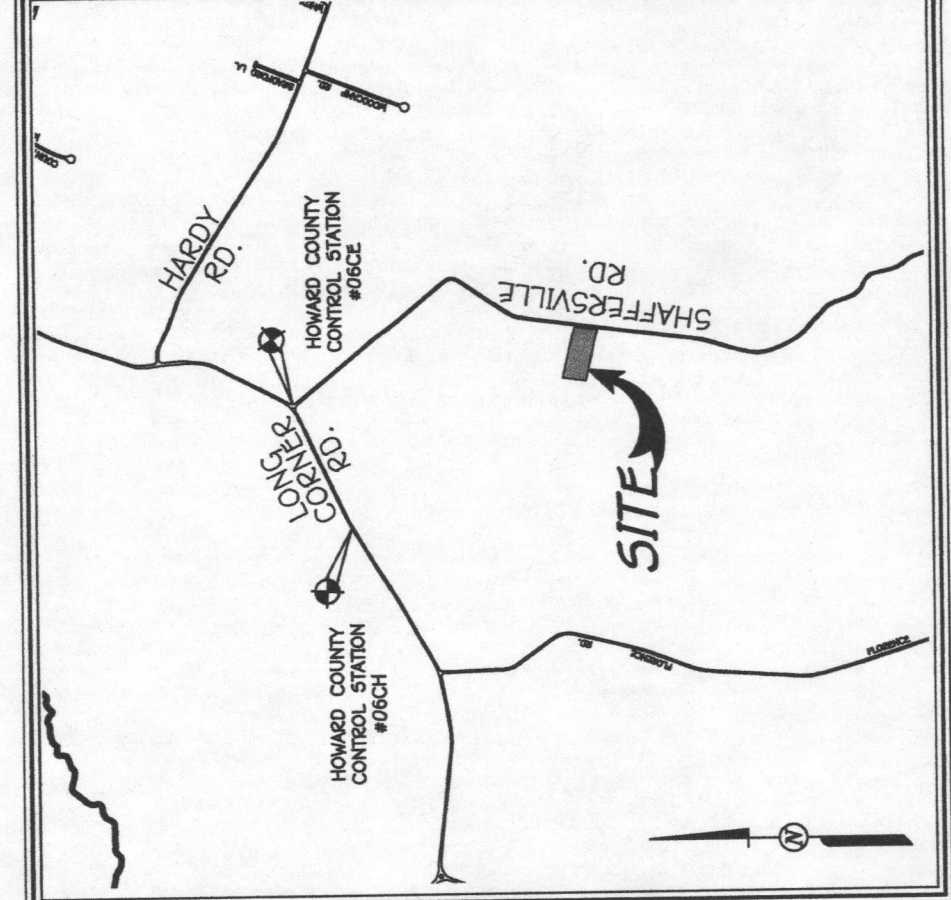
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTRAL SQUARE OFFICE: PARL - 1027E BALTIMORE NATIONAL PLACE
ELKLOTT CITY, MARYLAND 21204
(410) 461-2999

24053 DRN: JJ CRK: PM

SOILS LEGEND		
SOIL	NAME	K _v VALUE
GgB	Glennville loam, 3 to 6 percent slopes	0.37
GgC	Glennville loam, 6 to 15 percent slopes	0.32

LEGEND	
SYMBOL	DESCRIPTION
(---)	EXISTING CONTOUR 2' INTERVAL
(---)	EXISTING CONTOUR 10' INTERVAL
(---)	PROPOSED CONTOUR 10' INTERVAL
(---)	PROPOSED CONTOUR 2' INTERVAL
(---)	SPOT ELEVATION
(---)	PROPOSED PAVING
(---)	PROPOSED SIDEWALKS
(---)	LIMIT OF DISTURBANCE
(---)	EXISTING SEWAGE DISPOSAL AREA
(---)	PROPOSED ROOF LEADER
(---)	EXISTING WELL BOX
(---)	EXISTING WELL
(---)	EXISTING TREE LINE
(---)	PROPOSED TREE LINE
(---)	PASSED PERC TEST
(---)	SUPER SILT FENCE
(---)	STABILIZED CONSTRUCTION ENTRANCE
(---)	SOIL LINES AND TYPES
(---)	PERMANENT SOIL STABILIZATION MATTING

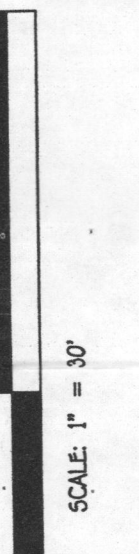
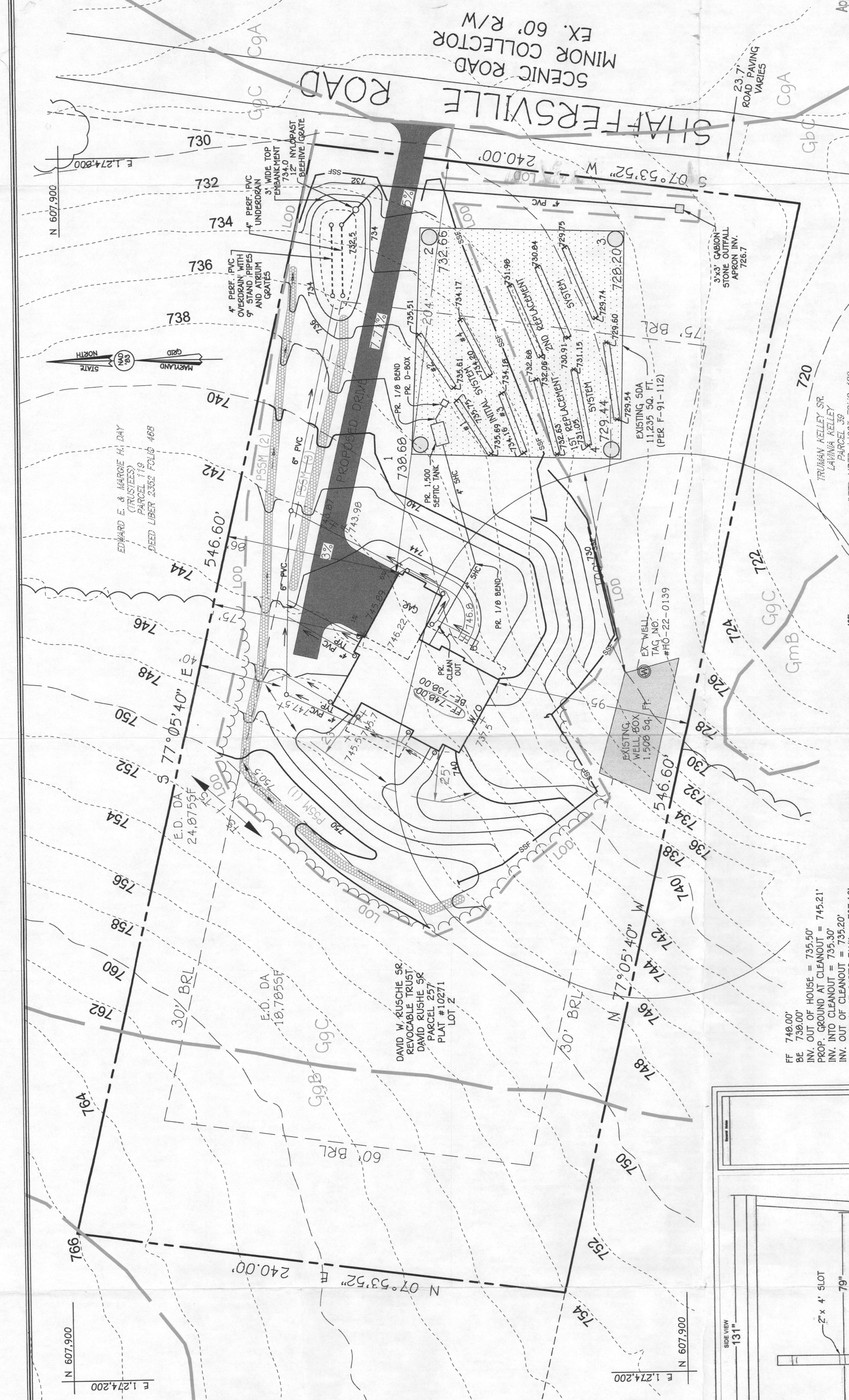


VICINITY MAP
SCALE: 1" = 2000'
THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODESIC SYSTEM, HOWARD COUNTY MONUMENT NOS. 962C AND 962D. THESE COORDINATES WERE USED FOR THIS PROJECT.
E. 1.274,200
N. 607,900
E. 1.272,200
N. 610,100

- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. A REVISED SITE PLAN SHALL BE SUBMITTED PRIOR TO INSTALLATION. THE HOWARD COUNTY HEALTH DEPARTMENT SHALL BE NOTIFIED PRIOR TO INSTALLATION.
- THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- THE WELL HO-22-0139 HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
- ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPER BOUNDARIES OF ADJACENT PARCELS HAVE BEEN SHOWN.
- THE ENGINEER IS REGISTERED WITH MDE TO PERFORM ON-SITE WASTEWATER SERVICES IN MARYLAND.
- CONTRACTOR TO PERFORM CONSTRUCTION PER CURRENT OSHA STANDARDS.

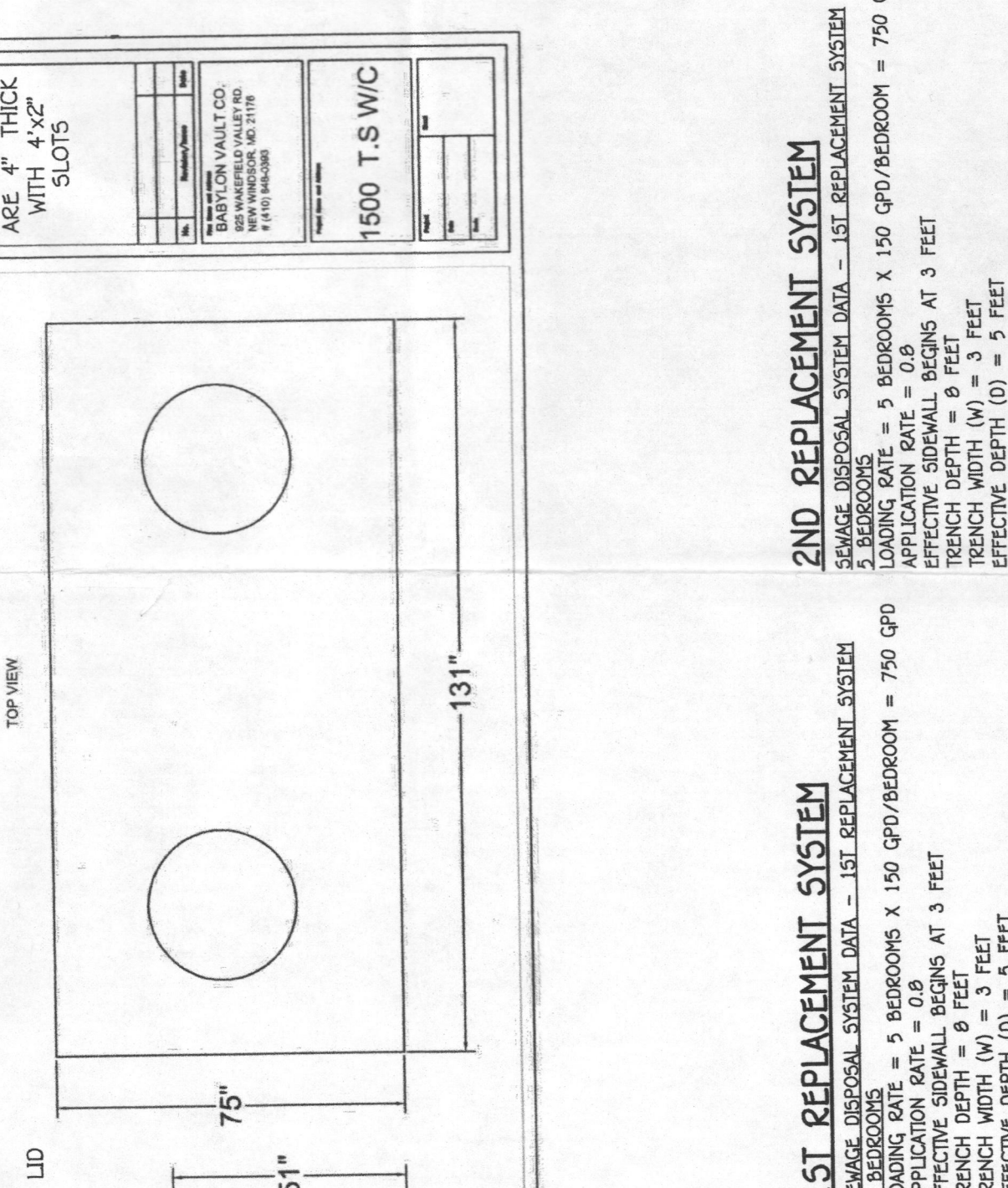
DAILY STABILIZATION NOTE:
THIS SYSTEM IS DESIGNED FOR INSTALLATION WITHIN THE LIMITS OF DISTURBANCE. THIS DOES NOT REQUIRE A SEWAGE CONTROL MEASURE AND/OR WHERE THE INSTALLATION OF CONTROLS IS NOT FEASIBLE. (ROAD WIDENING, SIGNALS, INSTALLATION, ETC.)
CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY. STABILIZATION SHALL BE AS FOLLOWS:
1. FOR AREAS TO BE PAVED, THE APPLICABLE SPECIFICATIONS SHALL BE FOLLOWED.
2. PERMANENT SEED AND SOIL STABILIZATION MATTING OR 500' FOR ALL STEEP SLOPES, CHANNELS OR SWALES.
3. PERMANENT SEED AND SOIL STABILIZATION MATTING OR 500' FOR ALL STEEP SLOPES, CHANNELS OR SWALES.
4. PERMANENT SEED AND SOIL STABILIZATION MATTING OR 500' FOR ALL STEEP SLOPES, CHANNELS OR SWALES.
5. ANY SLOPES SHALL BE PROTECTED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWNSLOPE SIDE.

Approved Septic System Plan
Howard County Health Department
Signature: *[Signature]*
Date: 4/10/25

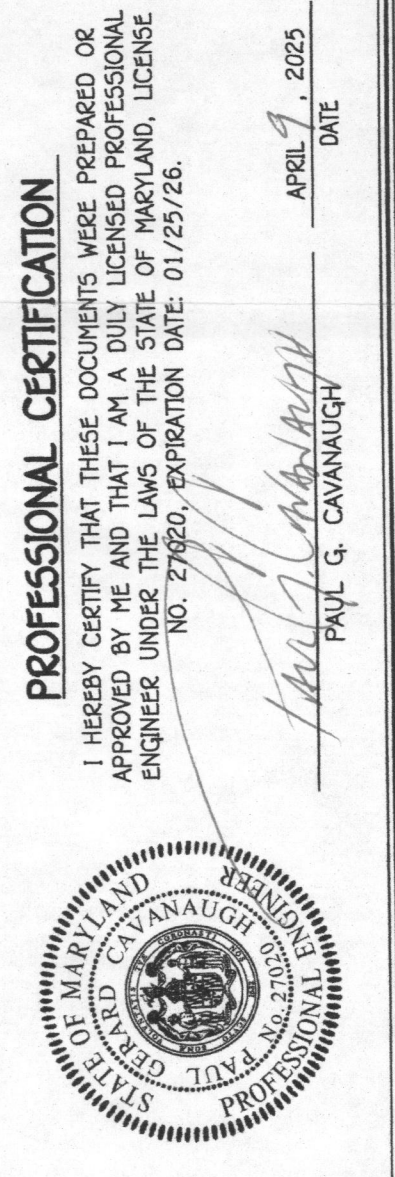
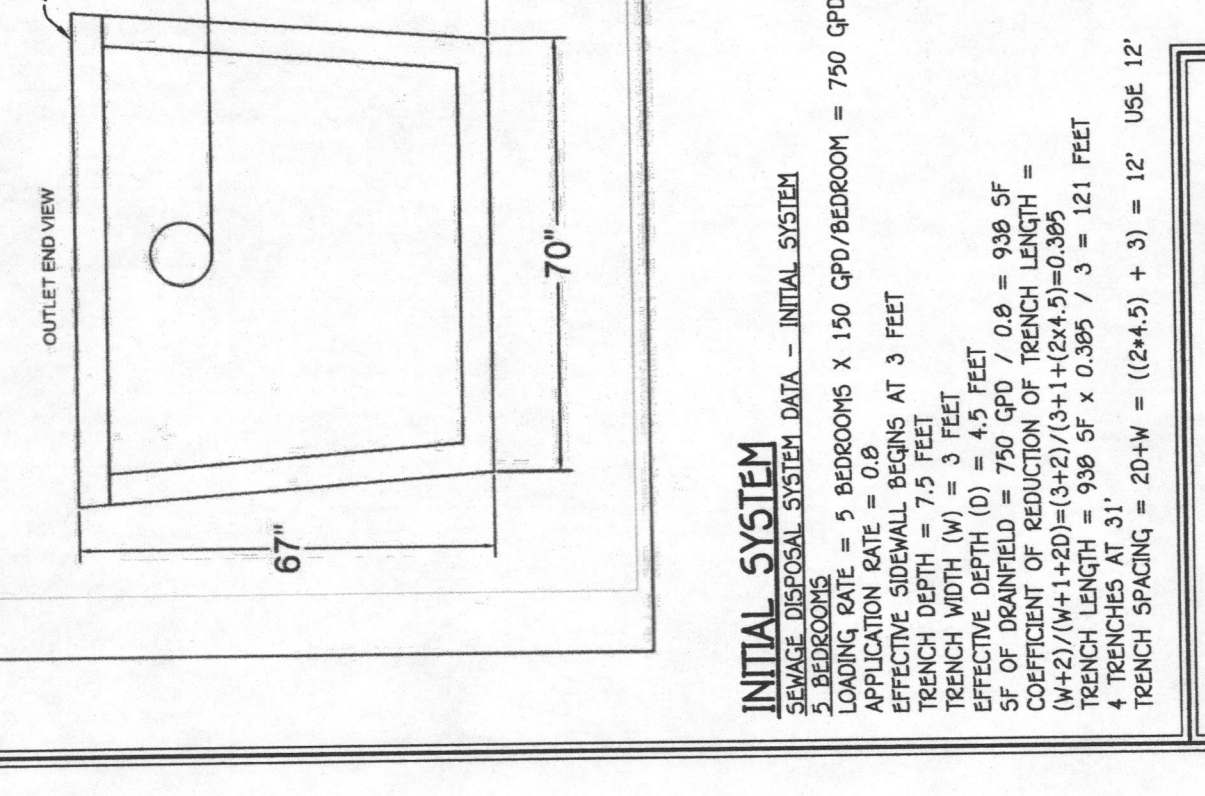


SCALE: 1" = 30'

TRENCH DATA:	750	745	740	735	730	725	720
TRENCH 1:							
EX. GROUND ABOVE =	735.72'						
INV. IN =	731.72'						
BOTTOM TRENCH =	728.22'						
TRENCH 2:							
EX. GROUND ABOVE =	735.56'						
INV. IN =	731.56'						
BOTTOM TRENCH =	728.06'						
TRENCH 3:							
EX. GROUND ABOVE =	734.17'						
INV. IN =	730.17'						
BOTTOM TRENCH =	726.67'						
TRENCH 4:							
EX. GROUND ABOVE =	734.19'						
INV. IN =	730.19'						
BOTTOM TRENCH =	726.69'						



INITIAL SYSTEM	2ND REPLACEMENT SYSTEM
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD	LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 0.9	APPLICATION RATE = 0.9
TRENCH DEPTH (D) = 5 FEET	TRENCH DEPTH (D) = 5 FEET
TRENCH WIDTH (W) = 3 FEET	TRENCH WIDTH (W) = 3 FEET
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = (M+2)/(M+1+2D) = (3+2)/(3+1+4(5)) = 0.357	COEFFICIENT OF REDUCTION OF TRENCH LENGTH = (M+2)/(M+1+2D) = (3+2)/(3+1+4(5)) = 0.357
TRENCH LENGTH AT 3' = 936 SF X 0.357 / 3 = 112 FEET	TRENCH LENGTH AT 3' = 936 SF X 0.357 / 3 = 112 FEET
TRENCH SPACING = 2D+W = ((2)(5) + 3) = 13' USE 13'	TRENCH SPACING = 2D+W = ((2)(5) + 3) = 13' USE 13'



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27820, EXPIRATION DATE: 01/25/26.
DATE: APRIL 1, 2025
PAUL G. CAVANAUGH

OWNER
THE DAVID W. BUSCHE SR. REVOCABLE TRUST
TRUST DATED 07/27/2024
5165 SHAFFERSVILLE ROAD, SUITE 21794
SHAFFERSVILLE, MARYLAND 21794
301-440-7510

SEPTIC SYSTEM INSTALLATION PLAN
1400 SHAFFERSVILLE ROAD
PLAT 10271
TAX MAP NO.: 6 GRID NO.: 12 PARCEL NO.: 257
ZONED RC-DEO
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: APRIL 2025
SHEET: 1 OF 1

FISHER, COLLINS & CARTER, INC.
SEPTIC ENGINEERING CONSULTANTS & LAND SURVEYORS
10271 SHAFFERSVILLE ROAD, SUITE 21794
SHAFFERSVILLE, MARYLAND 21794
TEL: 301-440-7510
FIC