

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 12/11/25 ONLINE SUBMITTAL PAPER SUBMITTAL

To: DILP

From: (Reviewer/Requestor's Name) MICHELLE CLANCY (Division) _____
 (Your Name, Company Name) _____ (Phone Number) 443-610-7514

Subject: Project name _____
 Project site address 1719 Brickell Way
 Permit # B25005267 SDP # _____
 Other information pertinent to this project _____

✓ Please check the attachments below that you are submitting with this transmittal:

Letter of response to address plan review comment letter

Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**

Letter Summarizing Changes

Energy conservation calculations

Copies of _____ (be specific).
 Health Department Request DPZ/ DED Request Applicant's Request

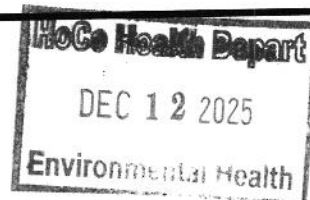
Two sets of single-family model plans to be placed on permanent file: Model Name/ # _____

Other SITE PLAN

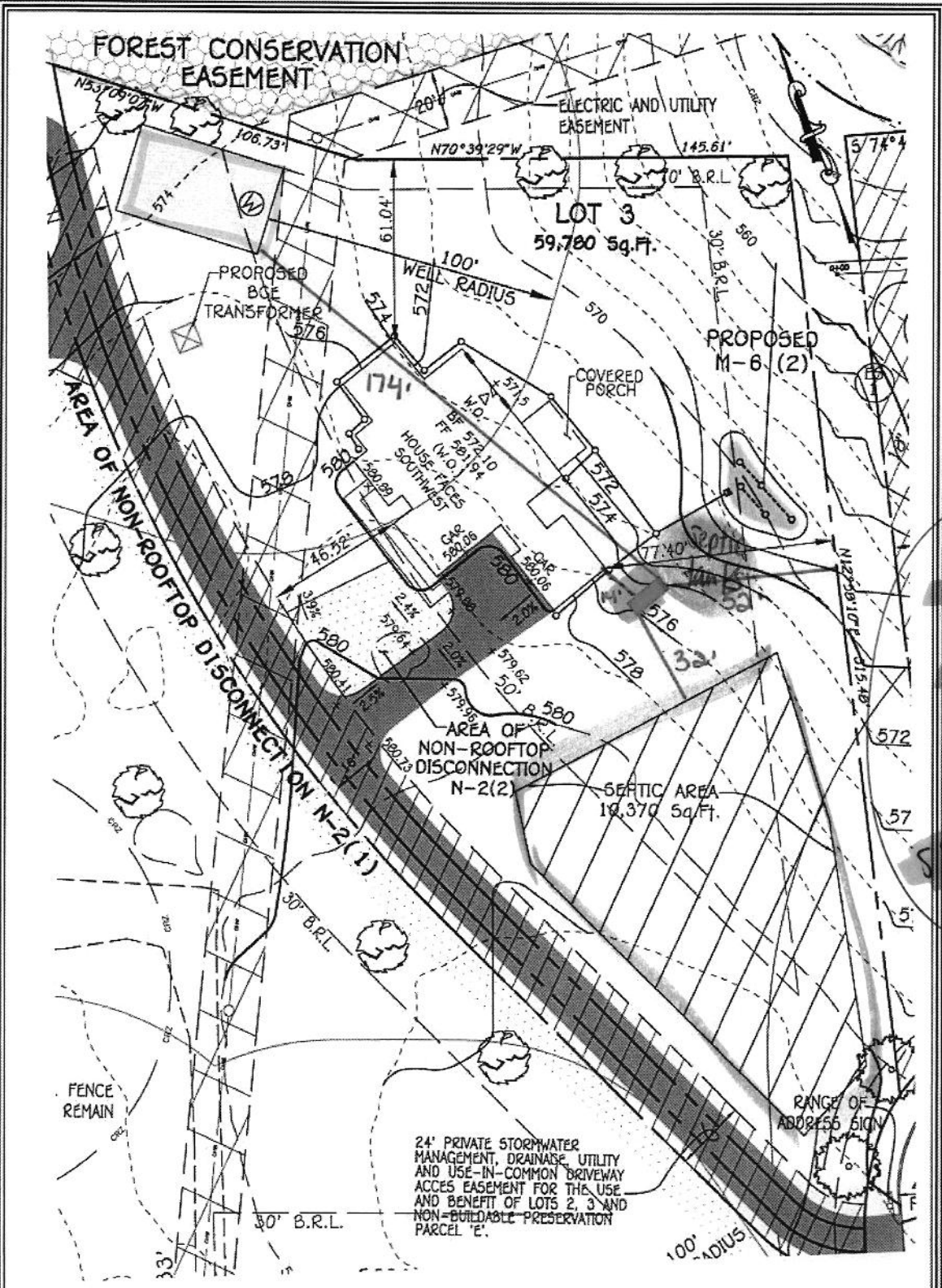
Contact Person Information: (Required)

MICHELLE CLANCY Telephone No: 443-610-7514
 Please Print Name E-Mail Address: michelle@appliedandapproved.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.



Received by _____



see pic
septic
rooms
in
black
area

See revised
plan
dated
12/12/25
shows septic
tanks

WELL CERTIFICATION

THE EXISTING WELL TAG NO. HO-22-0111, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.

1719
Brickell way
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2855

BRICKELL PROPERTY
TAX MAP: 10, GRID: 1,
PARCEL: 274, ZONED: RR-DEO
3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
BUILDER
NVR, INC.
9720 PATUXENT WOODS DRIVE
COLUMBIA, MD 21046
443-832-9102

PERMIT SITE PLAN
LOT 3
SANTORINI
ELEVATION: F
SCALE: 1"=40'
DATE: 6/12/2025
DRAWN BY: ZLL
CHECKED BY: FM II
PROJECT No.: J7040

Record Detail * (This section is required.)

Permit Type: Building/Residential/Misc/Tanks
 Permit Number: B25005267
 Opened Date: 11/24/2025
 Description of Work: SFD// INSTALL (1) 1000GAL UNDERGROUND PROPANE TANK

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #: 1719 Street Name: BRICKELL Street Type: WAY
 Unit Type: --Select-- Unit #: X Coordinate: Y Coordinate:
 City: MARRIOTTSVILLE State: MD Zip Code: 21104 Primary: Yes

12/1/25 - si - proposed location for lp tank is in close proximity to the OSDS for the property which is already installed. (P)

12/2/25 - email sent to AH requesting that the plan be revised to show the OSDS and the setback to the proposed location for the lp tank. (P)

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11062896	274	0	0	0	0	RURAL

Legal Description

[check spelling](#)

Block: 1	Lot: 3	Census Tract: 603000	Council Dist: 5	Inspection Dist:	Supervisor Dist:	Map #:	DAP Zone:
Plan Area:	State Tax Id:	Subdivision Name: Brickell Property	Tax Map: 10	ADC Map: 4694-A6	WP File No.:	FDP No.:	Historic District: <input type="radio"/> Yes <input checked="" type="radio"/> No
Section:	Area:	Zoning District: RR-DEO	Final Plan No.:	WS Contract No.:	FDP No.:	Historic District: <input type="radio"/> Yes <input checked="" type="radio"/> No	Flood Plain: <input type="radio"/> Yes <input checked="" type="radio"/> No
Grid: 10-1	SDP No.:	Record Plat No.: 26850-2685	Owner Occupied: <input type="radio"/> Yes <input type="radio"/> No	Historic District Registry No.:	Stat Area: 3-01	Building No.:	Primary: Yes

12/12/25 - revised plan rec'd. (P)

12/16/25 - approved (P)

Owner * (This section is required.)

Search Reset Clear

Name: NVR IN
 Address Line 1: 7080 SAMUEL MORSE DR #100
 Address Line 2:
 Address Line 3:



Revised plan
w/ septic

Approved for 1p tank
B25005267
12/16/25

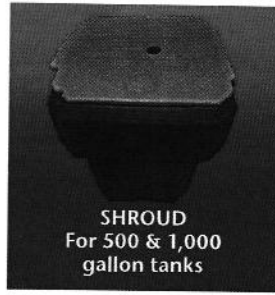
HoCo Health Dept
DEC 12 2025
Environmental Health

Scale
1-40

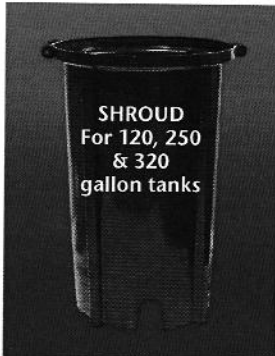
LIZATION NOTE:
 SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY
 EACH WORKING DAY. STABILIZATION SHE BE AS FOLLOWS.
 REAS TO BE PAVED, THAT APPLICATION OF STONE BASE.
 REAS TO BE VEGETATIVELY STABILIZED:
 WENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL STEEP SLOPES,
 WELS OR SWALES.



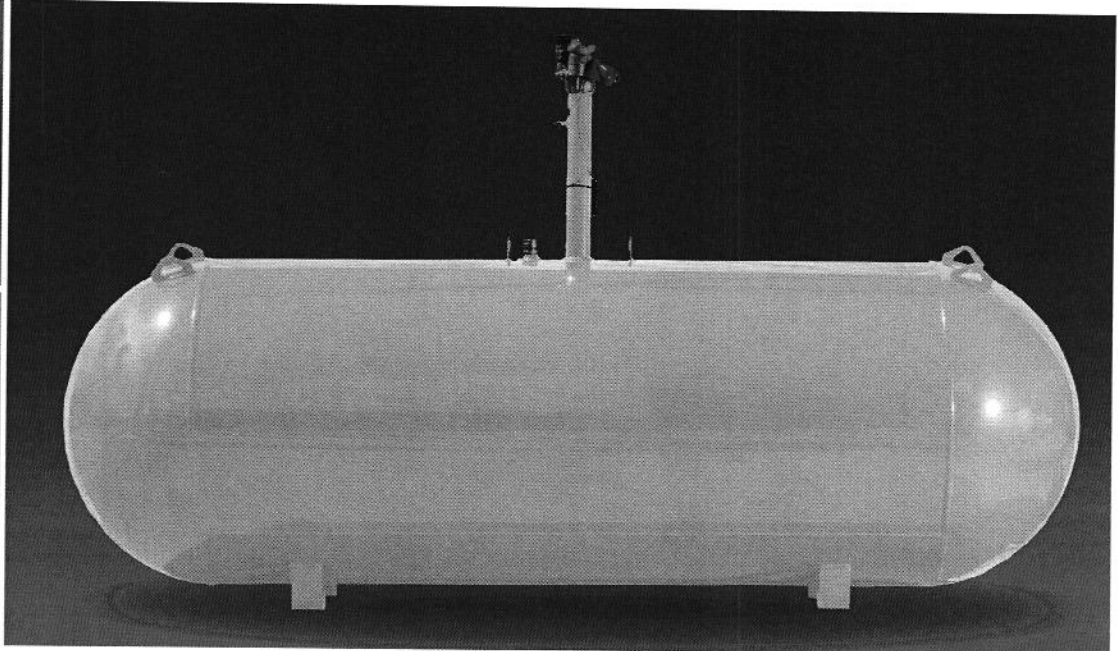
UNDERGROUND PROPANE STORAGE TANKS 120 - 1000 Gallons



SHROUD
For 500 & 1,000
gallon tanks



SHROUD
For 120, 250
& 320
gallon tanks



PRESSURE VESSEL CODES & REGISTRATION

- Designed and constructed in accordance with the ASME Section VIII, Division 1 Code
- Registered with the National Board of Boiler & Pressure Vessels Inspectors
- Complies with NFPA 58
- Conforms to specifications set forth by the Railroad Commission of Texas

PAINT SPECIFICATIONS

- Epoxy powder paint for maximum rust protection
- Tanks painted gray
- Ready to bury durable epoxy powder coating†

SHROUD FEATURES (500 & 1,000 gallon)

- Durable construction
- Large opening for easy filling and maintenance
- Recessed markers to indicate proper burial depth
- Permanent hole for mounting location flag
- Access on sides for flexible riser connection
- New shroud available for 500 gallon and 1,000 gallon UG tanks, shroud dimensions:
 - * Shroud for long riser 32 3/16" X 26 5/16"
 - * Shroud for short riser 19 3/8" X 26 5/16"

VESSEL FEATURES

- Tanks fully fitted with RegO valves and Rochester liquid level gauges
- Container pressure rated at 250 PSI @ 400°F
- Vacuum purged
- Duplicate data plate is zip tied on the riser pipe below the anode bolt connection for convenience
- Product is offered with 14" short or 28" tall risers
- Anode bolt connection located under the dome
- Short or tall plastic shroud assemblies (w/lid) supplied accordingly
- #54 liquid level outage valve orifice

PROCESS CONTROL

All welded products are x-rayed and pressure tested @ 325 PSI per ASME Sec VIII, Div 1 requirements, followed by rigorous leak test inspections, both pre and post valving

STORAGE & DISTRIBUTION

Contact Propane Education & Research Council for additional resources and information at propane.com

Made With Pride



Made In the U.S.A.

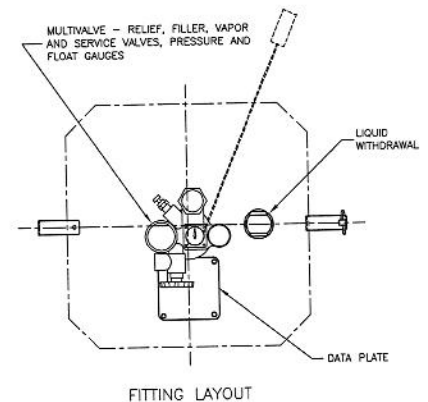
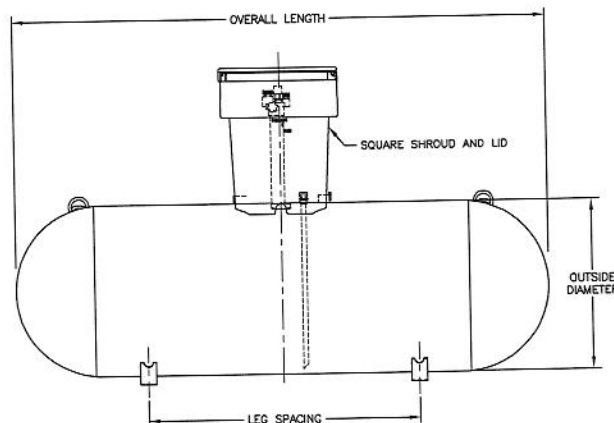
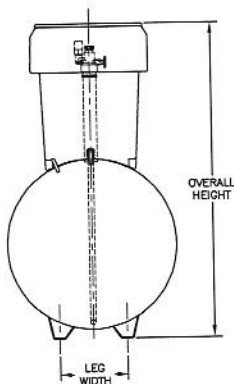


UNDERGROUND PROPANE STORAGE TANKS 120 - 1000 Gallons

UNDERGROUND VESSEL DIMENSIONS & SPECIFICATIONS (All Vessel Dimensions are Approximate)

Part Number	Description	Water Capacity Gal/l	Outside Diameter In/mm	Head Type	Overall Length In/mm	Overall Riser Height In/mm		Leg Width In/mm	Leg Spacing In/mm	Weight Lbs/kg	Quantity	
						18" Riser	28" Riser				Full Load	Per Stack
68289	120 Gallon Underground LR Storage Tank	120 454.2	24" 609.6	Ellip	5' 8" 1727.2	– –	4' 7 13/16" 1417.6	10 1/8" 257.2	3' 0" 914.4	342 155.4	63	9
68269	120 Gallon Underground SR Storage Tank	120 454.2	24" 609.6	Ellip	5' 8" 1727.2	3' 9 1/4" 1149.4	– –	10 1/8" 257.2	3' 6" 914.4	329 149.2	72	9
68288	250 Gallon Underground LR Storage Tank	250 946.3	30" 762	Hemi	7' 10" 2387.6	– –	5' 1 9/16" 1563.7	12 3/4" 323.9	3' 6" 1066.8	494 224.1	42	7
68271	250 Gallon Underground SR Storage Tank	250 946.3	30" 762	Hemi	7' 10" 2387.6	4' 3" 1295.4	– –	12 3/4" 323.9	3' 6" 1066.8	480 217.7	42	7
68273	320 Gallon Underground LR Storage Tank	320 1211.3	30" 762	Hemi	9' 7" 2921	– –	5' 1 9/16" 1563.7	12 3/4" 323.9	4' 0 1/4" 1225.6	597 270.8	35	7
68285	320 Gallon Underground SR Storage Tank	320 1211.3	30" 762	Hemi	9' 7" 2921	4' 3" 1295.4	– –	12 3/4" 323.9	4' 0 1/4" 1225.6	593 269	35	7
68275	500 Gallon Underground LR Storage Tank	500 1892.7	37.5" 952.5	Hemi	9' 10" 2997.2	– –	5' 9 3/8" 1762.1	15" 381	5' 0" 1524	953 432.3	25	5
68286	500 Gallon Underground SR Storage Tank	500 1892.7	37.5" 952.5	Hemi	9' 10" 2997.2	4' 8 1/2" 1435.1	– –	15" 381	5' 0" 1524	949 430.5	25	5
68277	1000 Gallon Underground LR Storage Tank	1000 3785.4	41" 1041.4	Hemi	15' 11" 4851.4	– –	6' 3/16" 1849.4	16 1/4" 412.8	9' 0" 2743.2	1812 821.9	12	4
68287	1000 Gallon Underground SR Storage Tank	1000 3785.4	41" 1041.4	Hemi	15' 11" 4851.4	5' 0" 1524	– –	16 1/4" 412.8	9' 0" 2743.2	1793 813.3	12	4

† Federal, state or local regulations may contain specific applicable requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state, local and NFPA industry regulations, including, but not limited to, proper purging prior to putting into service. Cathodic protection is required. Coating(s) must be continuous, uninterrupted and must comply with local, state or national codes or regulations.



Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Case #

EH-PLANS-25-0

Type

EnvHealth/Environmental Health/Plan Check/Application

Status

In Review

Opened Date

07/14/2025

Single Entry Edit-View Record Form

Application Name

B25002663

Description

SFD "SANTORINI", 2 STORY, Full Basement, Basement = Full Finished, 10R, 6FB, 1HB, 1FP, 2 Two Car Garages, 6BR, Rear Porch, ENERGY METHOD = Performance Method, null.

Online BP. gld 7/16/25

Total Invoiced

0.00

Total Paid

0.00

Balance

0.00

Assigned to Department Current Department

Well and Septic Progr

Assigned to Staff Current User

Zack Silvast

Address * (This section is required.)

New Search Delete Set Primary

<input type="checkbox"/> Primary	Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type
<input checked="" type="checkbox"/>	1719		Brickell	WAY	Marr...	MD	21104			

Parcel (This section is not required.)

Search Delete Get Address & Owner Set Primary

<input type="checkbox"/> Primary	Parcel #	Book	Page	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Legal Description	Tract
0 record(s) found.										

Owner (This section is not required.)

Search Delete Set Primary

<input type="checkbox"/> Primary	Name	Mail Address Line1	Mail Address Line2	Mail Address Line3	Mail City	Mail State	Mail Zip Code	Phc
<input checked="" type="checkbox"/>	NVR, INC. T/A NV Homes & Ryan Homes	11700 Plaza American Drive	Suite 500		Reston	VA	20190	

Applicant * (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form

Type *

Applicant

Primary

Yes

First Name *

James

Middle Name

Last Name *

Kerwin

Home Phone ((xxx)xxx-xxxx)

Approved Septic System Plan
Howard County Health Department

D. Bernard 7-16-25
Signature Date

Approved for 5 BR 1 only

Organization Name *
 Decatur Building Services
Mobile Phone ((XXX)XXX-XXXX)
 (443) 309-7792
E-mail
 jim@decaturbuildingservices.com
Business Phone ((XXX)XXX-XXXX)

Preferred Channel
 --Select--

Applicant Address

New Look Up Deactivate Remove

<input type="checkbox"/> Contact Address ID	Address Type	Address Line 1	City	State	Zip	Primary	Recipient	Status
0 record(s) found.								

Custom Fields

DATE TRACKING

Received Date
 7/14/2025
Due Date
 7/28/2025

Dates to Complete
 14
 (Number)
Received by Food

Food Review Type
 --Select--
Equipment Specification Sheets Submitted

Equipment Specification Sheet
Received by Community Hygiene

Received by Well and Septic
 7/14/2025

FACILITY INFORMATION

Name of Business (dba) *
 n/a (Text)

Associated Building Permit Number
 (Text)

Owner Switch Date
 (Date)

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.
 Yes No

Does the project include Private Septic? If Yes, forward to WS Program.
 Yes No

Is this a Prototype Food Service Facility? If Yes, refer to State.
 Yes No

Facility Fax
 0 (Text)

Days of Operation
 0 (Text)

Does this project have a Building Permit?
 Yes No

Building Permit Issued Date
 (Date)

Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.
 Yes No

Does the project include Food Services? If Yes, forward to FP Program.
 Yes No

Facility Phone
 0 (Text)

Facility Email
 0 (Text)

PROPERTY INFORMATION

Water Source
 Private

Design Wastewater Flow
 (Number)

Sewage Disposal
 Private

Permit Type
 --Select--

PLAT STATS

Total Number of buildable lots to be recorded
 0 (Number) **Total number of open space lots to be recorded**
 0 (Number)

Total number of bulk parcels to be recorded
 0 (Number) **Total number of lots / parcels to be recorded**
 0 (Number)

New buildable lots created
 0 (Number) **Date PLAT signed by Health Officer**
 (Date)

PLAT Type
 --Select-- **Date Preliminary Plan Signed by HO**
 (Date)

Extension Granted

DEVELOPMENT PLANS

Property Type

Residential

Signature Required

Yes No

Number of paper copies

0
(Number)

Number of buildable lots created

0
(Number)

Total Number of Lots

0
(Number)

Plan Version

Initial

Engineer

0
(Text)

Number of mylar copes

0
(Number)

Number of non-buildable lots created

0
(Number)

Associated Plans

WELL AND SEPTIC INTERNAL

State Review Required

Yes No

Coordinate State Review

Yes No

Proposed Septic System Type

--Select--

FOOD ESTABLISHMENT FACILITY

Priority Assessment

--Select--

Licensed Type

--Select--

License Category

--Select--

FOOD ESTABLISHMENT INFORMATION

Hours of Operation

(Text)

Operating Seasonally Only

If Operating Seasonally, What is the start month?

(Text)

Are pets allowed in a outdoor seating area?

Yes No

Full Bar?

Yes No

RESTAURANT AND FOOD SERVICE

Food Service Facility Secondary Category

--Select--

Total Seating Capacity

(Number)

Number of Restrooms

(Number)

Interior Restaurant Seating Capacity

(Number)

Bar Seating Capacity

(Text)

Outdoor Seating Capacity

(Text)

Does the restaurant have outdoor seating

Yes No

EQUIPMENT

Evaluated non NSF, ANSI, CF or other standards

Yes No

Description of Refrigeration Units

Number of Walk-In Refrigerator Units

(Number)

Description of Walk-In Freezer Units

(Text)

Is there a bulk ice machine available

Yes No

Space Limitation

Number of Hand Sinks Available

(Number)

Hood System

(Text)

Ventless Equipment

(Text)

PLUMBING

Size and Installation of the water heater?

(Text)

Is there a grease interceptor or grease trap?

--Select--

SANTORINI

BY: COMM-LOT-1011
MDE-BR-0003
 COMM. LOT
 BRACKELL PROPERTY - 0000
 STREET ADDRESS
 175 BRACKELL WAY
 HANSCOTTVILLE, MD 21034



NVR, Inc.
 5285 Westview Drive,
 Suite 100
 Frederick, MD 21703

Page	Sheet	Description	Page	Sheet	Description
1	CS-1	COVER SHEET			
2	CA-1	CALCULATIONS			
3	A-1	ELEVATIONS			
5	A-1B	ELEVATIONS			
6	A-3	FOUNDATION			
8	A-3B	FOUNDATION			
12	A-3C	FOUNDATION CONTROL JOINT			
13	A-4	FOUNDATION HOLD DOWN			
14	A-4B	PANEL BREAK DETAILS			
15	A-5	PLUMBING			
16	A-6	BASEMENT FLOOR PLAN			
17	A-7	FIRST FLOOR PLAN			
19	A-7B	SECOND FLOOR PLAN			
20	A-8	BUILDING SECTION			
21	A-9	BUILDING SECTION			
22	A-10	BUILDING SECTION - GARAGE			
23	A-10C	BUILDING SECTION			
24	A-11	STAIR			
25	A-12	KITCHEN			
26	A-12B	KITCHEN			
27	A-13	BATH ELEVATION			
28	E-1	BASEMENT ELECTRICAL			
29	F-2	FIRST FLOOR ELECTRICAL			
30	F-3	SECOND FLOOR ELECTRICAL			
31	E-4	ATTIC ELECTRICAL			
32	S-1	FIRST FLOOR FRAMING			
33	S-1B	SECOND FLOOR FRAMING			
34	S-2	SECOND FLOOR FRAMING			
35	S-3	ROOF FRAMING			
36	S-3B	ROOF FRAMING			
37	S-4	TRUSS BRACING DETAILS			
38	S-5	BRACED WALL			
39	S-6	HVAC			
40	M-1	HVAC			
41	M-2	HVAC			
42	M-3	HVAC			
62	AD-1-82	STANDARD DETAILS			
85	AD-1B-83	STANDARD DETAILS			
DR-1	DR-1	DOOR DETAILS			
DR-1B	DR-1B	DOOR DETAILS			
DR-3	DR-3	DOOR DETAILS			
ET-1	ET-1	EXTERIOR TRIM DETAILS			
ET-1B	ET-1B	EXTERIOR TRIM DETAILS			
ET-1C	ET-1C	EXTERIOR TRIM DETAILS			
ET-1D	ET-1D	EXTERIOR TRIM DETAILS			
ET-1E	ET-1E	EXTERIOR TRIM DETAILS			
ET-1F	ET-1F	EXTERIOR TRIM DETAILS			
ET-1H	ET-1H	EXTERIOR TRIM DETAILS			
ET-1I	ET-1I	EXTERIOR TRIM DETAILS			
ET-1J	ET-1J	EXTERIOR TRIM DETAILS			
ET-1K	ET-1K	EXTERIOR TRIM DETAILS			
ET-1L	ET-1L	EXTERIOR TRIM DETAILS			
ET-1M	ET-1M	EXTERIOR TRIM DETAILS			
ET-1N	ET-1N	EXTERIOR TRIM DETAILS			
ET-1O	ET-1O	EXTERIOR TRIM DETAILS			
ET-1P	ET-1P	EXTERIOR TRIM DETAILS			
ET-1Q	ET-1Q	EXTERIOR TRIM DETAILS			
ET-1R	ET-1R	EXTERIOR TRIM DETAILS			
ET-1S	ET-1S	EXTERIOR TRIM DETAILS			
ET-1T	ET-1T	EXTERIOR TRIM DETAILS			
ET-1U	ET-1U	EXTERIOR TRIM DETAILS			
ET-1V	ET-1V	EXTERIOR TRIM DETAILS			
ET-1W	ET-1W	EXTERIOR TRIM DETAILS			
ET-1X	ET-1X	EXTERIOR TRIM DETAILS			
ET-1Y	ET-1Y	EXTERIOR TRIM DETAILS			
ET-1Z	ET-1Z	EXTERIOR TRIM DETAILS			
F-1	F-1	FLASHING DETAILS			
F-1B	F-1B	FLASHING DETAILS			
F-1D	F-1D	FLASHING DETAILS			
F-3	F-3	FLASHING DETAILS			
F-3B	F-3B	FLASHING DETAILS			
FA-1	FA-1	FIRE SEPARATION ASSEMBLY DETAILS			
FC-1	FC-1	FRAMING AND FASTENER DETAILS			

STRUCTURAL DESIGN CRITERIA

- ALL LOADS TO BE APPLIED CONCURRENTLY
- GRADE SHALL BE AT FINISH GRADE
- WIND UPLIFT CATEGORY A / B
- SEISMIC DESIGN CATEGORY A / B

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR GARAGE SF	244 SF
1ST FLOOR BATH (ADD. SF)	302 SF
1ST FLOOR 140 CAR SIDE ATTACHED GARAGE (ADD. SF)	11 SF
1ST FLOOR ELEV. '0' OR '1' (ADD. SF)	34 SF
2ND FLOOR GARAGE SF	2001 SF
TOTAL 1ST FLOOR SQ. FT. 2683 SF	

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR GARAGE SF	2133 SF
2ND FLOOR ELEV. '0' OR '1' (ADD. SF)	63 SF
2ND FLOOR ELEV. '0' OR '1' (ADD. SF)	216 SF
TOTAL 2ND FLOOR SQ. FT. 2412 SF	

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST CAR GARAGE ELEV. '0' OR '1' (ADD. SF)	503 SF
2ND CAR GARAGE ELEV. '0' OR '1' (ADD. SF)	480 SF
3RD CAR GARAGE ELEV. '0' OR '1' (ADD. SF)	5000 SF
TOTAL GARAGE SQ. FT. 5983 SF	

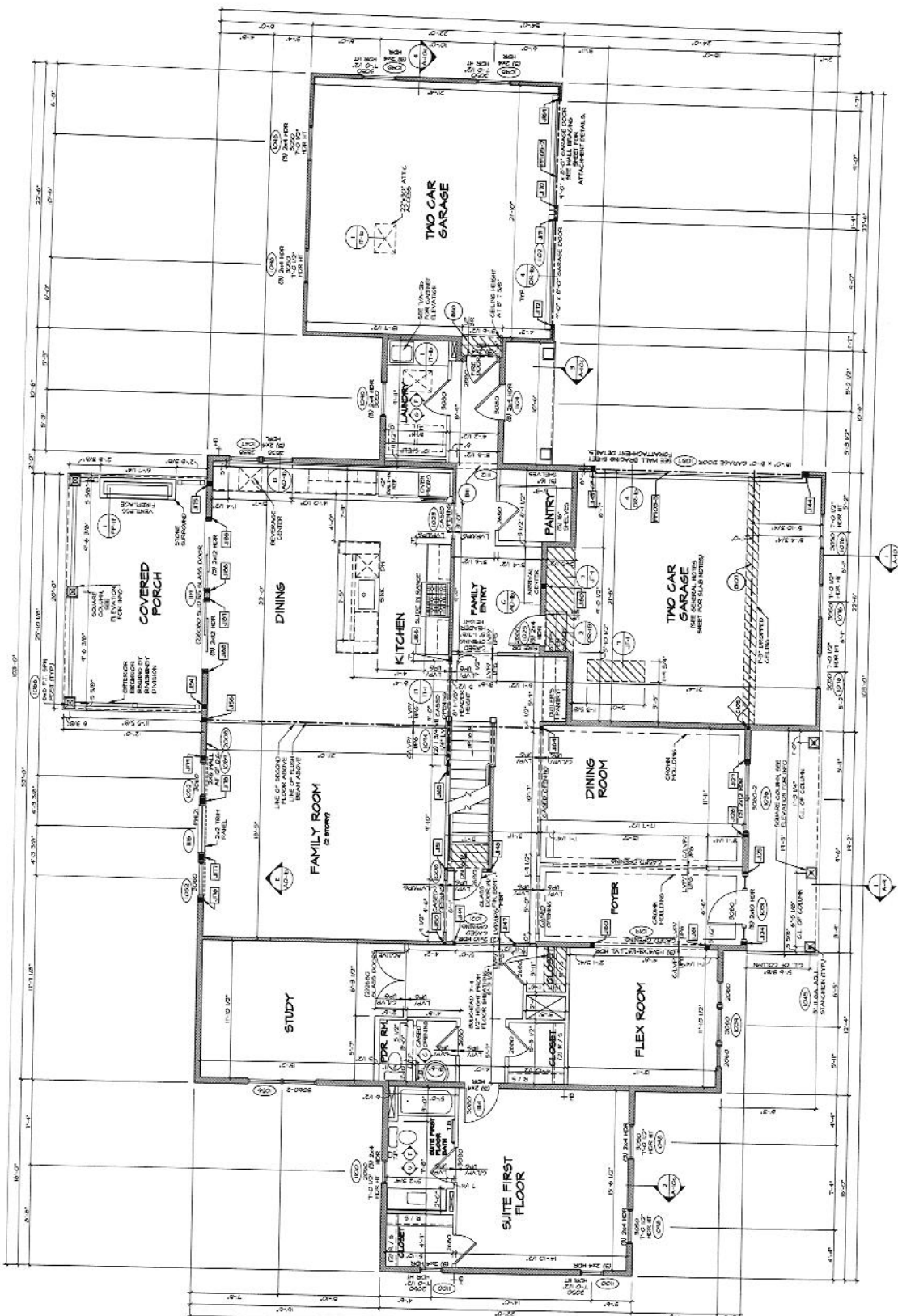
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
RECREATION ROOM	141 SF
RECREATION ROOM AREA #2 (ADD. SF)	54 SF
RECREATION ROOM AREA #3 (ADD. SF)	40 SF
RECREATION ROOM AREA #4 (ADD. SF)	142 SF
TOTAL BASEMENT SQ. FT. 387 SF	

UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM OF FLOOR SLAB (ADD. SF)	202 SF
MECHANICAL ROOM	234 SF
MECH. COOLED FRESH (ADD. SF)	240 SF
MECH. COOLED FRESH (ADD. SF)	18 SF
FRONT FINISH ELEV. '0' OR '1' (ADD. SF)	11 SF
FRONT FINISH ELEV. '0' OR '1' (ADD. SF)	109 SF
TOTAL UNFINISHED SQ. FT. 604 SF	

TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR GARAGE SF	244 SF
1ST FLOOR BATH (ADD. SF)	302 SF
1ST FLOOR 140 CAR SIDE ATTACHED GARAGE (ADD. SF)	11 SF
1ST FLOOR ELEV. '0' OR '1' (ADD. SF)	34 SF
2ND FLOOR GARAGE SF	2001 SF
2ND FLOOR ELEV. '0' OR '1' (ADD. SF)	63 SF
2ND FLOOR ELEV. '0' OR '1' (ADD. SF)	216 SF
RECREATION ROOM (ADD. SF)	141 SF
RECREATION ROOM AREA #2 (ADD. SF)	54 SF
RECREATION ROOM AREA #3 (ADD. SF)	40 SF
RECREATION ROOM AREA #4 (ADD. SF)	142 SF
TOTAL FINISHED SQ. FT. 5084 SF	

SET NO. - VERBON
14600 - 01
 SHEET NO.
CS-1
 RELEASE NO.

SHEET NO. 1	DATE: 01/16/16	PROJECT: 6225 Franklin St, Suite 100, Franklin, MA 01890
SCALE: 1/8" = 1'-0"	DESIGN BY: JDM	OWNER: MDE-BR-0003
PROJECT: 1st Floor Plan	RELEASE BY: [Signature]	DATE: 01/16/16
NVR		
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (801 CMR). 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (801 CMR). 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (801 CMR).		
PROJECT: 1st Floor Plan	DATE: 01/16/16	OWNER: MDE-BR-0003



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

AP _____

2032

0.9' DB, L

1.3' YB, SB, FSBK, SL

2.5' BY, YB, FSBK, LS

13.5' DYB, Thin Platy

2029

0.1' DB, L

2.5' YR, 2MSBK, L

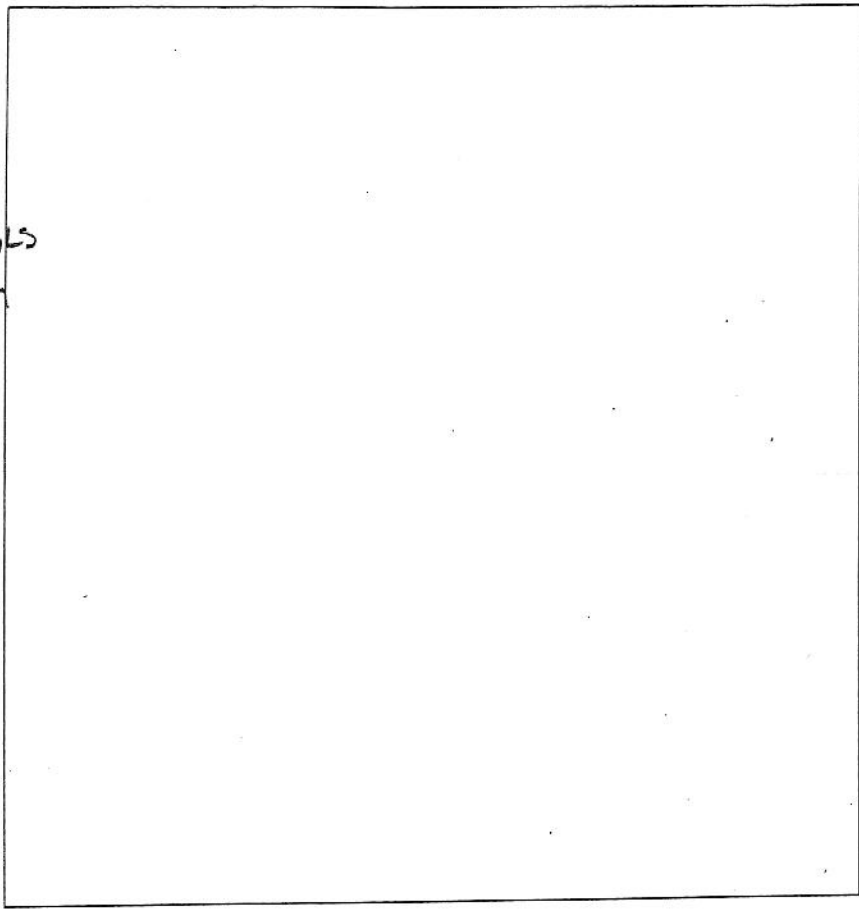
13' YR, LYB, BY, Thin Platy, LS

3007

0.9' DB, L

3' YR, MSBK, SL Few Fine Mica

13.5' YR, Thin Platy Course LS, Many Fine Mica



3008

DB, L

2.4' YB, SB, FSBK

14' YB, Thin Platy SL

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
5/7/2008	2032	5.5 / 13.5	2:31	2:37	2:35	2	P
5/7/2009	2029	5.5 / 13	2:58	3:00	3:05	5	P
5/8/2008	3007	6' / 13'	9:13	9:15	9:17	2	P
	3008	6' / 13'	9:26	9:27	9:29	2	P

REMARKS _____

SANITARIAN RSF BACKHOE _____ OTHERS _____

TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____

TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

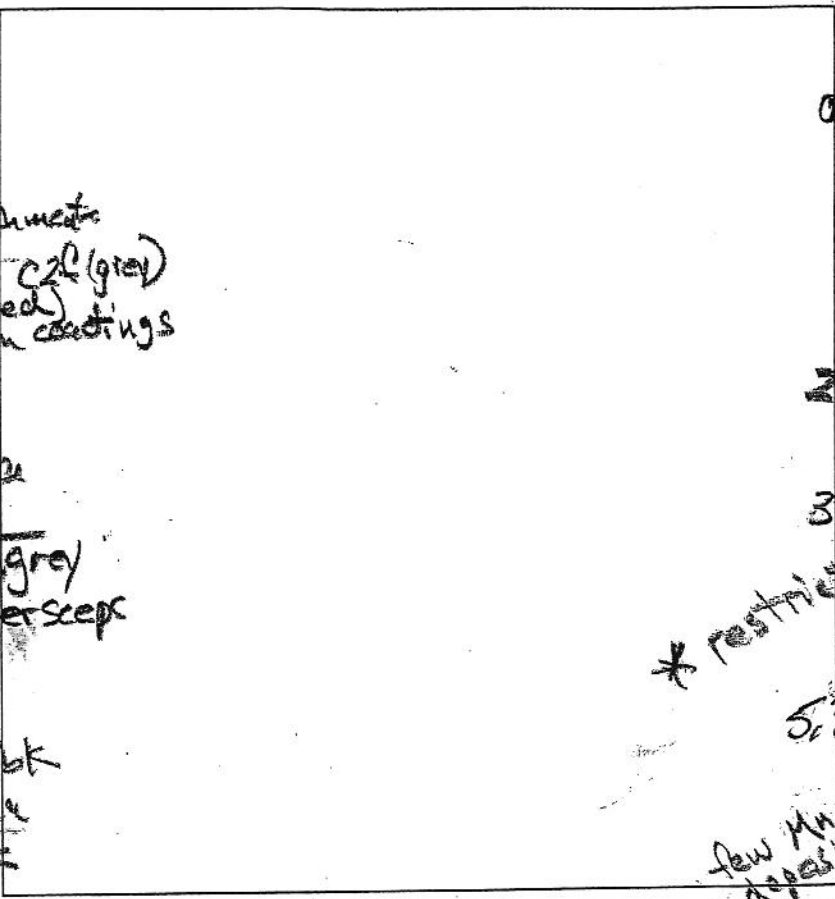
AP

2034

0.7' dk brn L, SS
 1' brn L
 many red enrichment
 1' brn ch L c2k (grey)
 c2d (red)
 few Mn coatings
 1.5' yel-red
 grey fsl
 mica
 4' yel-red grey
 fsl water seeps
 9' SS

2039

0.7' dk brn L, 2 fsl
 mica
 1.3' brn L, 2 fsl
 mica
 yel-red cl
 2 fsl
 common fine
 mica
 2' yel-red
 fsl, 2 fsl
 many mica
 3.4' yel-red fsl
 many mica
 Sidewall failure
 below 4' platy



* restrictive
 few Mn
 deposits

2040

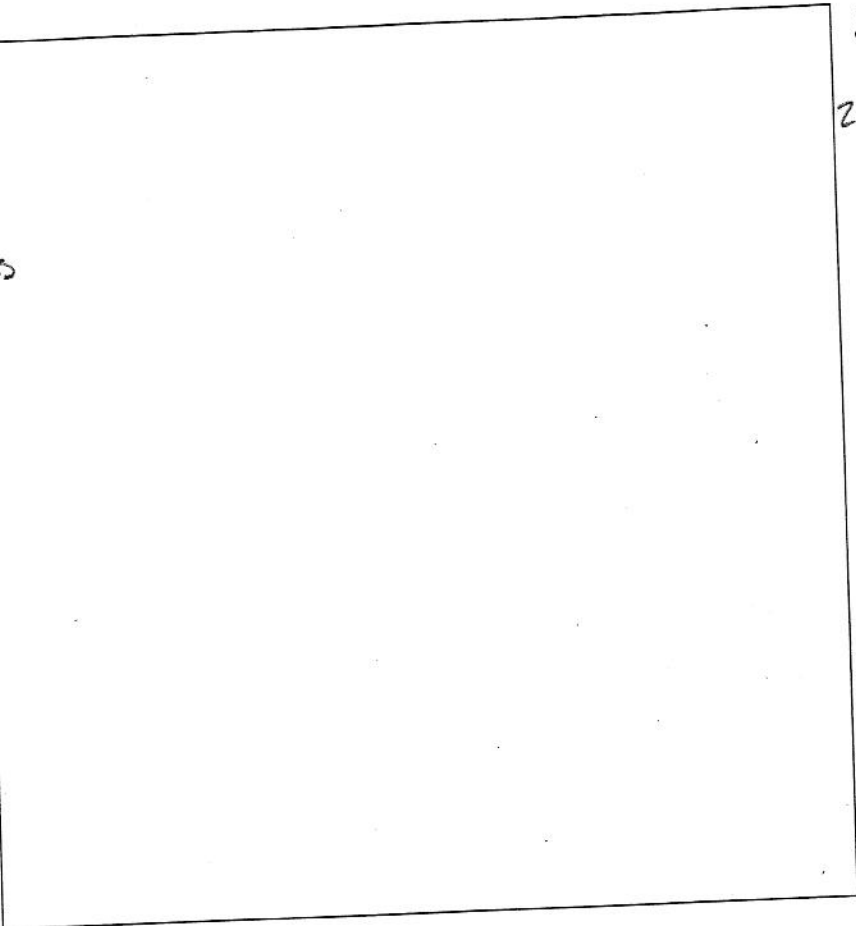
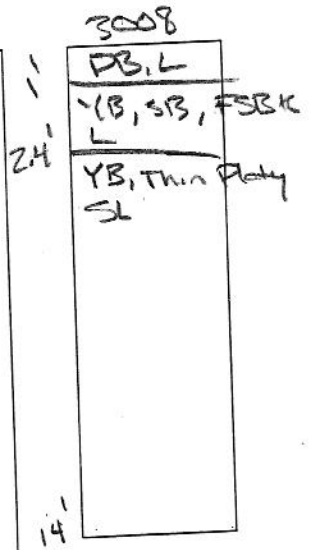
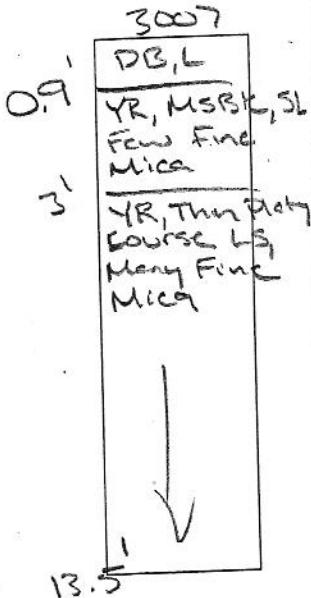
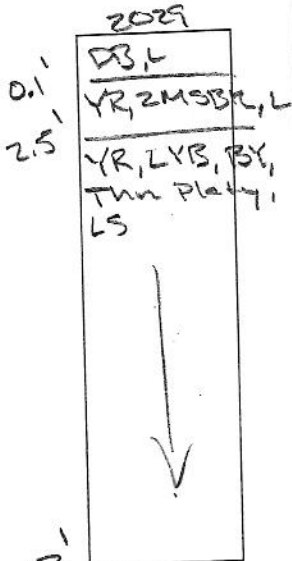
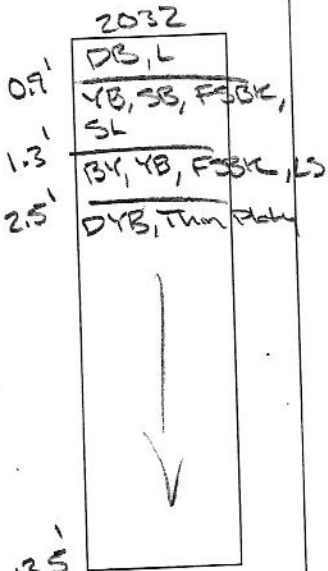
0.8' dk brn L
 2 fsl
 1.5' red-yel
 3 fsl
 1.9' yel-red
 2 fsl
 2.5' yel-red
 1 fsl
 3.5' yel-red
 1 fsl
 many fine mica
 di. ch. boundary
 5.3' yel-red
 1 fsl, SS
 common mica
 8' yel-red
 & yel-brn
 fsl, 1 fsl
 water seeps

Bottom low
 brn yellow
 clay platy
 Mn coatings
 on plugs
 & anchors

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/EH
4/30/18	2034	4.1	Visual		water seeps	5	F
4/30/18	2036	3.5	Visual		water seeps		F
4/30/18	2035	4.5	Visual		water seeps		F
4/30/18	2038	3.5	Visual		water seeps		F
4/30/18	2039	7'	10:30 Visual		water seeps		F
4/30/18	2040	3.5'	11:05	11:09	11:15	6	*

REMARKS 2037 - did not dig
 SANITARIAN R Bricker BACKHOE Kenny Hatfield OTHERS _____
 TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

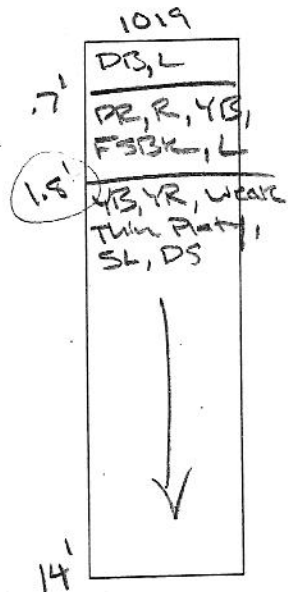
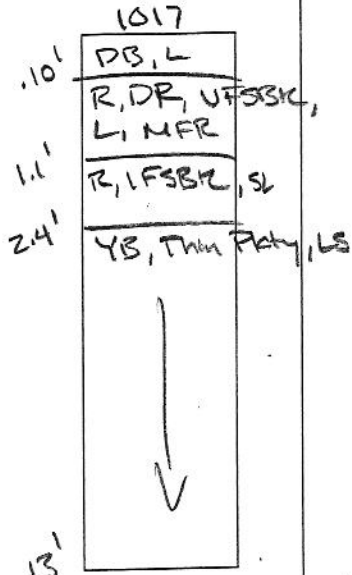
A/P _____



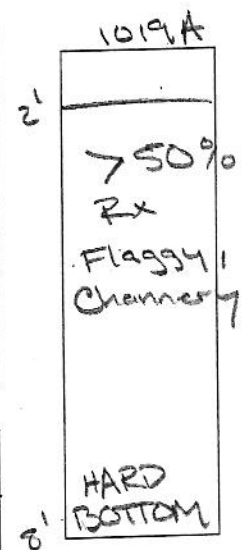
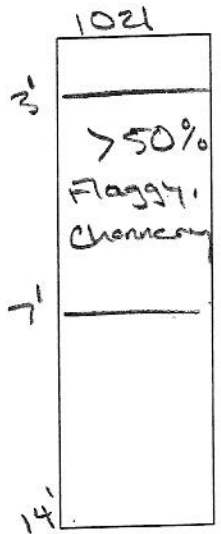
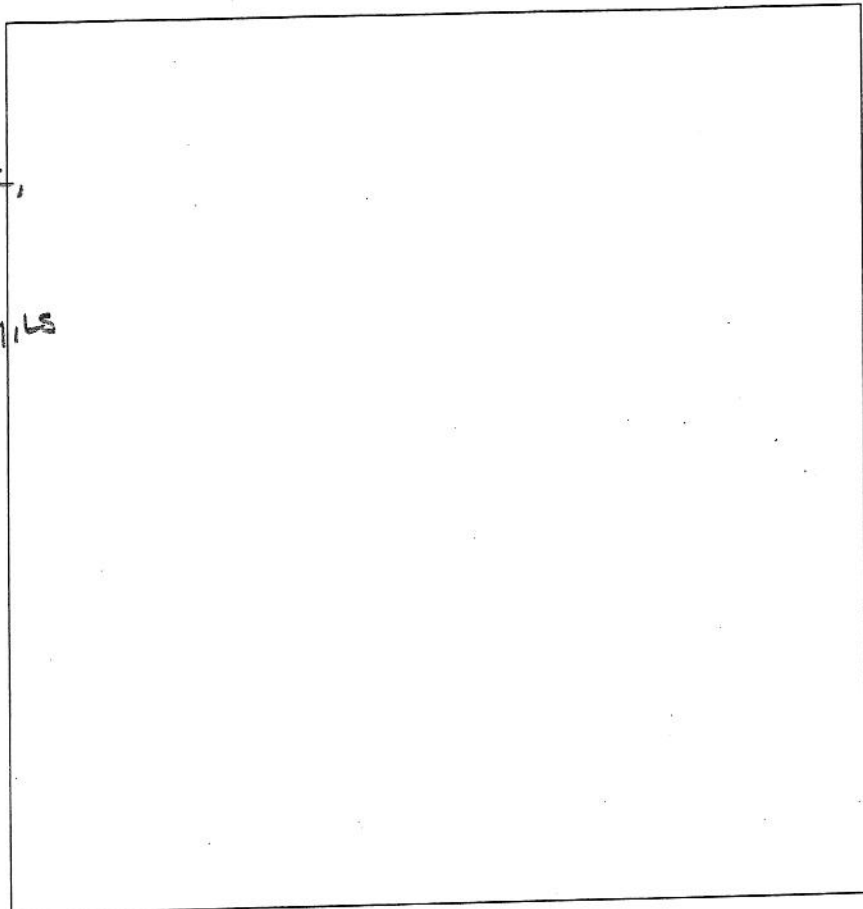
DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
5/7/2018	2032	5.5 / 13.5	2:31	2:37	2:35	2	P
5/7/2018	2029	5.5 / 13	2:58	3:00	3:05	5	P
5/2/2018	3007	6' / 13'	9:13	9:15	9:17	2	P
	3008	6' / 13'	9:26	9:27	9:29	2	P

REMARKS _____
 SANITARIAN RSF BACKHOE _____ OTHERS _____
 TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE S/W _____

AP _____



1020
Same
As
1019



DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
5/14/2018	1017	55 / 13	12:26	12:32	12:40	8	P
	1019	5 / 14	12:52	12:55	12:58	4	P
	1020	4 / 13	1:16	1:20	1:26	6	P
	1021	14	VISUAL				F
	1019A	8	VISUAL				F

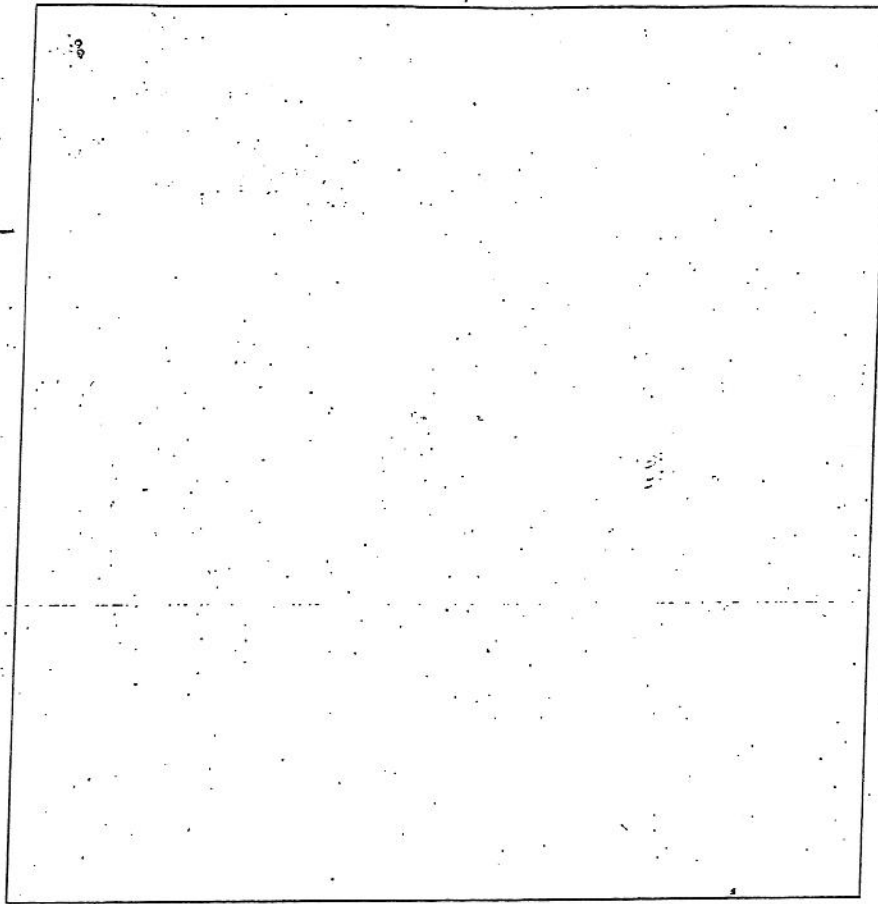
REMARKS _____
 SANITARIAN RSC BACKHOE _____ OTHERS _____
 TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

AP:

0.1' 2026
 DB, L
 YR, Platy,
 CL, 10%
 gravel, some
 Cobble
 4' BY, Platy, SL
 20-40%
 Rock
 Gravel
 Cobble
 11'

0.1' 2027
 DB, L
 >50%
 Rock
 Flaggy,
 Channers
 Some
 Stones
 9.5'
 10' Water
 seeps
 WATER

0.1' 2028
 DB, L
 >50%
 Rock
 Flaggy,
 Channers
 Some
 Stones
 11'
 11.5' Water
 seeps
 WATER



2' 2025
 >50%
 Rock
 Flaggy

4' 2024
 DB, L
 Red, Clay
 Heavy
 >50%
 Rock
 Flaggy
 11.5'

DATE	TEST #	DEPTH	START	BREAK 1' DROP	STOP 2' DROP	TIME OF 2ND INCH	P/F/H
6/22/2018	2026	5' 11'	1:01	1:08	1:31	23	P
	2027	10'	VISUAL				F
	2028	11.5'	VISUAL				F
	2025	6'	VISUAL				F
	2024	11.5'	VISUAL				F

REMARKS _____
 SANITARIAN RSF BACKHOE _____ OTHERS _____
 TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

AP

2031

DB Loam
SCL, YR, ZMSBK

FSL, YS, LS, LSY
Thin platy, Many
Fine Mica

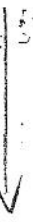


13.5'

2030

DB Loam, Thin roots
SCL, ZMSBK,
YR, Many Fine
Mica

SL, Thin platy,
Many Fine
Mica, YS, OY,
LSY



15'

2033

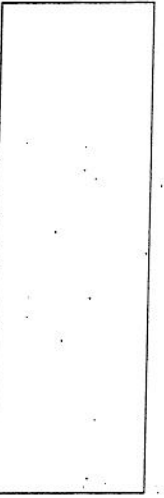
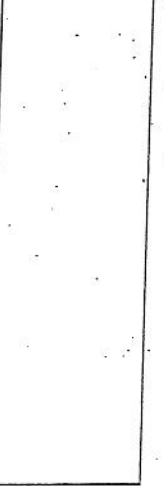
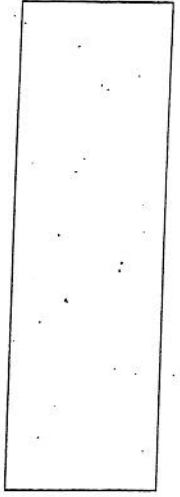
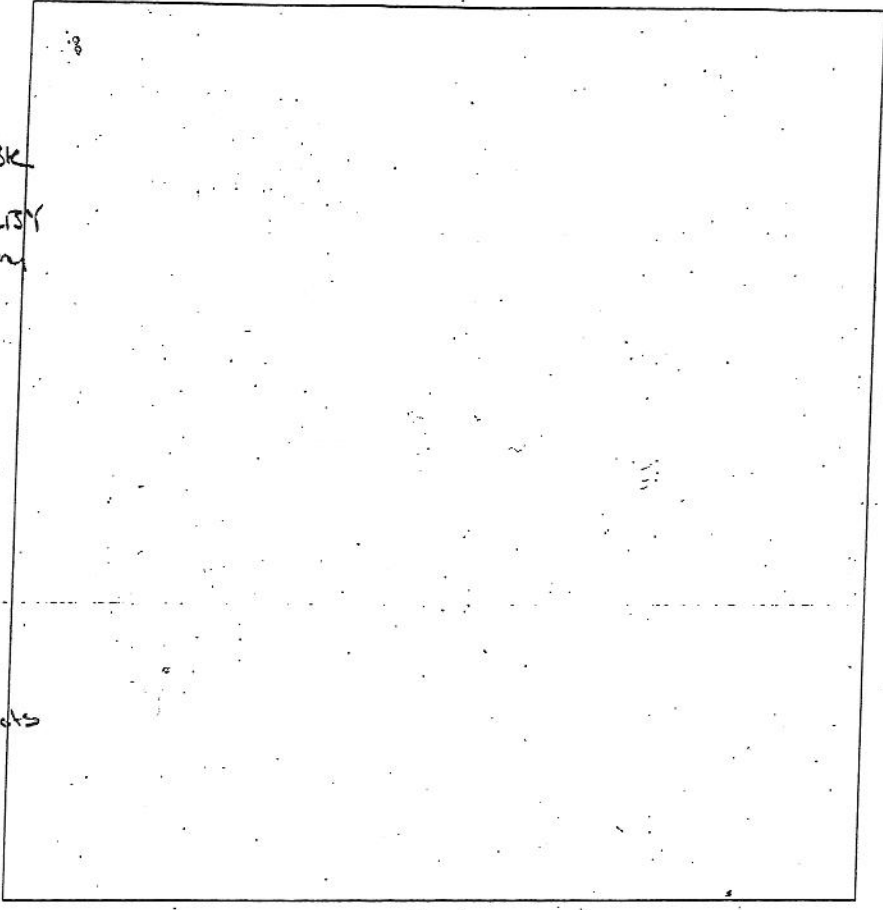
DB Loam Thin roots
CL, R, YR,
Thin platy, Moist
shale, clay skins
Fine Mica

Rock
Channery
Flaggy
50%

Water

5'

13.2'



DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
4/20/2018	2031	5' 13.5'	8:19 ₁₀	8:24 ₅₀	8:34 ₀₀	10	P
	2030	4.8' 15'	8:32 ₃₀	8:36 ₂₀	8:42 ₃₀	6	P
	2033	13.2'	VISUAL				F

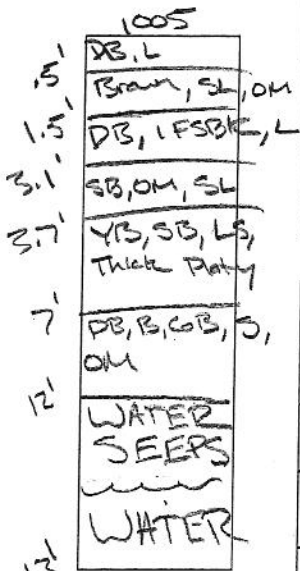
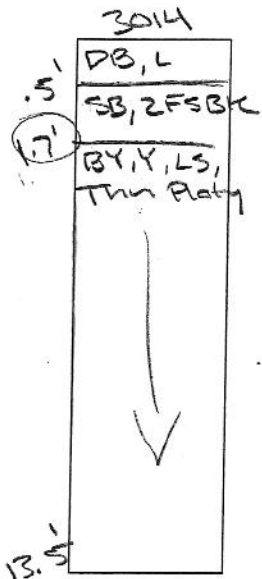
REMARKS _____

SANITARIAN RSF BACKHOE _____ OTHERS _____

TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____

TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

AP _____



1006A
SAME AS 1005

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
5/8/2008	3014	6 / 13.5	1:12	1:20	1:30	10	P
	3014	4 / 8.5	1:30	1:32	1:35	3	P
	1005	5 / 12	2:09	2:33	3:03	>30	F
	1006A	12	VISUAL				F

REMARKS _____
 SANITARIAN RSF BACKHOE _____ OTHERS _____
 TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE S/W _____

AP _____

A

1' DB, L

1' YR, SB, FSBK, L, 20-30% Rk

2' YR, R, Thin Platy, SL, 20-30% Flossy Rk

13'

D

1' DBL

1' YB, 2 FSBK, L, common fine mica

2.5' YB, R, SL Thin Platy, Many fine mica

10' HARD BOTTOM

B

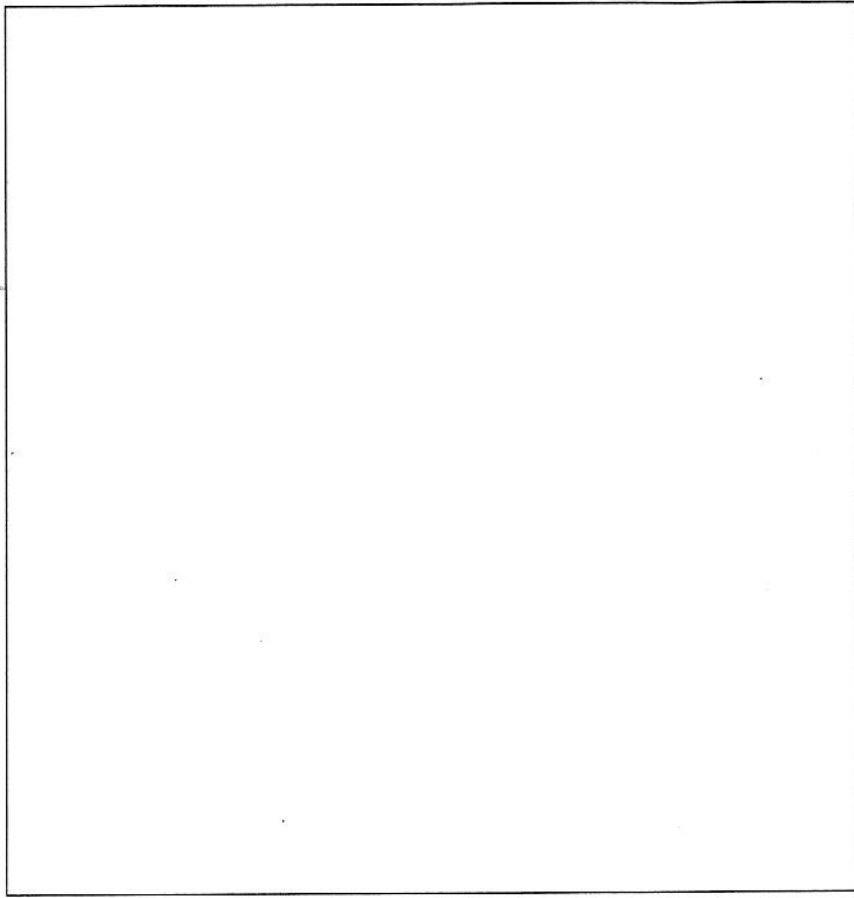
1' DB, L

1' YR, SB, FSBK, L, 20-30% Rk

2.5' R, OM, SL, Common fine mica, 20-30% Rk

6' YB, OM, LS Common mica 20-30% Rk

13'



C

>50% Rock

9' HARD BOTTOM

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
4/8/2006	A		VISUAL			→	P
	D		VISUAL			→	P
	B		VISUAL			→	P
	C		VISUAL			→	F

REMARKS _____

SANITARIAN RSF BACKHOE _____ OTHERS _____

TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____

TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____