

**Bureau of Environmental Health**  
 8930 Stanford Boulevard, Columbia, MD 21045  
 Main: 410-313-2640 | Fax: 410-313-2648  
 TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
 Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 3-28-25 **ONSITE SEWAGE DISPOSAL SYSTEM** P 589012

APPROVAL DATE: 5/20/2025 **PERMIT: NEW CONSTRUCTION** A \_\_\_\_\_

PROPERTY ADDRESS: 11813 Chapel Woods Court

SUBDIVISION: Chande Property LOT: 2 TAX ID: \_\_\_\_\_

CONTRACTOR: Hatfields Equipment EMAIL: ken@hatfieldsequipment.com

CONTRACTOR ADDRESS: P.O. Box 519, Annapolis Junction, MD 20701 PHONE: 301-490-4289

PROPERTY OWNER: Alhad and Karen Chande EMAIL: \_\_\_\_\_

OWNER ADDRESS: 11101 Dorsch Farm Road, Ellicott City, MD 21042 PHONE: \_\_\_\_\_

SEPTIC TANK SIZE: 2 @1500 Gal 1 & 2 PUMP SIZE: \_\_\_\_\_ PUMP TANK CAPACITY: \_\_\_\_\_

DISTRIBUTION SYSTEM:  GRAVITY  PRESSURE DOSED BEDROOMS: 8 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>120</u>	INLET DEPTH: <u>3</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>13</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>3</u>
LOCATION:	<b>SYSTEM TO BE STAKED BY DESIGNER AND VERIFIED BY APPROVING AUTHORITY DURING PRE-CONSTRUCTION INSPECTION.</b>	
NOTES:	Install per approved OSDS plan, gravity system. 2 @ 60' 1 <sup>st</sup> tank 1 compartment & 2 <sup>nd</sup> tank 2 compartment	

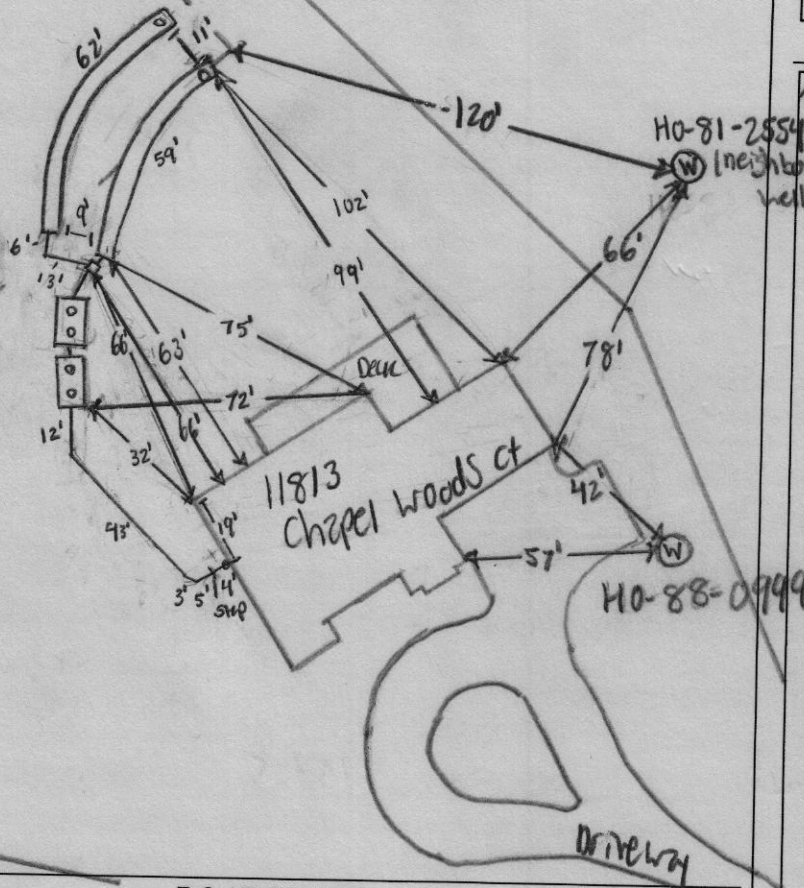
ISSUED BY: Zach Librav ISSUE DATE: 5/5/25 EXPIRATION DATE: 3-28-26

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR REGISTERED WITH THE STATE OF MD ON-SITE WASTEWATER PROFESSIONALS BOARD: CONFIRMED
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADE FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM  
 ELECTRICAL PERMIT ISSUED E N/A
- NOTE: THE HCHD DOES NOT WARRANT ANY SYSTEM AND CANNOT GUARANTEE THE PERFORMANCE OF THIS SYSTEM AS DESIGNED. BY ACCEPTING THIS PERMIT, THE OWNER AND/OR APPLICANT ACKNOWLEDGE THAT THE SPECIFICATIONS DETAILED IN THIS DESIGN ARE ONE POSSIBLE OPTION AND THAT THE HCHD WILL REVIEW OTHER PROPOSALS. YOU HAVE THE OPTION TO SEEK THE ADVICE OF A QUALIFIED DESIGN CONSULTANT OR PROFESSIONAL ENGINEER FOR FURTHER GUIDANCE.
- NOTE: AN INDIVIDUAL CERTIFIED BY MDE AND THE MANUFACTURER FOR BAT INSTALLATION MUST BE PRESENT AT ALL TIMES DURING BAT INSTALLATION.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.  
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

NOT TO SCALE

1" ≈ 50'



ROAD NAME

TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	3'	8'
NUMBER OF TRENCHES		2
TOTAL LENGTH		121ft
ABSORPTION AREA		363 ft <sup>2</sup> + SW
DISTRIBUTION BOX LEVEL		yes
DISTRIBUTION BOX BAFFLE		yes
DISTRIBUTION BOX PORT		yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	yes
MANUFACTURER	Babylon
CAPACITY	1500 GAL
SEAM LOC	Top
TANK LID DEPTH	1.5' - 1'
BAFFLES	6" front + 4" back
BAFFLE FILTER	
MANHOLE LOC	Front + back
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	2/10/2025
PUMP/SEPTIC TANK LEVEL yes	
MANUFACTURER	Babylon
CAPACITY	1500 GAL
SEAM LOC	Top
TANK LID DEPTH	1.5' - 1'
BAFFLES	4" back + 4" front
BAFFLE FILTER	
MANHOLE LOC	Front + back
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	yes
DATE ON LID	3/10/2025

SEPTIC CONTRACTOR ONSITE INSTALLING SYSTEM: Todd Tracey  
 SEPTIC CONTRACTOR ONSITE LICENSED WITH THE STATE OF MD: YES/NO

PRE-CONSTRUCTION NOTES:

5/16/2025 - Installer onsite for pre-con. Tank stacked per plan.  
 Trenches stacked per plan. Trenches ~ 60' long & on contour within 4". Neighboring well > 100' from septic. Well serving house missing cap & > 100' from septic. Contacting builder for well. Contractor OK to start work. SP/MVB

INSTALLATION NOTES:

5/19/2025 - Installer onsite for inspection. Lower trench finished, ends open. Length @ 62', inlet @ 3', stone & fabric OK. Installer finishing upper trench while onsite. Length @ 59', inlet @ 3', stone & fabric OK. OK to backfill. SP  
 5/20/2025 - Installer onsite for inspection. Tank set while onsite. D-box tied into trenches & tank. Levelled d-box. OK to backfill back line, reinspect for front line connection.  
 Installer onsite for inspection in PM. Adequate fall to tank. SW 6" front baffle & 4" baffles. OK to backfill all work. SP

CONTROL PANEL DATA	
CONTROL PANEL HEIGHT	(MIN 30")
INSPECTION DATE	
INSPECTION: PASS/FAIL (CIRCLE ONE)	

FINAL INSPECTOR S. Pese

DATE OF APPROVAL 5/20/2025

## Silvast, Zackary

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**From:** Silvast, Zackary  
**Sent:** Friday, January 20, 2023 5:38 PM  
**To:** Zach Sill; Paul Sill  
**Cc:** Williams, Jeffrey; Bernard, Dana  
**Subject:** regarding 11813 Chapel Woods Court

To Whom It May Concern,

After supervisor review, between Jeff Williams & I, we have the following comments and concerns that will need to be addressed prior to perc cert signature approval.

### Comments:

1. **The overall topography shown on this plat is not adequate since over 50% of the plat is either extremely faded or unreadable.**
  - a. **The topography should be located in a way that is apparent on the lot.**
  - b. **I almost thought there was missing topography, until I realized it was hugging the property lines on the outside portion of the lot.**
2. **Greater than 25% slopes needs to be shown in a clearer and more decipherable way.**
  - a. **Should be visually striking/differentiable.**
  - b. **Should be added to the legend.**
3. **A master well driller must submit a report stating that the alternate well site across the ravine/swale divide is accessible.**
  - a. **An appropriate note should make mention of this.**
4. **Temporary ditch crossing is not an acceptable note for the plan. That doesn't show specifically what is being done or how. Please change.**

### Concerns:

1. ***The alternate/future well site is a concern, how are they going to gain access? It should be shown accordingly.***
2. ***The Environmental Report submitted by the engineering firm was not adequate as it lacked information.***
  - a. ***The letter's creator from the environmental firm did not provide any of "his/her/their" credentials.***
  - b. ***Generally, some "body of field work" they conducted would be provided with this letter/memo.***
    1. ***No data provided.***
    2. ***Therefore, it is currently not acceptable by Howard County Health Department standards.***

If you have any other questions, feel free to contact Dana or myself. We look forward to your re-submittal. Thank you.

- ZS

### **Zack Silvast (LEHS)**

*Plan Review Supervisor - Water & Sewer Division*

*410-313-1777*

*Environmental Health Bureau*

*Howard County Health Department*

Name: Alhad M. & Karen L. Chande

Street Address: 11808 Bare Sky Ln,

City, State, Zip: Columbia, MD 21044

Date: 2/17/2025

Amendment, Permit # B24000366

Ms. Debbie Whalen  
Division of Plan Review  
Department of Inspections, Licenses and Permits  
Howard County Government  
3430 Court House Dr  
Ellicott City, MD 21043

Dear Ms. Whalen:

I am requesting to amend Permit # B24000366 at  
11813 Chapel Woods Ct, Clarksville, MD 21029 to  
the new elevation as shown per attached plan and wall check plats.

**Enclosed:**

- Fee: \_\_\_\_\_
- Plot Plans
- Sets of Construction Drawings
- Other: \_\_\_\_\_

If there is anything we can do to assist you, please let me know.

Sincerely,

Name: John Lemmerman

Title: Principal, RTF Associates

Phone: 410-848-2040, 410-876-1222

Email: john.rtf@gmail.com



Home **Building** Fire Licenses Enforcement

Search Applications

Create an Application

Schedule an Inspection

**Building B24000366:**  
**Residential New Single Family Dwelling Permit**  
Record Status: Issued

Add to cart  
Add to collection

Record Info ▾

Payments ▾

Custom Component

### Processing Status

✓ ▶ Application Acceptance

State Highway  
DAP

✓ ▶ Sediment Control

✓ ▶ Building Review

✓ ▶ Zoning

✓ ▶ Dev Engineering

✓ ▶ Health Dept

✓ ▾ Building Permit Issuance

Assigned to TBD

☑ Marked as Issued on 04/23/2024 by Samatha Schmidt

Assigned to TBD

☑ Marked as Revision Issued on 03/27/2025 by Samatha Schmidt

⌚ ▶ Final Building

⌚ ▶ Final Grading

C of C

Tasks **Files** Info Reports Discuss **B24000366: SFD/MODEL "CUSTOM", 2 STORY, Full Basement, Basement = Unfinished w/Rough-In, 11R, 5F8, 0H8, 2FP, 3 Car Attached, 5BR, Open Porch and Deck, ...** Main Contact: Don Mock

Refresh

Upload Files

22 of 22 files (0 selected)

Drawings (22 - 0 New)

Reports

Approved Drawings (1 - 0 New)

Misc Communication (9 - 0 New)

FILE NAME	STATUS	REVIEWED	UPLOADED	DATE
<input type="checkbox"/> 20-087_SWM Report.pdf			ALHAD CHANDE	3/6/24 5:31 PM
<input type="checkbox"/> 24-54 Building Permit B24000366.pdf			ALHAD CHANDE	3/25/25 12:21 AM
<input type="checkbox"/> 24-54_Foundation Location Drawing.pdf			ALHAD CHANDE	3/25/25 12:21 AM
<input type="checkbox"/> 24-54_RED LINE.pdf			ALHAD CHANDE	3/25/25 12:21 AM
<input type="checkbox"/> AA-23-001 D&O.pdf			ALHAD CHANDE	3/14/24 9:11 AM
<input type="checkbox"/> Architecture_Final Plan Set 7.12.23.pdf			ALHAD CHANDE	3/6/24 5:31 PM
<input type="checkbox"/> Chandre Property OGD5 (2).pdf			ALHAD CHANDE	3/14/24 9:11 AM

Tasks Files Info Reports Discuss **B24000366: SFD/MODEL "CUSTOM", 2 STORY, Full Basement, Basement = Unfinished w/Rough-In, 11R, 5FB, 0HB, 2FP, 3 Car Attached, 5BR, Open Porch and Deck, ENE...** Main Contact: Don Mock

Project Info

<b>Project name:</b>	B24000366
<b>Description:</b>	SFD/MODEL "CUSTOM", 2 STORY, Full Basement, Basement = Unfinished w/Rough-In, 11R, 5FB, 0HB, 2FP, 3 Car Attached, 5BR, Open Porch and Deck, ENERGY METHOD = UA Alternative, null, Floor 1 - 2528 SQFT / Floor 2 - 2006 SQFT / Total - 4534 SQFT
<b>Location:</b>	Department of Inspections Licenses & Permits, Howard County
<b>Contact:</b>	Don Mock
<b>Contact's Email:</b>	dmock@howardcountymd.gov
<b>Phone:</b>	410-313-2455
<b>Cell Phone:</b>	
<b>Pager:</b>	
<b>Project Owner:</b>	Moriah Jayjock
<b>Owner's Email:</b>	mjayjock@howardcountymd.gov
<b>Status:</b>	Active
<b>Status info:</b>	
<b>Project Start/End:</b>	Start: 2/6/2024   End:

Name: Alhad M. & Karen L. Chande  
Street Address: 11808 Bare Sky Ln,  
City, State, Zip: Columbia, MD 21044  
Date: 2/17/2025

**Amendment, Permit #** B24000366

Ms. Debbie Whalen  
Division of Plan Review  
Department of Inspections, Licenses and Permits  
Howard County Government  
3430 Court House Dr  
Ellicott City, MD 21043

Dear Ms. Whalen:

I am requesting to amend Permit # B24000366 at  
11813 Chapel Woods Ct, Clarksville, MD 21029 to  
the new elevation as shown per attached plan and wall check plats.

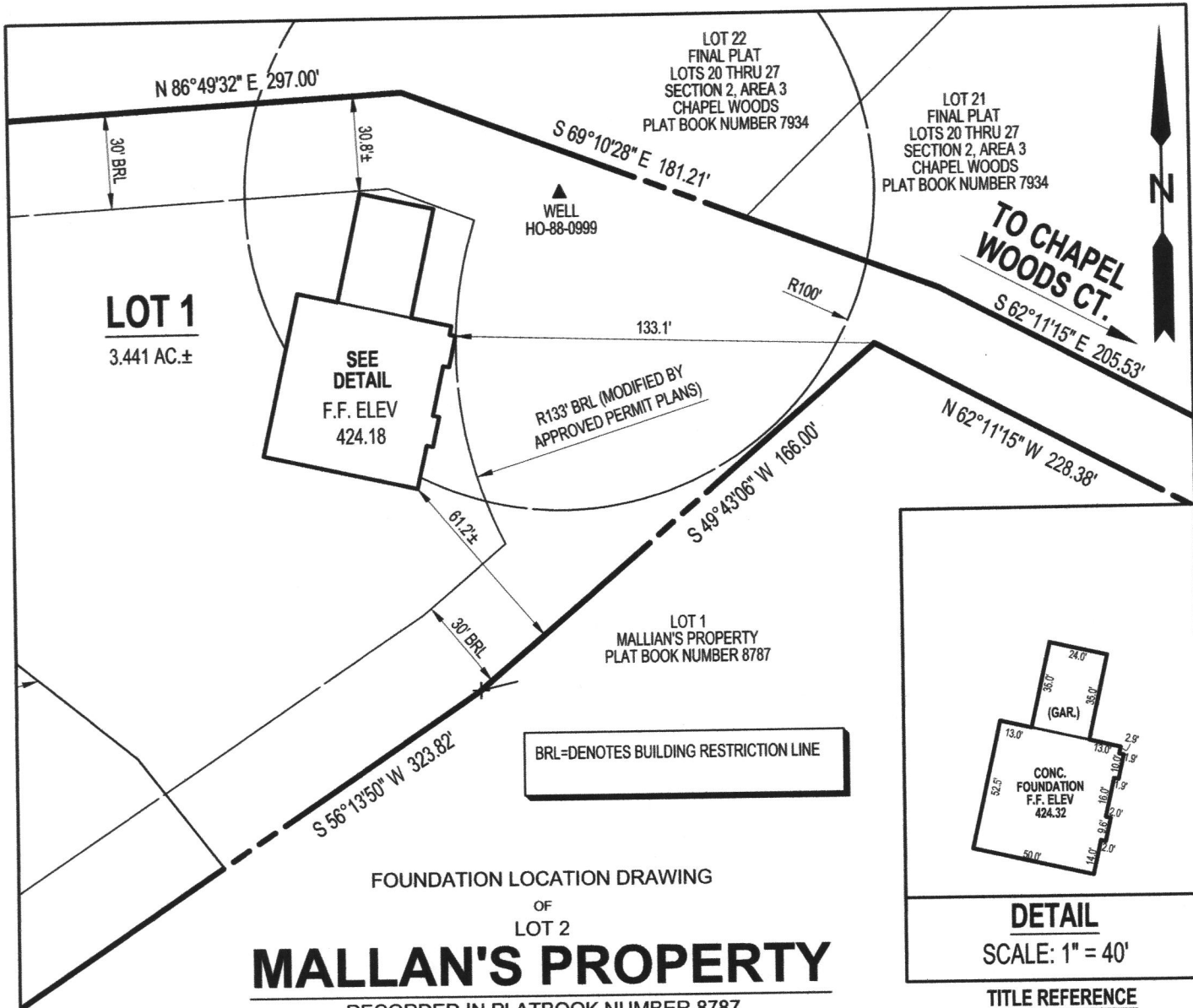
**Enclosed:**

- Fee: \_\_\_\_\_
- Plot Plans
- Sets of Construction Drawings
- Other: \_\_\_\_\_

If there is anything we can do to assist you, please let me know.

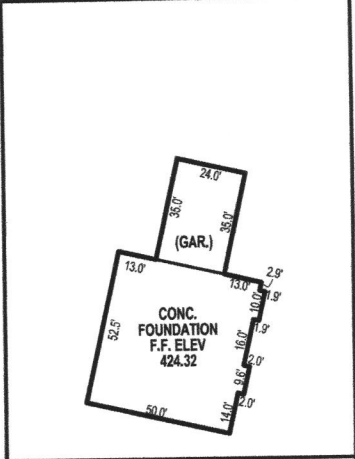
Sincerely,

Name: John Lemmerman  
Title: Principal, RTF Associates  
Phone: 410-848-2040, 410-876-1222  
Email: john.rtf@gmail.com



FOUNDATION LOCATION DRAWING  
OF  
LOT 2  
**MALLAN'S PROPERTY**

RECORDED IN PLATBOOK NUMBER 8787  
11813 CHAPEL WOODS COURT  
5TH ELECTION DISTRICT HOWARD CO. MD.  
TAX MAP: 29, GRID: 13, PARCEL: 36



**DETAIL**  
SCALE: 1" = 40'

**TITLE REFERENCE**  
ALHAD M. CHANDE  
KAREN L. CHANDE  
M.D.R. 3743 ~ 571  
MAY 31, 1996

1-24-2025 FIRST FLOOR ELEVATION

THIS DRAWING IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING, OR REFINANCING; IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT THIS IDENTIFICATION MAY NOT BE REQUIRED, FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.

THE LEVEL OF ACCURACY OF DISTANCES TO APPARENT PROPERTY LINES SHOWN HEREON ARE 0.5%.

A LICENSEE EITHER PERSONALLY PREPARED A LOCATION DRAWING OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN REGULATION .12 OF CHAPTER 06, MINIMUM STANDARDS OF PRACTICE OF THE ANNOTATED CODE OF MARYLAND.

JOHN E. LEMMERMAN, PROF. I.S. # 21096 EXP. 8-3-25



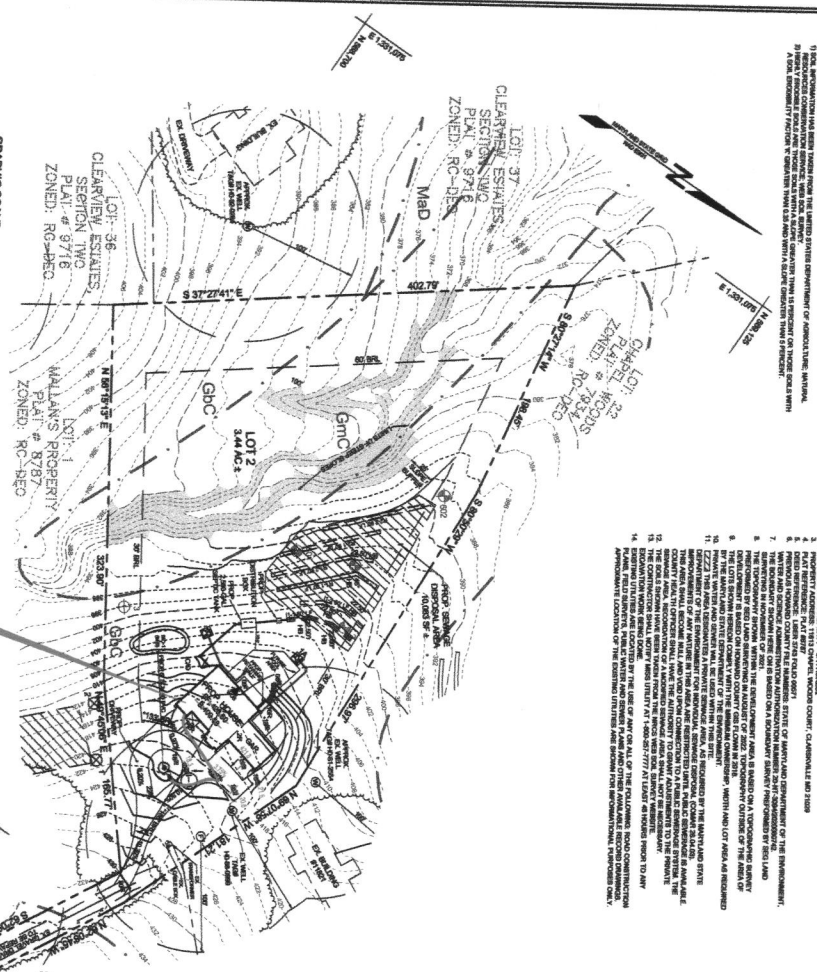
LOCATION DRAWING  
11813 CHAPEL WOODS COURT

142 EAST MAIN STREET  
WESTMINSTER, MD 21157  
410-848-2040 410-876-1222  
WWW.RTFSURVEYING.COM

SCALE 1"=50'
DATE 06-04-2024
JOB 24-54
DRAWN BY AR
CHECKED BY JEL

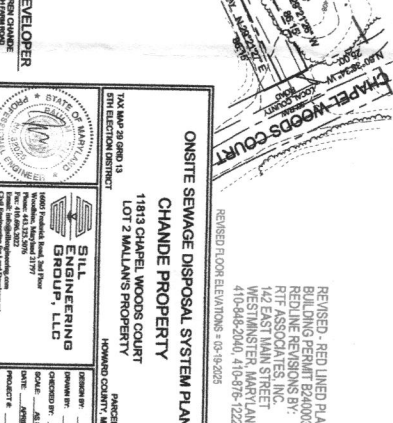
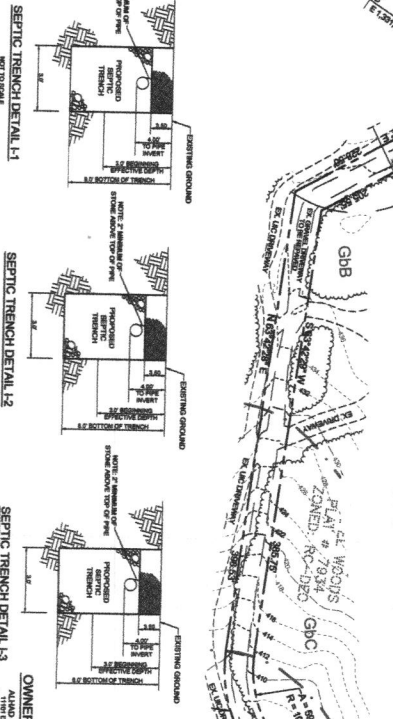
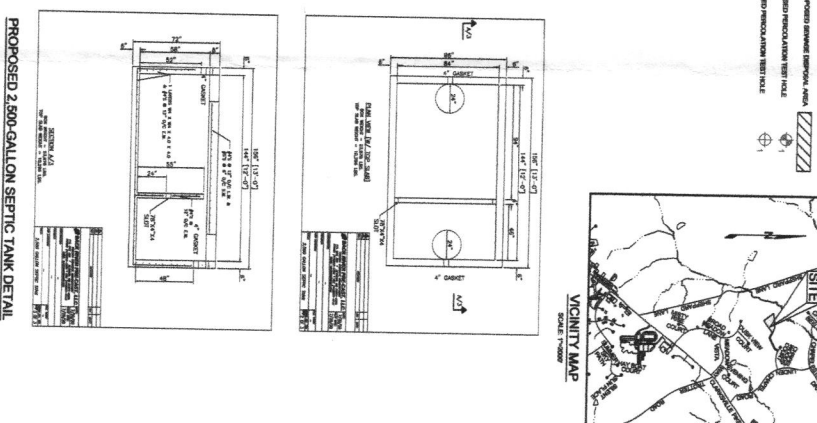
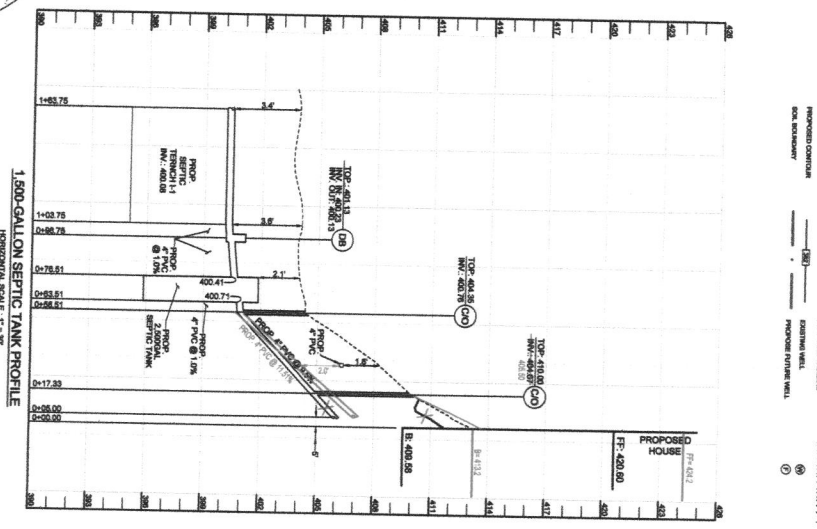
SYMBOL	NAME / DESCRIPTION	GROUP	% FACTOR
(Symbol)	GRAVEL (NO. 20) TO 3" PERCENT FINE	A	50
(Symbol)	SAND (NO. 40) TO 20 PERCENT FINE	B	50
(Symbol)	GRAVEL (NO. 20) TO 20 PERCENT FINE	C	50
(Symbol)	SAND (NO. 40) TO 20 PERCENT FINE	D	50
(Symbol)	GRAVEL (NO. 20) TO 20 PERCENT FINE	E	50
(Symbol)	SAND (NO. 40) TO 20 PERCENT FINE	F	50
(Symbol)	GRAVEL (NO. 20) TO 20 PERCENT FINE	G	50
(Symbol)	SAND (NO. 40) TO 20 PERCENT FINE	H	50
(Symbol)	GRAVEL (NO. 20) TO 20 PERCENT FINE	I	50
(Symbol)	SAND (NO. 40) TO 20 PERCENT FINE	J	50
(Symbol)	GRAVEL (NO. 20) TO 20 PERCENT FINE	K	50
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(Symbol)	SAND (NO. 40) TO 20 PERCENT FINE	N	50
(Symbol)	GRAVEL (NO. 20) TO 20 PERCENT FINE	O	50
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(Symbol)	SAND (NO. 40) TO 20 PERCENT FINE	R	50
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(Symbol)	GRAVEL (NO. 20) TO 20 PERCENT FINE	Y	50
(Symbol)	SAND (NO. 40) TO 20 PERCENT FINE	Z	50

- ### GENERAL NOTES
1. THE INFORMATION HAS BEEN OBTAINED FROM THE PUBLIC RECORDS DEPARTMENT OF ANNE ARD COUNTY, MARYLAND.
  2. THE PROPERTY IS LOCATED IN SECTION TWO, TOWNSHIP TWO NORTH, RANGE TWO WEST, BALTIMORE COUNTY, MARYLAND.
  3. THE PROPERTY IS ZONED RG-1500.
  4. THE PROPERTY IS LOCATED ON LOT 22, CHAPEL WOODS SECTION TWO, BALTIMORE COUNTY, MARYLAND.
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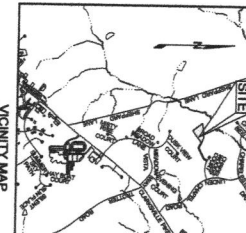
### SEPTIC SYSTEM TRENCH DESIGN SPECIFICATIONS

1. TRENCH DEPTH: 48" MINIMUM.
2. TRENCH WIDTH: 18" MINIMUM.
3. TRENCH SPACING: 4' MINIMUM.
4. TRENCH SLOPE: 1% MINIMUM.
5. TRENCH MATERIAL: 12" MINIMUM RIGID POLYETHYLENE PIPE.
6. TRENCH COVER: 12" MINIMUM RIGID POLYETHYLENE PIPE.
7. TRENCH PROTECTION: 12" MINIMUM RIGID POLYETHYLENE PIPE.
8. TRENCH INSTALLATION: 12" MINIMUM RIGID POLYETHYLENE PIPE.
9. TRENCH MAINTENANCE: 12" MINIMUM RIGID POLYETHYLENE PIPE.
10. TRENCH REMOVAL: 12" MINIMUM RIGID POLYETHYLENE PIPE.
11. TRENCH REPLACEMENT: 12" MINIMUM RIGID POLYETHYLENE PIPE.
12. TRENCH REPAIR: 12" MINIMUM RIGID POLYETHYLENE PIPE.
13. TRENCH PATCHING: 12" MINIMUM RIGID POLYETHYLENE PIPE.
14. TRENCH CLEANING: 12" MINIMUM RIGID POLYETHYLENE PIPE.
15. TRENCH INSPECTION: 12" MINIMUM RIGID POLYETHYLENE PIPE.
16. TRENCH TESTING: 12" MINIMUM RIGID POLYETHYLENE PIPE.
17. TRENCH RECORDING: 12" MINIMUM RIGID POLYETHYLENE PIPE.
18. TRENCH SIGNAGE: 12" MINIMUM RIGID POLYETHYLENE PIPE.
19. TRENCH SAFETY: 12" MINIMUM RIGID POLYETHYLENE PIPE.
20. TRENCH SECURITY: 12" MINIMUM RIGID POLYETHYLENE PIPE.



### LEGEND

(Symbol)	EXISTING TRENCH
(Symbol)	PROPOSED TRENCH
(Symbol)	PROPOSED MANHOLE
(Symbol)	PROPOSED INLET
(Symbol)	PROPOSED OUTLET
(Symbol)	PROPOSED DISTRIBUTION LINE
(Symbol)	PROPOSED ABSORPTION AREA
(Symbol)	PROPOSED PROPERTY LINE
(Symbol)	PROPOSED TRENCH DETAIL
(Symbol)	PROPOSED SEWER MAIN
(Symbol)	PROPOSED SANITARY MAIN
(Symbol)	PROPOSED WATER MAIN
(Symbol)	PROPOSED GAS MAIN
(Symbol)	PROPOSED TELEPHONE MAIN
(Symbol)	PROPOSED CABLE MAIN
(Symbol)	PROPOSED FIBER OPTIC MAIN
(Symbol)	PROPOSED POWER MAIN
(Symbol)	PROPOSED LIGHTNING ROD
(Symbol)	PROPOSED GROUNDING
(Symbol)	PROPOSED EARTHING
(Symbol)	PROPOSED RAINWATER DRAINAGE
(Symbol)	PROPOSED SWELLAGE
(Symbol)	PROPOSED FLOODING
(Symbol)	PROPOSED EROSION
(Symbol)	PROPOSED SLURRING
(Symbol)	PROPOSED COLLAPSE
(Symbol)	PROPOSED SETTLEMENT
(Symbol)	PROPOSED LIQUIDATION
(Symbol)	PROPOSED FLOODING DETAIL
(Symbol)	PROPOSED TRENCH DETAIL



**ONSITE SEWAGE DISPOSAL SYSTEM PLAN**  
**CHANDE PROPERTY**  
 1183 CHAPEL WOODS COURT  
 LOT 2 HALLMAN'S PROPERTY  
 HOWARD COUNTY, MARYLAND

REVISED - RED LINED PLAN  
 BUILDING PERMIT EX-0000366  
 REVISIONS BY:  
 RTZ ASSOCIATES, INC.  
 142 EAST MAIN STREET  
 WESTMINSTER, MARYLAND 21157  
 410-546-2500, 410-576-1222

OWNER/DEVELOPER  
 HIND & KOSIN COMPANY  
 11100 CITY CENTERWAY  
 BALTIMORE, MARYLAND 21286

DATE: 11/11/2023  
 PROJECT: 23-002

DESIGNED BY: RTZ  
 CHECKED BY: RTZ  
 DATE: 11/11/2023  
 PROJECT: 23-002

SCALE: 1" = 10'-0"

**Eco-Science  
Professionals, Inc.**



*Consulting Ecologists*

P.O. Box 5006 Glen Arm, Maryland 21057

Telephone (410) 683-7840 Fax (410) 683-7817

April 22, 2022

Mr. Paul Sill  
Sill Engineering Group, Inc.  
16005 Frederick Road, 2nd Floor  
Woodbine, Maryland 21797

RE: 11813 Chapel Woods Road

Dear Paul,

Eco-Science Professionals, Inc. has completed a fields review of the property. The purpose of this review was to determine the nature and extent of any wetland or stream resources on the property. The subject property is a 3.4 acre lot located at the referenced address in the Clarksville section of Howard County, Maryland. Field review of the project site was performed April 18, 2022.

The subject property is currently vacant except for the improvements made to create an unpaved access to the lot. This driveway follows a long panhandle from the end of Chapel Woods Road. The body of the property is forested with no current improvements. The forest community is dominated by tulip poplar and occurs on moderate to steep slopes.

A well defined drainage channel bisects the subject property. The channel enters the southeastern property boundary and drains westerly across the site. This channel is deeply incised with steep banks and evidence of erosion and scour patterns. A secondary channel extends off the primary channel. The confluence of the two channels is located in the northwest corner of the site. The second channel begins onsite and is only approximately 110 feet in length and showed no evidence of active erosion or scour patterns.

Our field review has determined that the channels onsite are not perennial or intermittent stream channels. There was no flow in the channel at the time of our field review and there is no evidence of hydric soil layers along the banks or in the bottom of the channel. Leaf litter in the bottom of the main channel has been impacted by surface water flows and this has created a weak scour pattern. Emergent vegetation is growing within the scour pattern, indicating that the flows through the channel are not substantial.

There was no ponding present on the subject property even though the area had received notable rain in the 36 hours preceding our visit. Some ponding was noted on the channel downslope of the property but this was limited and not continuous. No flow was noted in this area.

Based on our review of the site, we would define the main channel as an ephemeral channel that conveys only surface waters. Ephemeral channels are not regulated as streams by the County or the Maryland Department of the Environment.

Ephemeral channels may be regulated by the Corps of Engineers but there are no associated buffers. The primary function of ephemeral channels is the conveyance of stormwater. If impacts to the channel are required for development of the lot, and the COE chooses to regulate the activity, the regulatory requirement would be to retain a functional conveyance of surface through the site that maintains the natural flow path onto the downstream property in a controlled manner.

Attached please find photographs that show the site conditions within the channel.

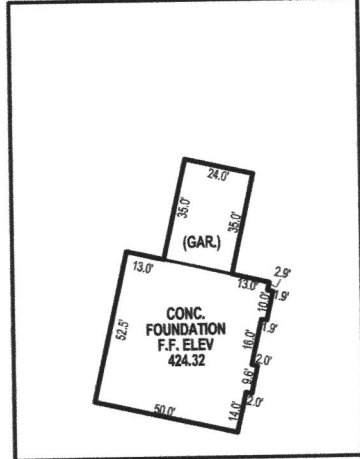
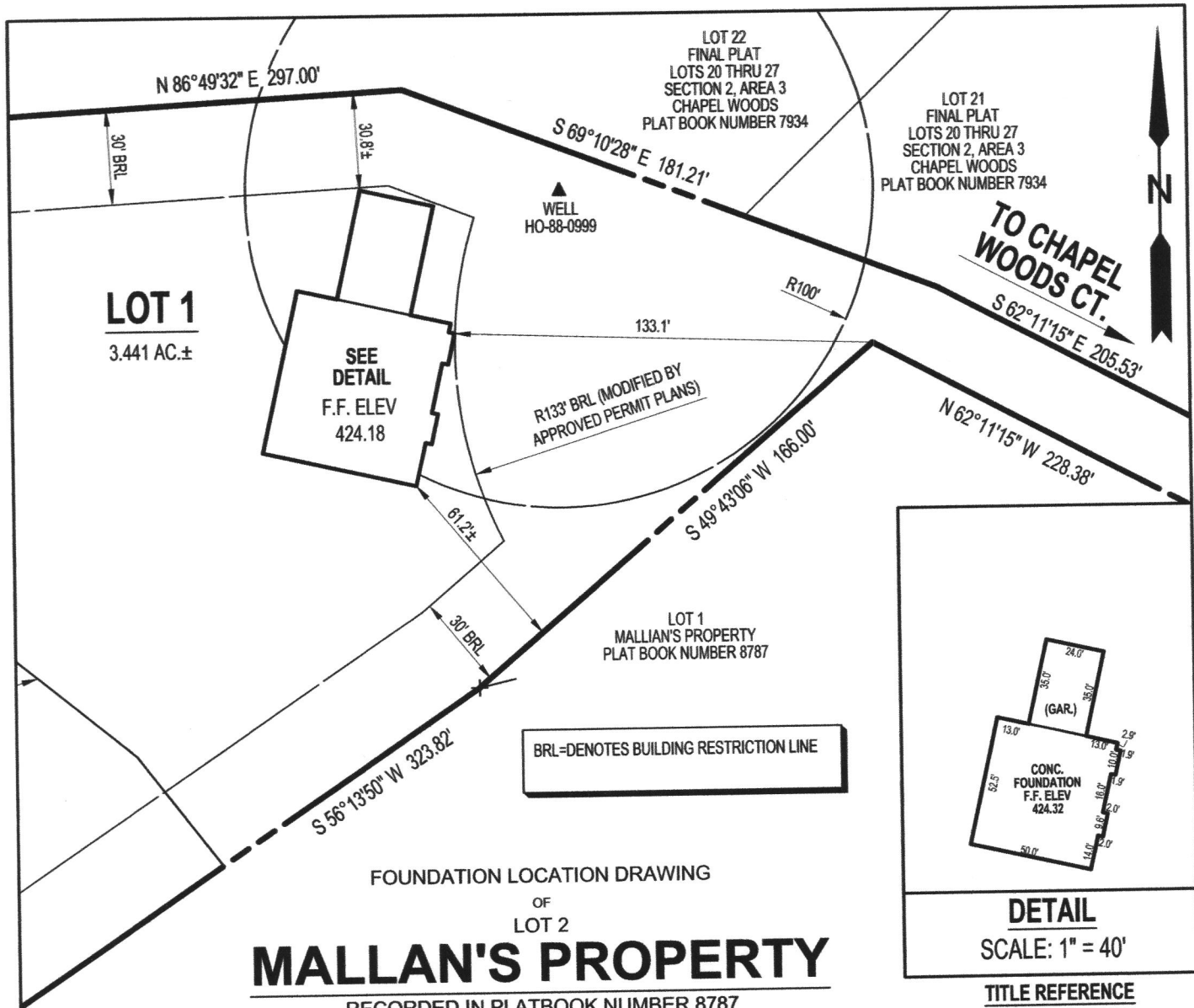
Thank you for allowing Eco-Science Professionals, Inc. the opportunity to assist you in this matter. Please do not hesitate to contact me if you have any further questions.

Sincerely yours,

  
John Canoles

Enc.

cc: file



FOUNDATION LOCATION DRAWING  
OF  
LOT 2  
**MALLAN'S PROPERTY**

RECORDED IN PLATBOOK NUMBER 8787  
11813 CHAPEL WOODS COURT  
5TH ELECTION DISTRICT HOWARD CO. MD.  
TAX MAP: 29, GRID: 13, PARCEL: 36

**DETAIL**  
SCALE: 1" = 40'

**TITLE REFERENCE**  
ALHAD M. CHANDE  
KAREN L. CHANDE  
M.D.R. 3743 ~ 571  
MAY 31, 1996

1-24-2025 FIRST FLOOR ELEVATION

THIS DRAWING IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING, OR REFINANCING; IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT THIS IDENTIFICATION MAY NOT BE REQUIRED, FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.

THE LEVEL OF ACCURACY OF DISTANCES TO APPARENT PROPERTY LINES SHOWN HEREON ARE 0.5'±.

A LICENSEE EITHER PERSONALLY PREPARED A LOCATION DRAWING OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN REGULATION .12 OF CHAPTER 06, MINIMUM STANDARDS OF PRACTICE OF THE ANNOTATED CODE OF MARYLAND.

*John E. Lemmerman*  
JOHN E. LEMMERMAN, PROF. L.S. # 21096 EXP. 8-3-25



**LOCATION DRAWING**  
11813 CHAPEL WOODS COURT

142 EAST MAIN STREET  
WESTMINSTER, MD 21157  
410-848-2040 410-876-1222  
WWW.RTFSURVEYING.COM

SCALE 1"=50'
DATE 06-04-2024
JOB 24-54
DRAWN BY AR
CHECKED BY JEL



- Paul will provide report w/ photos with next submittal. I've reviewed + confirmed this is not a stream
- Paul will remove 3rd well site + include waiver request for only 2 well sites. We will approve.