

Location: Beam A
Multi-Loaded Multi-Span Beam
[2015 International Building Code(2015 NDS)]
(3) 1.75 IN x 11.875 IN x 13.6 FT
1.75in 2.0E G-P Lam - Georgia Pacific
Section Adequate By: 13.1%
Controlling Factor: Moment

CAUTIONS

* Laminations are to be fully connected to provide uniform transfer of loads to all members

DEFLECTIONS

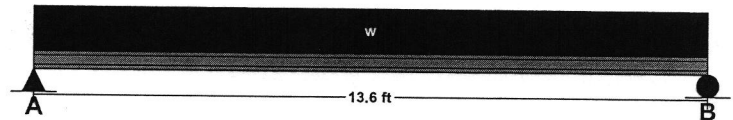
Center
Live Load 0.37 IN L/441
Dead Load 0.23 in
Total Load 0.60 IN L/272

LOADING DIAGRAM

Live Load Deflection Criteria: L/360 Total Load Deflection Criteria: L/240

REACTIONS

	<u>A</u>	<u>B</u>
Live Load	4794 lb	4794 lb
Dead Load	2966 lb	2966 lb
Total Load	7760 lb	7760 lb
Bearing Length	1.75 in	1.75 in



BEAM DATA

Center
Span Length 13.6 ft
Unbraced Length-Top 0 ft
Unbraced Length-Bottom 13.6 ft
Live Load Duration Factor 1.00
Notch Depth 0.00

UNIFORM LOADS

	<u>Center</u>
Uniform Live Load	705 plf
Uniform Dead Load	418 plf
Beam Self Weight	18 plf
Total Uniform Load	1141 plf

MATERIAL PROPERTIES

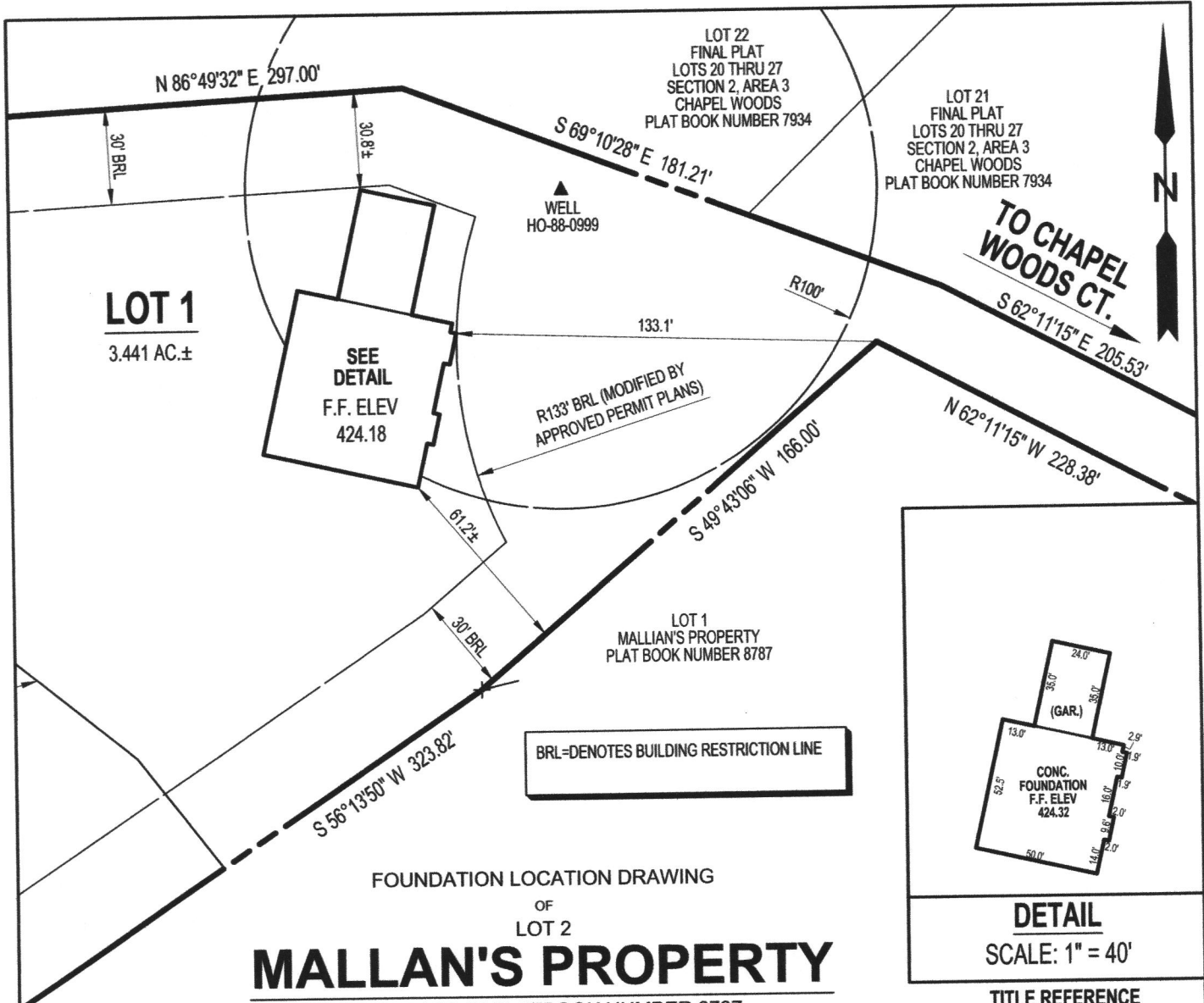
1.75in 2.0E G-P Lam - Georgia Pacific

	<u>Base Values</u>	<u>Adjusted</u>
Bending Stress:	Fb = 2900 psi Cd=1.00 CF=1.00	Fb' = 2903 psi
Shear Stress:	Fv = 285 psi Cd=1.00	Fv' = 285 psi
Modulus of Elasticity:	E = 2000 ksi	E' = 2000 ksi
Comp. \perp to Grain:	Fc - \perp = 845 psi	Fc - \perp ' = 845 psi

Controlling Moment: 26384 ft-lb
6.8 Ft from left support of span 2 (Center Span)
Created by combining all dead loads and live loads on span(s) 2

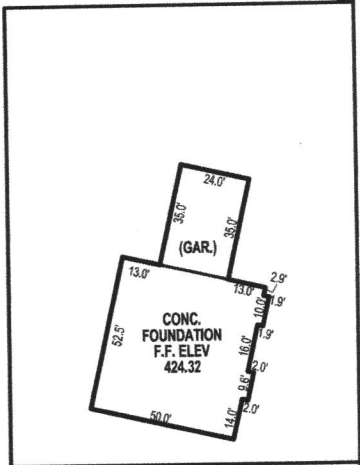
Controlling Shear: -7760 lb
14.0 Ft from left support of span 2 (Center Span)
Created by combining all dead loads and live loads on span(s) 2

Comparisons with required sections:	<u>Req'd</u>	<u>Provided</u>
Section Modulus:	109.05 in3	123.39 in3
Area (Shear):	40.84 in2	62.34 in2
Moment of Inertia (deflection):	645.78 in4	732.62 in4
Moment:	26384 ft-lb	29854 ft-lb
Shear:	-7760 lb	11845 lb



FOUNDATION LOCATION DRAWING
OF
LOT 2
MALLAN'S PROPERTY

RECORDED IN PLATBOOK NUMBER 8787
11813 CHAPEL WOODS COURT
5TH ELECTION DISTRICT HOWARD CO. MD.
TAX MAP: 29, GRID: 13, PARCEL: 36



DETAIL
SCALE: 1" = 40'

TITLE REFERENCE
ALHAD M. CHANDE
KAREN L. CHANDE
M.D.R. 3743 ~ 571
MAY 31, 1996

1-24-2025 FIRST FLOOR ELEVATION

John E. Lemmerman
JOHN E. LEMMERMAN, PROF. L.S. # 21096 EXP. 8-3-25

THIS DRAWING IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING, OR REFINANCING; IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT THIS IDENTIFICATION MAY NOT BE REQUIRED, FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.

THE LEVEL OF ACCURACY OF DISTANCES TO APPARENT PROPERTY LINES SHOWN HEREON ARE 0.5±.

A LICENSEE EITHER PERSONALLY PREPARED A LOCATION DRAWING OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN REGULATION .12 OF CHAPTER 08, MINIMUM STANDARDS OF PRACTICE OF THE ANNOTATED CODE OF MARYLAND.



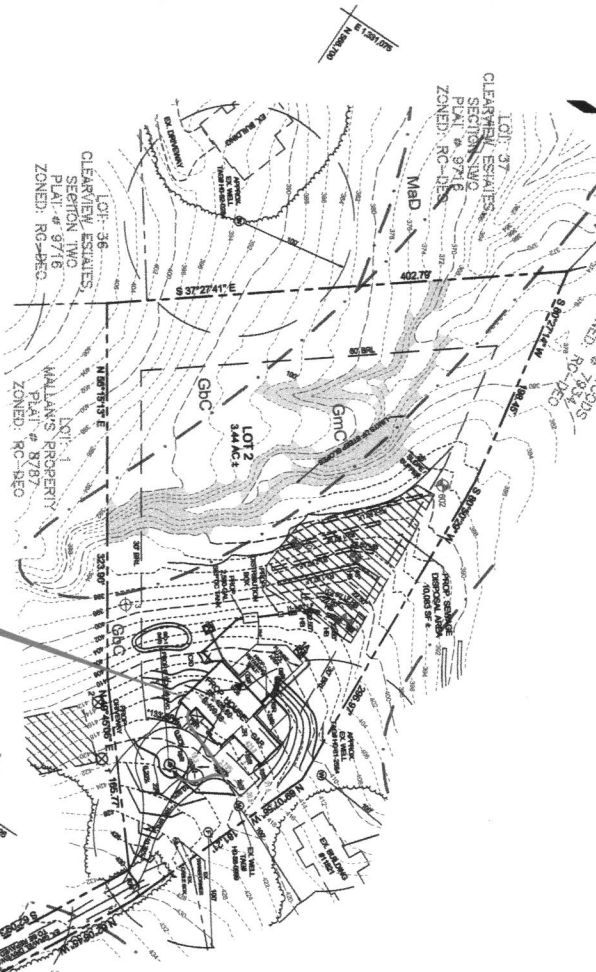
LOCATION DRAWING
11813 CHAPEL WOODS COURT

142 EAST MAIN STREET
WESTMINSTER, MD 21157
410-848-2040 410-876-1222
WWW.RTFSURVEYING.COM

SCALE	1"=50'
DATE	06-04-2024
JOB	24-54
DRAWN BY	AR
CHECKED BY	JEL

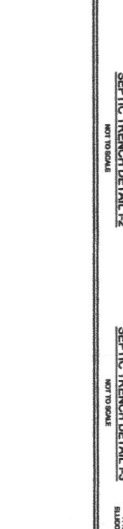
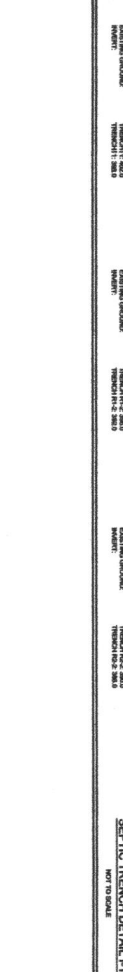
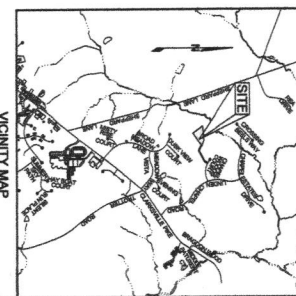
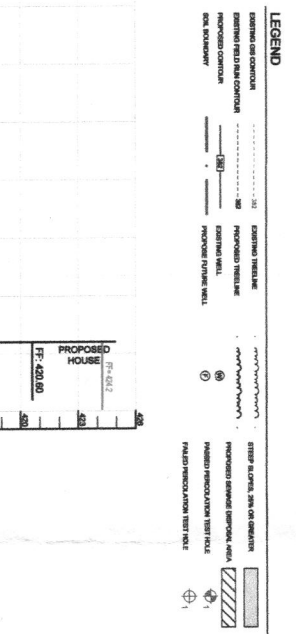
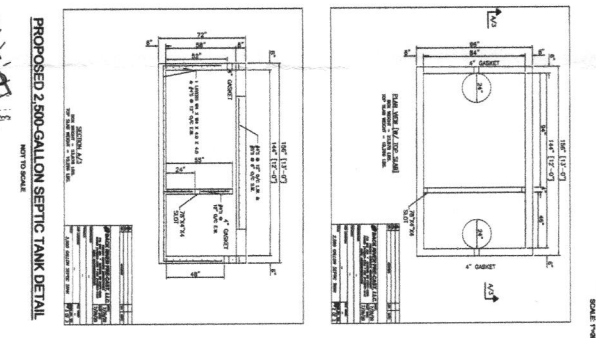
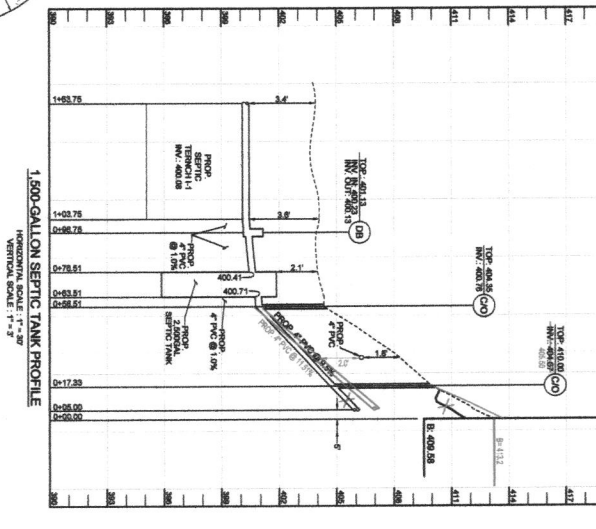
SOILS LEGEND		GROUP	% FACIENS
1	CLAYEY SAND	A	15
2	SANDY CLAY	B	15
3	CLAYEY SAND	C	15
4	SANDY CLAY	D	15
5	CLAYEY SAND	E	15
6	SANDY CLAY	F	15
7	CLAYEY SAND	G	15
8	SANDY CLAY	H	15
9	CLAYEY SAND	I	15
10	SANDY CLAY	J	15
11	CLAYEY SAND	K	15
12	SANDY CLAY	L	15
13	CLAYEY SAND	M	15
14	SANDY CLAY	N	15
15	CLAYEY SAND	O	15
16	SANDY CLAY	P	15
17	CLAYEY SAND	Q	15
18	SANDY CLAY	R	15
19	CLAYEY SAND	S	15
20	SANDY CLAY	T	15
21	CLAYEY SAND	U	15
22	SANDY CLAY	V	15
23	CLAYEY SAND	W	15
24	SANDY CLAY	X	15
25	CLAYEY SAND	Y	15
26	SANDY CLAY	Z	15

- ### GENERAL NOTES
1. SUBJECT PROPERTY COORDINATES ARE IN ACCORDANCE WITH THE OCTOBER 1, 2011 COMPREHENSIVE PLAN.
 2. TOTAL AREA OF PROPERTY IS 3.44 ACRES.
 3. PLAT REFERENCE: 17-1-1000.
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SEPTIC SYSTEM TRENCH DESIGN SPECIFICATIONS

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ON-SITE SEWAGE DISPOSAL SYSTEM PLAN

CHANDLE PROPERTY

1813 CHAPEL WOODS COURT
LOT 2 MALLAN'S PROPERTY

REVISIONS - RED LINED PLAN

BUILDING PERMIT 1628000386

DATE: 08/11/2016

PROJECT: 1610000000

WESTMINSTER, MARYLAND 21157

410-846-2040 410-876-1222

REVISED FLOOR ELEVATIONS: 0'-0" TO 9'-0"

SEAL

STATE OF MARYLAND

PROFESSIONAL ENGINEER

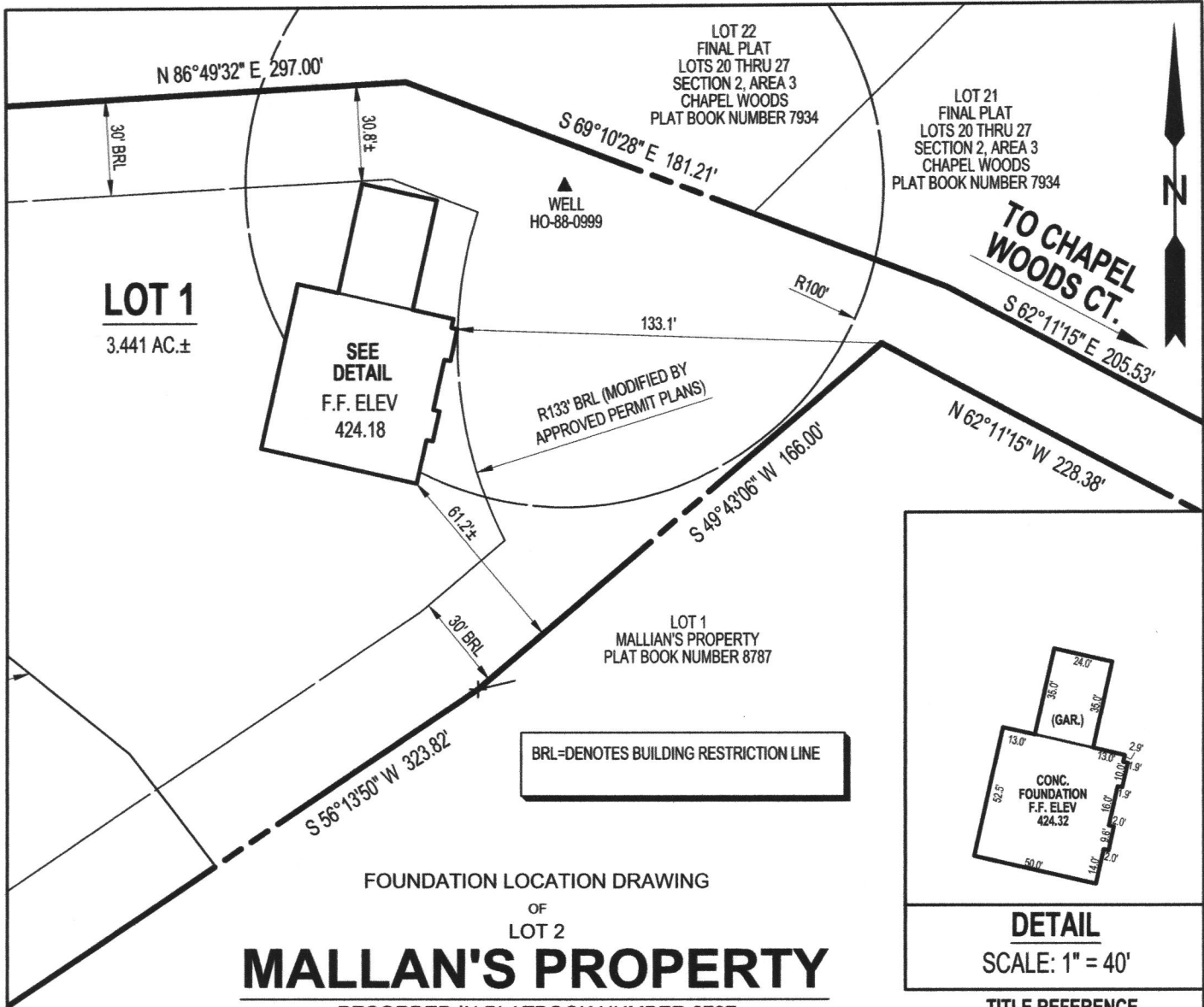
1813 CHAPEL WOODS COURT
LOT 2 MALLAN'S PROPERTY

CHANDLE PROPERTY

1813 CHAPEL WOODS COURT
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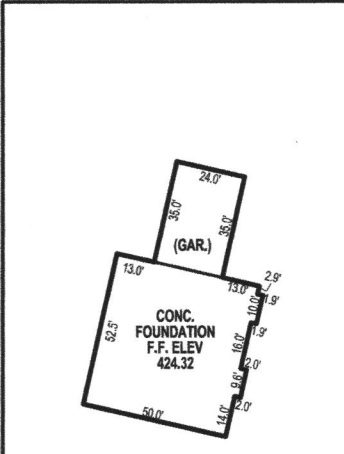
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FOUNDATION LOCATION DRAWING
OF
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LOCATION DRAWING
11813 CHAPEL WOODS COURT

142 EAST MAIN STREET
WESTMINSTER, MD 21157
410-848-2040 410-876-1222
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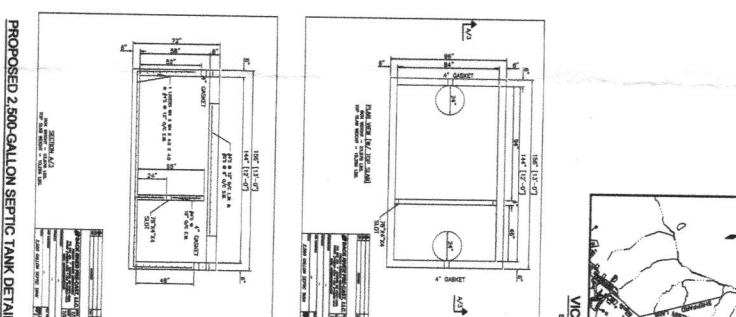
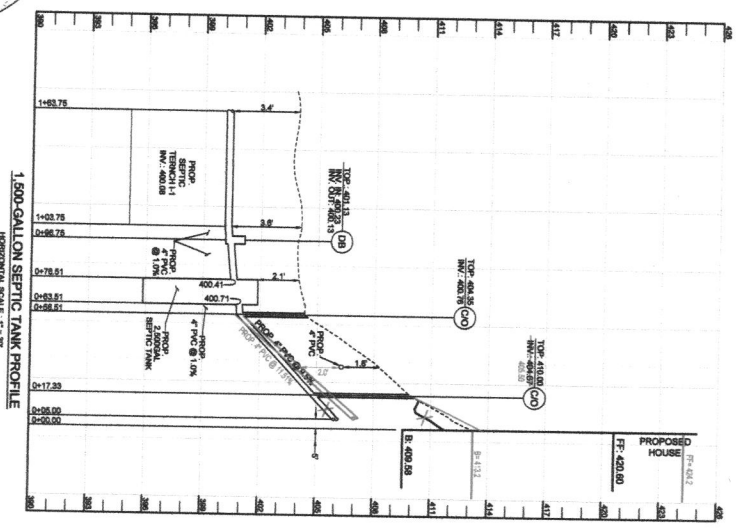
SCALE 1"=50'
DATE 06-04-2024
JOB 24-54
DRAWN BY AR
CHECKED BY JEL

SOILS LEGEND		GROUP	PERMEABILITY
1	CLAY	A	VERY LOW
2	SILT CLAY	B	LOW
3	SILT	C	MEDIUM
4	SANDY SILT	D	HIGH
5	SAND	E	VERY HIGH

1. THIS INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATIONAL SOIL SURVEY DATA. THE USER SHALL ALWAYS CONSULT THE NATIONAL SOIL SURVEY DATA FOR A MORE DETAILED DESCRIPTION OF SOILS AND THEIR CHARACTERISTICS. THE USER SHALL ALSO CONSULT THE NATIONAL SOIL SURVEY DATA FOR A MORE DETAILED DESCRIPTION OF SOILS AND THEIR CHARACTERISTICS.

GENERAL NOTES

1. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
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- SEPTIC SYSTEM TRENCH DESIGN SPECIFICATIONS**
1. THE TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
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- SEPTIC TRENCH DETAIL L1**
-
- SEPTIC TRENCH DETAIL L2**
-
- SEPTIC TRENCH DETAIL L3**
-

OWNER/DEVELOPER
 CHANDE PROPERTY
 1818 CHAPEL WOODS COURT
 LOT 2 MALLAN'S PROPERTY
 HOWARD COUNTY, MARYLAND

REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/20	ISSUED FOR PERMIT
2	02/10/20	REVISED PERMIT
3	03/05/20	REVISED PERMIT
4	04/01/20	REVISED PERMIT
5	05/01/20	REVISED PERMIT
6	06/01/20	REVISED PERMIT
7	07/01/20	REVISED PERMIT
8	08/01/20	REVISED PERMIT
9	09/01/20	REVISED PERMIT
10	10/01/20	REVISED PERMIT
11	11/01/20	REVISED PERMIT
12	12/01/20	REVISED PERMIT

ONSITE SEWAGE DISPOSAL SYSTEM PLAN

CHANDE PROPERTY
 1818 CHAPEL WOODS COURT
 LOT 2 MALLAN'S PROPERTY
 HOWARD COUNTY, MARYLAND

SILL ENGINEERING GROUP, LLC
 142 EAST MAIN STREET
 WESTMINSTER, MARYLAND 21157
 410-589-9244, 410-589-1222

REVISIONS - RED LINED PLAN
 BUILDING PERMIT B24000386
 REDLINE REVISIONS BY:
 RT ASSOCIATES, INC.
 142 EAST MAIN STREET
 WESTMINSTER, MARYLAND 21157
 410-589-9244, 410-589-1222

APPROVED FOR PERMIT
 [Signature]

APPROVED FOR PERMIT
 [Signature]



Name: Alhad M. & Karen L. Chande
Street Address: 11808 Bare Sky Ln,
City, State, Zip: Columbia, MD 21044
Date: 2/17/2025

Amendment, Permit # B24000366

Ms. Debbie Whalen
Division of Plan Review
Department of Inspections, Licenses and Permits
Howard County Government
3430 Court House Dr
Ellicott City, MD 21043

Dear Ms. Whalen:

I am requesting to amend Permit # B24000366 at
11813 Chapel Woods Ct, Clarksville, MD 21029 to
the new elevation as shown per attached plan and wall check plats.

Enclosed:

- Fee: _____
- Plot Plans
- Sets of Construction Drawings
- Other: _____

If there is anything we can do to assist you, please let me know.

Sincerely,

Name: John Lemmerman
Title: Principal, RTF Associates
Phone: 410-848-2040, 410-876-1222
Email: john.rtf@gmail.com



Home **Building** Fire Licenses Enforcement

Search Applications Create an Application Schedule an Inspection

Building B24000366:
Residential New Single Family Dwelling Permit
Record Status: Issued

Add to cart
Add to collection

Record Info Payments Custom Component

Processing Status

- ✔ ▶ Application Acceptance
 - State Highway
 - DAP
- ✔ ▶ Sediment Control
- ✔ ▶ Building Review
- ✔ ▶ Zoning
- ✔ ▶ Dev Engineering
- ✔ ▶ Health Dept
- ✔ ▶ Building Permit Issuance
 - Assigned to TBD
 - Marked as Issued on 04/23/2024 by Samatha Schmidt

 - Assigned to TBD
 - Marked as Revision Issued on 03/27/2025 by Samatha Schmidt
- ⌚ ▶ Final Building
- ⌚ ▶ Final Grading
- ⌚ ▶ C of C

Refresh

Upload Files

22 of 22 files (0 selected)

Drawings (22 - 0 New)

Reports

Approved Drawings (1 - 0 New)

Misc Communication (9 - 0 New)

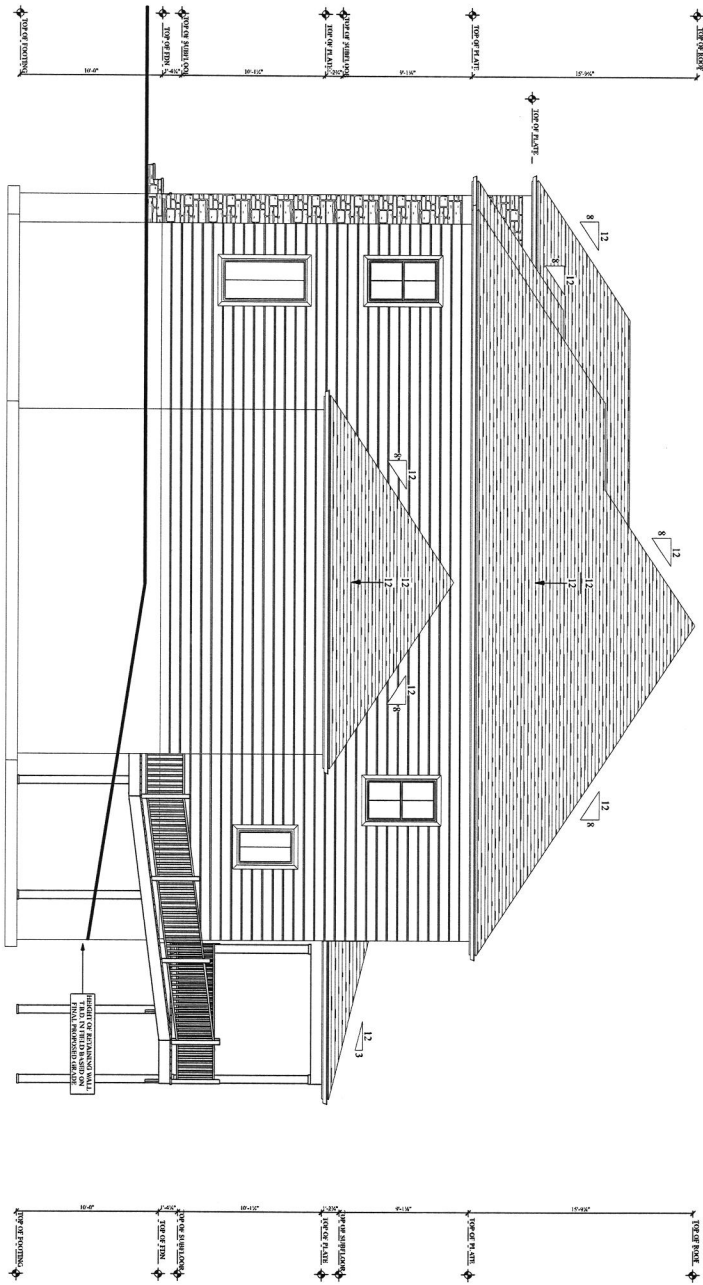
FILE NAME	STATUS	REVIEWED	UPLOADED	DATE
20-067_SWM Report.pdf			ALHAD CHANDE	3/6/24 5:31 PM
24-54 Building Permit B24000366.pdf			ALHAD CHANDE	3/25/25 12:21 AM
24-54_Foundation Location Drawing.pdf			ALHAD CHANDE	3/25/25 12:21 AM
24-54_RED LINE.pdf			ALHAD CHANDE	3/25/25 12:21 AM
AA-23-001 D&C.pdf			ALHAD CHANDE	3/14/24 9:11 AM
Architecture_Final Plan Set 7.12.23.pdf			ALHAD CHANDE	3/6/24 5:31 PM
Chande Property OGD5 (2).pdf			ALHAD CHANDE	3/14/24 9:11 AM

Project Info

Project name:	B24000366
Description:	SFD/MODEL "CUSTOM", 2 STORY, Full Basement, Basement = Unfinished w/Rough-In, 11R, 5FB, 0HB, 2FP, 3 Car Attached, 5BR, Open Porch and Deck, ENERGY METHOD = UA/Alternative, null, Floor 1 - 2528 SQFT / Floor 2 - 2006 SQFT / Total - 4534 SQFT
Location:	Department of Inspections Licenses & Permits, Howard County
Contact:	Don Mock
Contact's Email:	dmock@howardcountymd.gov
Phone:	410-313-2455
Cell Phone:	
Pager:	
Project Owner:	Moriah Jayjock
Owner's Email:	mjayjock@howardcountymd.gov
Status:	Active
Status info:	
Project Start/End:	Start: 2/6/2024 End:

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SEBENI DESIGN
 CAPRONI ARCHITECTURE
 ARCHITECTS



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

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Chande Residence
 11813 Chapel Woods Ct
 Clarksville, MD 21029



Project Point of Contact
 Name: Al Chande
 Phone: (410) 530 2130
 Email: achande@comcast.net

Builder to certify project meets the following design criteria:
 Floor Loads: 40 PSF Live/15 PSF Dead
 Roof Loads: 30 PSF Live/15 PSF Dead
 Snow Loads: 30 PSF Wind Load
 110 MPH Soil Barring: 1500 PSF
 Project to meet 2018 IRC Residential Code

SCALE: 1/4" = 1'-0"
 DRAWN BY: MSR
 DATE: 7/12/2023

SECTION LETTER
 PAGE NUMBER

APPROVED:
 CHECKED BY:

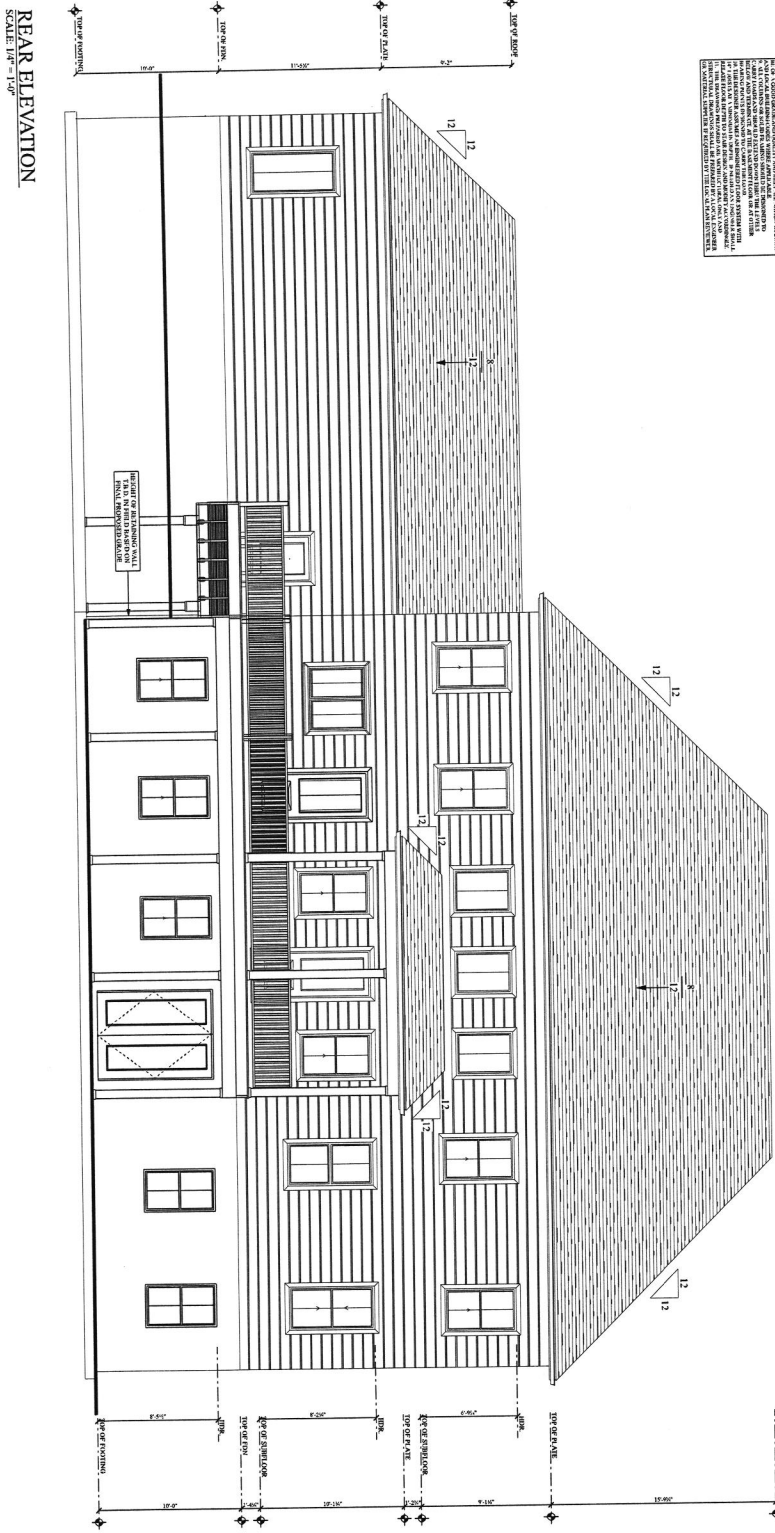
PAGE: 2 / 15
 A1.2 Right Elevation

PAPER SIZE - 24" X 36"

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SCALE: 1/4" = 1'-0"
 SECTION LETTER: A
 PAGE NUMBER: 3/15

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC). THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS ASSUMED THAT THE EXISTING CONDITIONS ARE AS SHOWN ON THESE PLANS. THE DESIGNER HAS NOT CONDUCTED A STRUCTURAL ANALYSIS OR VERIFICATION OF THE EXISTING FOUNDATION OR STRUCTURE. THE DESIGNER HAS ASSUMED THAT THE EXISTING FOUNDATION AND STRUCTURE ARE CAPABLE OF SUPPORTING THE PROPOSED LOADS AND CONDITIONS. THE DESIGNER HAS ASSUMED THAT THE EXISTING CONDITIONS ARE AS SHOWN ON THESE PLANS. THE DESIGNER HAS NOT CONDUCTED A STRUCTURAL ANALYSIS OR VERIFICATION OF THE EXISTING FOUNDATION OR STRUCTURE. THE DESIGNER HAS ASSUMED THAT THE EXISTING FOUNDATION AND STRUCTURE ARE CAPABLE OF SUPPORTING THE PROPOSED LOADS AND CONDITIONS. THE DESIGNER HAS ASSUMED THAT THE EXISTING CONDITIONS ARE AS SHOWN ON THESE PLANS. THE DESIGNER HAS NOT CONDUCTED A STRUCTURAL ANALYSIS OR VERIFICATION OF THE EXISTING FOUNDATION OR STRUCTURE. THE DESIGNER HAS ASSUMED THAT THE EXISTING FOUNDATION AND STRUCTURE ARE CAPABLE OF SUPPORTING THE PROPOSED LOADS AND CONDITIONS.



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Chande Residence
 11813 Chapel Woods Ct
 Clarksville, MD 21029



Project Point of Contact
 Name: Al Chande
 Phone: (410) 530 2130
 Email: achande@comcast.net

Builder to certify project meets the following design criteria:
 Floor Loads: 40 PSF Live/15 PSF Dead
 Roof Loads: 30 PSF Live/15 PSF Dead
 Snow Load: 30 PSF Wind Load
 110 MPH Soil Bearing: 1500 PSF
 Project to meet 2018 IRC Residential Code

SCALE: 1/4" = 1'-0"
 DRAWN BY: MSR
 DATE: 7/12/2023

SECTION LETTER: A
 PAGE NUMBER: 3/15

APPROVED: _____
 CHECKED BY: _____

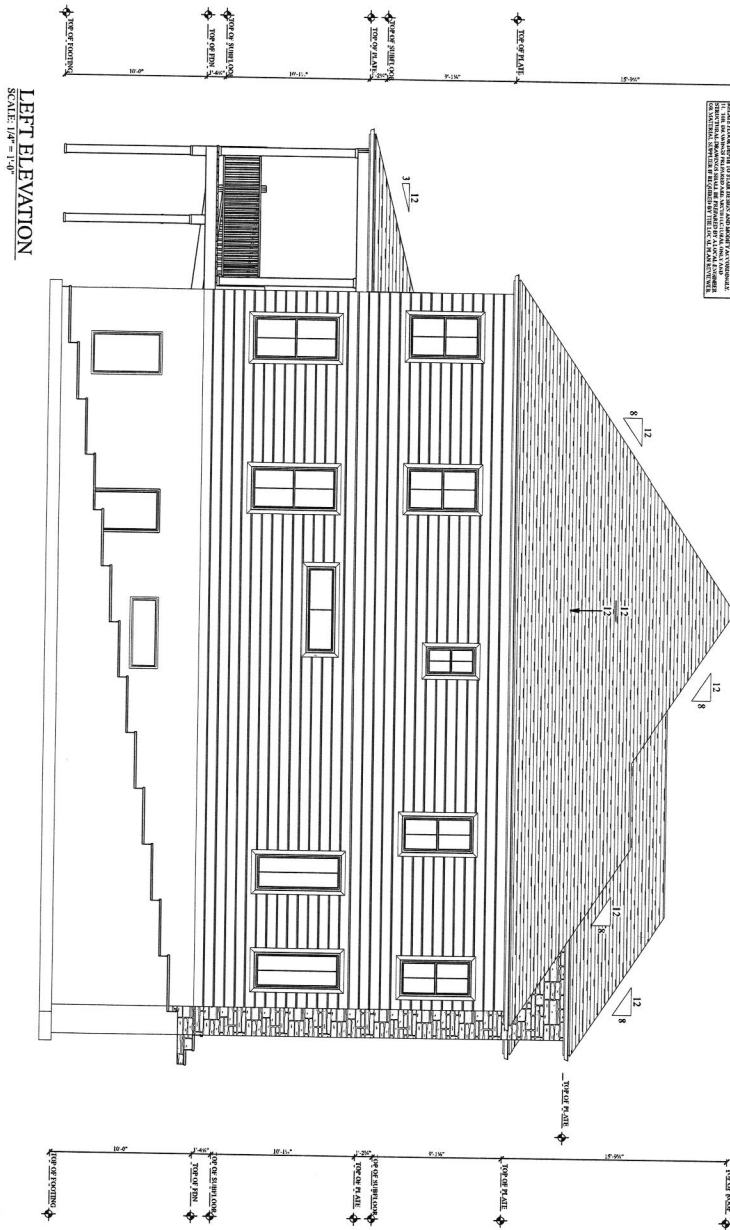
PAGE: 3/15
 A1.3 Rear Elevation

PAPER SIZE: 24" X 36"

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SEALING DETENTION
 CAMERON WINDHOLZER DETENTION
 ARCHITECT

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1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 6. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.
 7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 8. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.
 9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 10. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.
 11. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 12. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.
 13. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 14. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.
 15. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 16. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.
 17. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 18. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.
 19. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 20. FINISH GRADE SHALL BE DETERMINED BY THE CONTRACTOR.

Chande Residence
 11813 Chapel Woods Ct
 Clarksville, MD 21029

SOFTPLAN
 ARCHITECTURAL DESIGN SOFTWARE

Project Point of Contact
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 Phone: (410) 530 2130
 Email: achande@comcast.net

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 Snow Load: 30 PSF Wind Load
 110 MPH Soil Bearing: 1500 PSF
 Project to meet 2018 IRC Residential Code

SCALE: 1/4" = 1'-0"
 DRAWN BY: MSR
 DATE: 7/12/2023

SECTION LETTER
 PAGE NUMBER

APPROVED:
 CHECKED BY:

PAGE: 4 / 15
 A1.4 Left Elevation

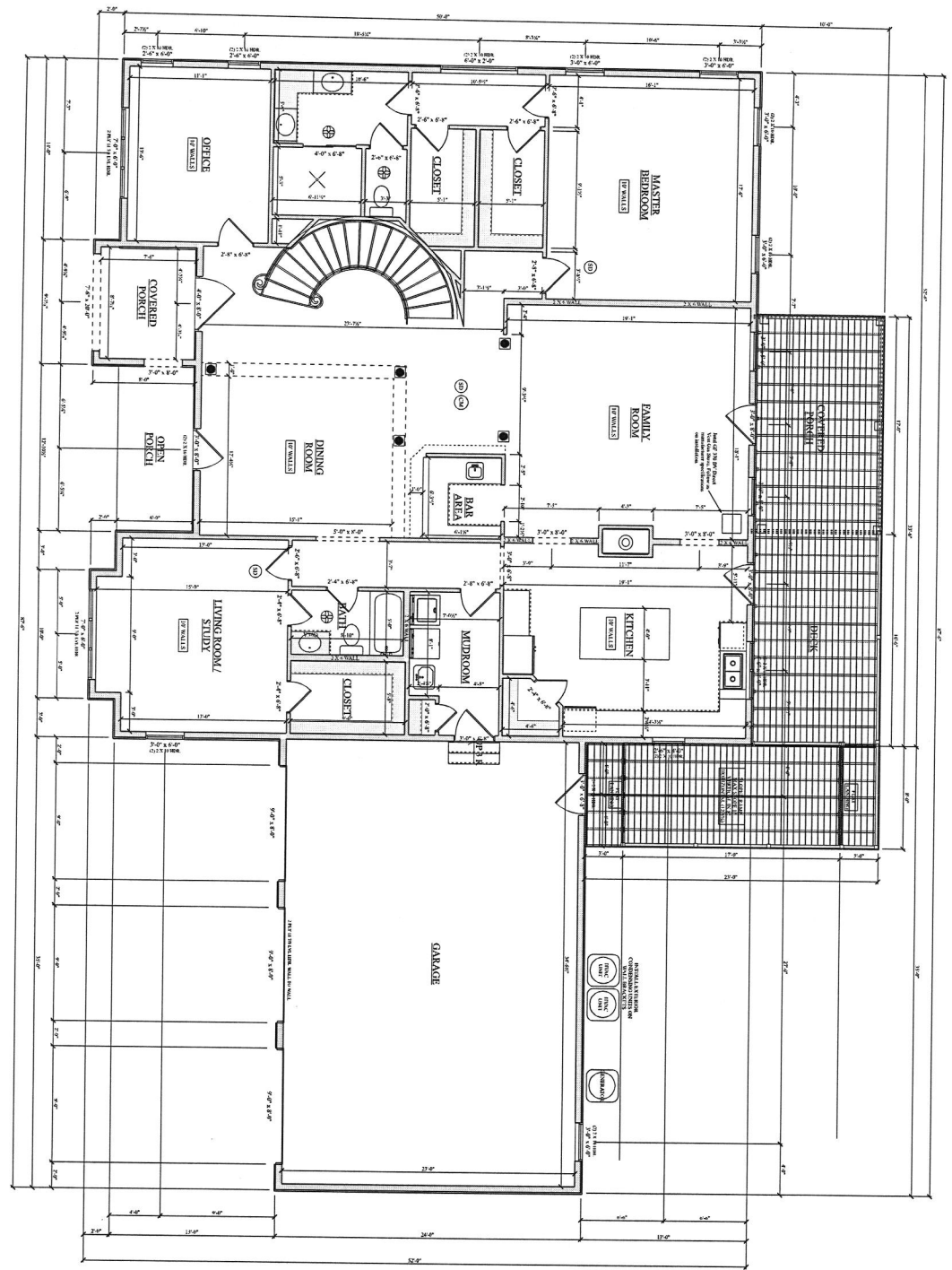
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30 MARKER ELEVATION
 31 CHANDRE MONUMENT ELEVATION
 32 BALUSTIAN

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1ST FLOOR
 SCALE: 1/4" = 1'-0"



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 Clarksville, MD 21029



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 110 MPH Soil Bearing: 1500 PSF
 Project to meet 2018 IRC Residential Code

SCALE: 1/4" = 1'-0"
 DRAWN BY: MSR
 DATE: 7/12/2023



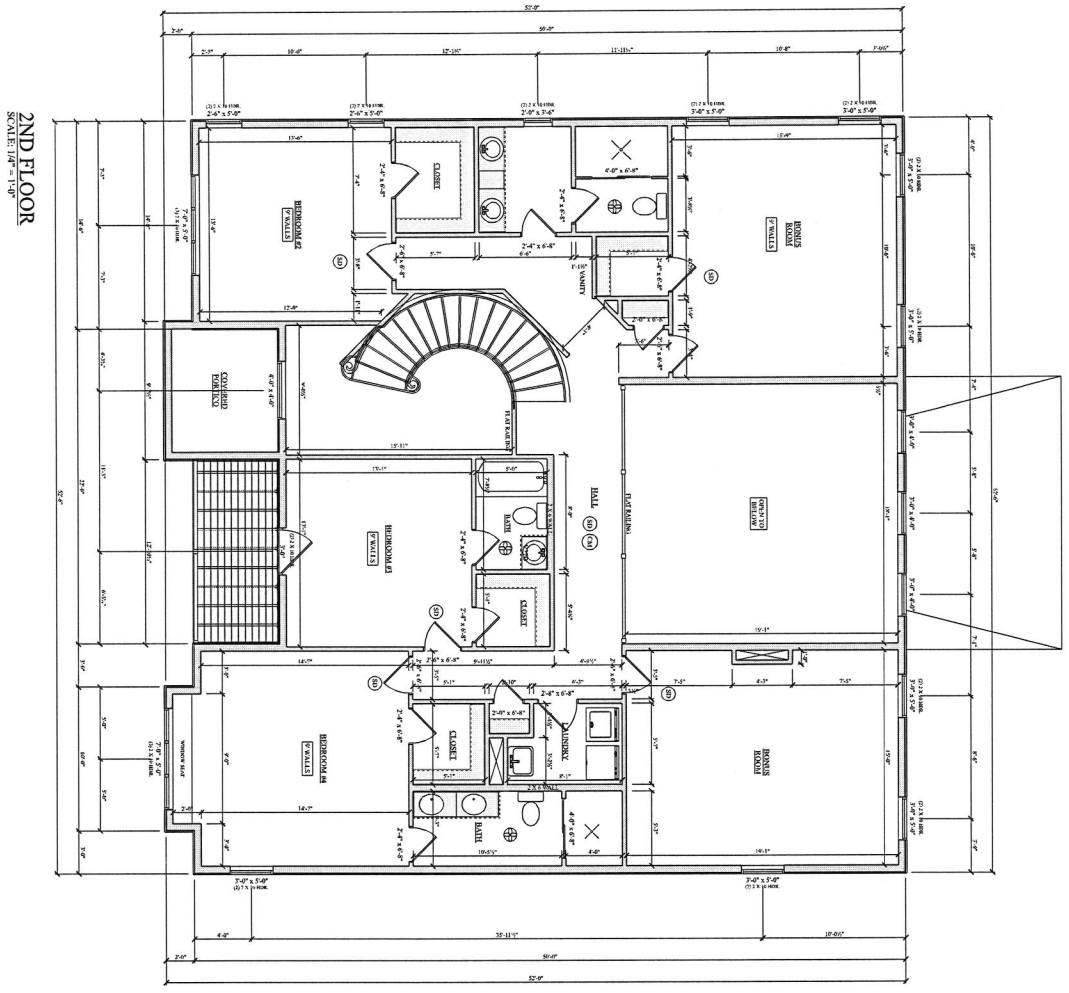
APPROVED:
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PAGE: 7 / 15
 A3.3 1st Floor Plan

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(1) SHAWN ELLIOTT
 ARCHITECT
 (2) CHANDER MONROE ARCHITECTURE
 ARCHITECT

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2ND FLOOR
SCALE: 1/4" = 1'-0"

PAPER SIZE: 24" x 36"

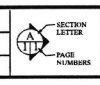
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 Clarksville, MD 21029



Project Point of Contact
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 Email: achande@comcast.net

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 Roof Loads: 30 PSF Live/15 PSF Dead
 Snow Load: 30 PSF Wind Load
 110 MPH Soil Bearing: 1500 PSF
 Project to meet 2018 IRC Residential Code

SCALE: 1/4" = 1'-0"
 DRAWN BY: MSR
 DATE: 7/12/2023



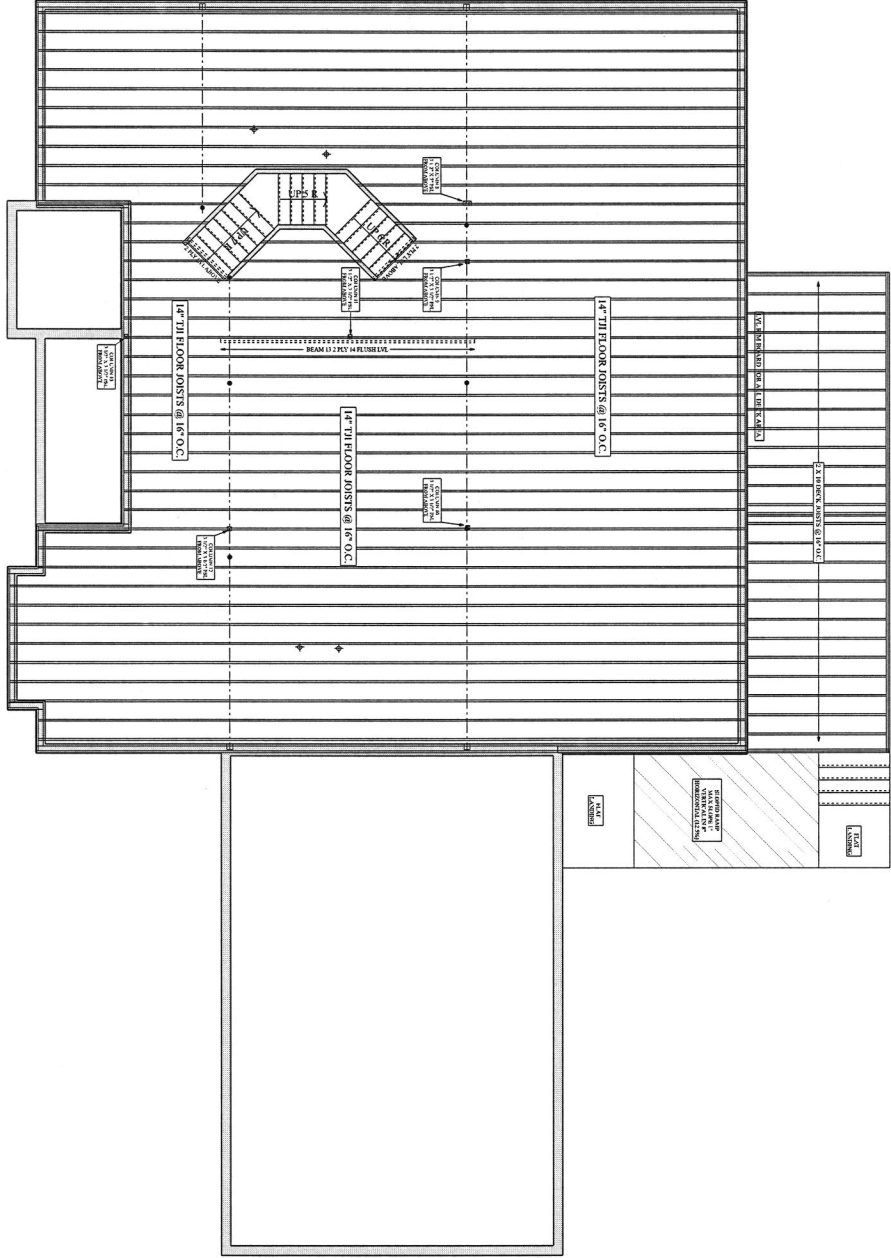
APPROVED:
 CHECKED BY:

PAGE: 8 / 15
 A2.4 2nd Floor Plan

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SEAL AND EXPIRATION DATE
 ARCHITECT
 ARCHITECT

1ST FLOOR LAYOUT
 SCALE: 1/4" = 1'-0"



Builder to verify all measurements for both the proposed project & existing conditions if applicable. All final measurements are +/- inches based on existing conditions. The Builder is responsible to provide any engineering/architectural certifications if needed. Designer is not a registered Architect or Engineer.

PAPER SIZE: 24" X 36"

Chande Residence
 11813 Chapel Woods Ct
 Clarksville, MD 21029



Project Point of Contact
 Name: Al Chande
 Phone: (410) 530 2130
 Email: achande@comcast.net

Builder to certify project meets the following design criteria:
 Floor Loads: 40 PSF Live/15 PSF Dead
 Roof Loads: 30 PSF Live/15 PSF Dead
 Snow Load: 30 PSF Wind Load
 110 MPH Soil Bearing: 1500 PSF
 Project to meet 2015 IRC Residential Code

SCALE: 1/4" = 1'-0"
 DRAWN BY: MSR
 DATE: 7/12/2023



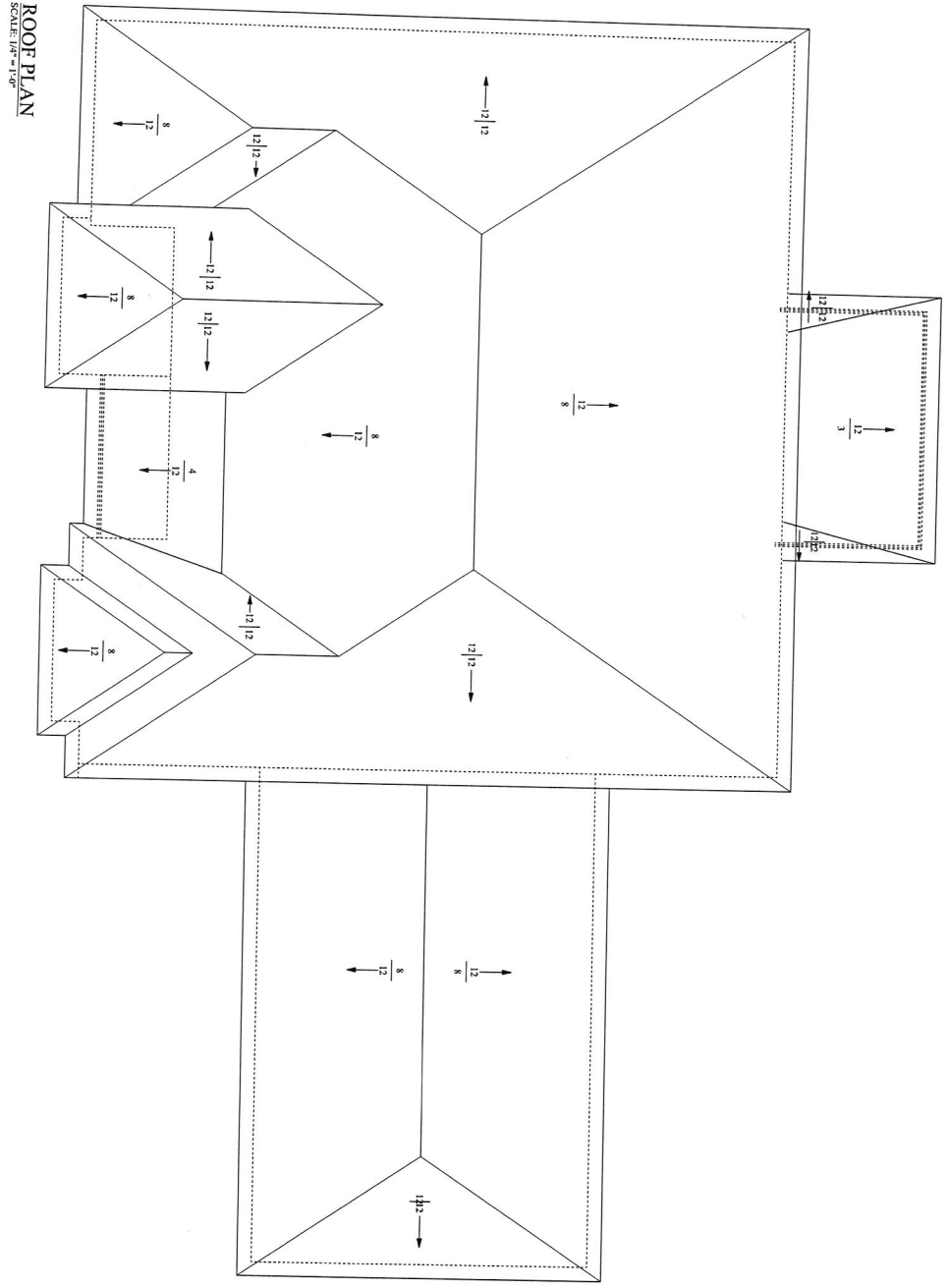
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PAGE: 9/15
 ALL 1st Floor Layout

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- 10.00 FINISH ELEVATION
- 11.00 EXTERIOR ELEVATION
- 12.00 SECTION
- 13.00 FOUNDATION

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ROOF PLAN
SCALE: 1/4" = 1'-0"

PAPER SIZE: 24" X 36"

Chande Residence
11813 Chapel Woods Ct
Clarksville, MD 21029



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Email: achande@comcast.net

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Snow Load: 30 PSF Wind Load
110 MPH Soil Bearing: 1500 PSF
Project to meet 2018 IRC Residential Code

SCALE: 1/4" = 1'-0"
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DATE: 7/12/2023

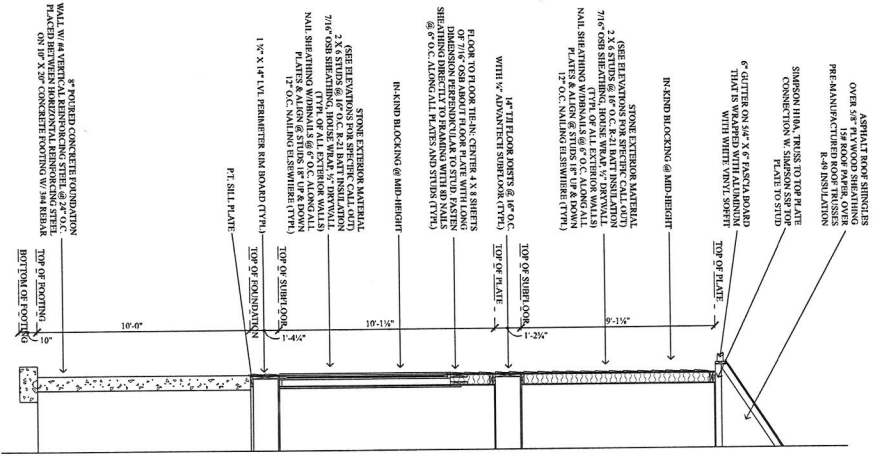


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PAGE: 11 / 15
A3.3 Roof Plan

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SHANE BERTNER
 CAMDEN MASONRY DIRECTOR
 MASHAN



WALL SECTION
 SCALE: 3/8" = 1'-0"

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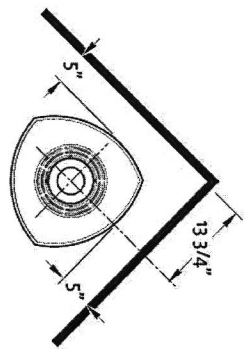


Figure 5.2. Corner Clearances.

Vertical Venting and Termination

- The Jetel GC 370 DV can be vertically vented through a roof or ceiling. Follow these guidelines
- Steep roofs, nearby trees, or predominantly windy conditions, can promote poor draft or down draft conditions. In such cases, an increase to the height of the vent may improve performance.
- If an offset or elbow is necessary in the vertical run, the vent pipe must be supported every three feet to avoid excessive stress on the offsets. Use listed Wall Straps from any of the approved vent suppliers.
- A maximum of two 90° or four 45° elbows may be used in a vertical termination. Whenever possible, use 45° elbows instead of 90° elbows as they offer less restriction to the flow of flue gases and intake air.
- A listed firestop is required at any floor penetration. The opening should be framed in according to the manufacturer's instructions.
- Always maintain a minimum 1" clearance from all sides of the vertical vent system to any combustible material.
- Minimum vertical termination height: 6 ft. of vent pipe.

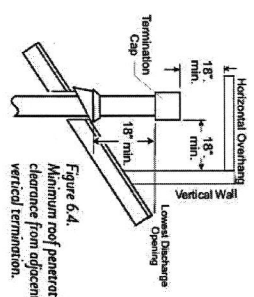
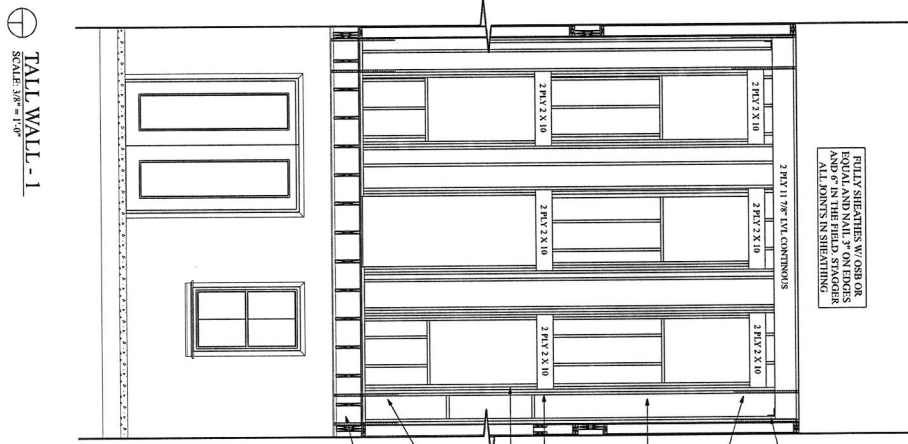


Figure 6.4. Minimum roof penetration height and clearance from adjacent surfaces - vertical termination.

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SHADE INTERIORS
 CABINET MONITOR ELEVATION
 07/10/23



FIELD STUDIES W/ OR FOR EQUAL AND NAIL 3" ON EDGES AND 6" IN THE FIELD. STAGGER ALL JOINTS IN SHEATHING.

2 R1V 2 X 10
 2 R1V 2 X 10
 2 R1V 2 X 10
 2 R1V 2 X 10
 2 R1V 2 X 10

2 R1V 11 7/8" LVL CONTINUOUS

1500# CAPACITY ANCHORS IN CORNER ANGLE BRACKET FOR PORTAL FRAME. INSTALL PER MANUF. SPECS. 2 TYP.

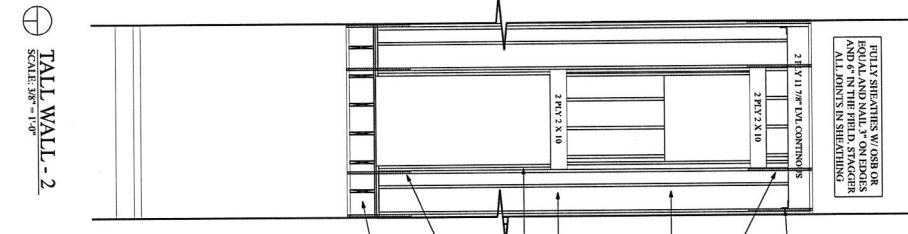
1000# ANCHORS STRAP FROM TOP PLATE TO STUDS BELOW PER MANUF. SPECS. 4 TYP.

BALLOON FRAME WALL FRAME WITH VESKA - STUD 1 1/2" X 1 1/2" 2800/2800 - 1 TYP @ 48" O.C. W/ BRACING @ 48" O.C. TYP.

1000# ANCHORS STRAP FROM TOP PLATE TO STUDS BELOW PER MANUF. SPECS. 4 TYP.

1000# ANCHORS STRAP FROM STUDS ABOVE / ACROSS RIMBOARD TO FOUNDATION BELOW PER MANUF. SPECS. 4 TYP.

RIMBOARD TYP.



FIELD STUDIES W/ OR FOR EQUAL AND NAIL 3" ON EDGES AND 6" IN THE FIELD. STAGGER ALL JOINTS IN SHEATHING.

2 R1V 2 X 10
 2 R1V 2 X 10

2 R1V 11 7/8" LVL CONTINUOUS

1500# CAPACITY ANCHORS IN CORNER ANGLE BRACKET FOR PORTAL FRAME. INSTALL PER MANUF. SPECS. 2 TYP.

1000# ANCHORS STRAP FROM TOP PLATE TO STUDS BELOW PER MANUF. SPECS. 4 TYP.

BALLOON FRAME WALL FRAME WITH VESKA - STUD 1 1/2" X 1 1/2" 2800/2800 - 1 TYP @ 48" O.C. W/ BRACING @ 48" O.C. TYP.

1000# ANCHORS STRAP FROM TOP PLATE TO STUDS BELOW PER MANUF. SPECS. 4 TYP.

1000# ANCHORS STRAP FROM STUDS ABOVE / ACROSS RIMBOARD TO FOUNDATION BELOW PER MANUF. SPECS. 4 TYP.

RIMBOARD TYP.

Builder to verify all measurements for both the proposed project & existing conditions if applicable. All final measurements are +/- inches based on existing conditions. The Builder is responsible to provide any engineering/architectural certifications if needed. Designer is not a registered Architect or Engineer.



Chande Residence
 11813 Chapel Woods Ct
 Clarksville, MD 21029



Project Point of Contact
 Name: Al Chande
 Phone: (410) 530 2130
 Email: achande@comcast.net

Builder to certify project meets the following design criteria:
 Floor Loads: 40 PSF Live/15 PSF Dead
 Roof Loads: 30 PSF Live/15 PSF Dead
 Snow Load: 10 PSF Wind Load
 110 MPH Soil Bearing: 1500 PSF
 Project to meet 2018 IRC Residential Code

SCALE: 3/8" = 1'-0"
 DRAWN BY: MSR
 DATE: 7/8/2023



APPROVED:
 CHECKED BY:

PAGE: 13 / 15
 44.2 Tall Wall Section

PAPER SIZE: 24" X 36"

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Case #
EH-PLANS-24-0

Type
EnvHealth/Environmental Health/Plan Check/Application

Status
In Review

Opened Date
03/08/2024

Application Name
B24000366

Description
SFD/MODEL "CUSTOM", 2 STORY, Full Basement, Basement = Unfinished w/Rough-In, 11R, 5FB, 0HB, 2FP, 3 Car Attached, 5BR, Open Porch and Deck, ENERGY METHOD = UA Alternative, null. Floor 1 - 2528 SQFT, Floor 2 - 2006 SQFT, Total - 4534 SQFT

Total Invoiced
0.00

Total Paid
0.00

Balance
0.00

Assigned to Department Current Department
Well and Septic Progr: v

Assigned to Staff Current User
Zack Silvast v

Online BP.
of 3/12/24

Address * (This section is required.)

New	Search	Delete	Set Primary	Primary	Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type
<input type="checkbox"/>	<input checked="" type="radio"/>			<input type="checkbox"/>	11813		Cahapel...	CT	Clar...	MD	21029			

chapel

Parcel (This section is not required.)

Search	Delete	Get Address & Owner	Set Primary	Primary	Parcel #	Book	Page	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Legal Description	Tract
<input type="checkbox"/>	<input checked="" type="radio"/>			<input type="checkbox"/>	0 record(s) found.									

Owner (This section is not required.)

Search	Delete	Set Primary	Primary	Name	Mail Address Line1	Mail Address Line2	Mail Address Line3	Mail City	Mail State	Mail Zip Code	Phone	Country/Region
<input type="checkbox"/>	<input checked="" type="radio"/>		<input type="checkbox"/>	Alhad Chande	11808 Bare Sky Ln.			Columbia	MD	21044	410-530-2130	US

ACHANDE@comcast.net
D

Applicant * (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form

Type *
Applicant v

Primary
Yes v

First Name *
Rick

Middle Name

Last Name *
Batton

Home Phone ((xxx)xxx-xxxx)

Organization Name *
F.C Batton & Son Inc.

Mobile Phone ((xxx)xxx-xxxx)

3/8/24, 1:12 PM

(410) 70-2483

E-mail battonandson@verizon.net

Business Phone ((XXX)XXX-XXXX)

Preferred Channel --Select--

Applicant Address

New Look Up Deactivate Remove

Custom Fields

DATE TRACKING

Received Date

3/7/2024

Dates to Complete

14

(Number)

Food Review Type

--Select--

Equipment Specification Sheet

[Empty text input field]

Received by Well and Septic

3/7/2024

Due Date

3/12/2024

Received by Food

Equipment Specification Sheets Submitted

Received by Community Hygiene

FACILITY INFORMATION

Name of Business (dba)

n/a (Text)

Associated Building Permit Number

(Text)

Owner Switch Date

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.

Yes No

Does the project include Private Septic? If Yes, forward to WS Program.

Yes No

Is this a Prototype Food Service Facility? If Yes, refer to State.

Yes No

Facility Fax

0 (Text)

Days of Operation

(Text)

Does this project have a Building Permit?

Yes No

Building Permit Issued Date

[Empty date input field]

Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.

Yes No

Does the project include Food Services? If Yes, forward to FP Program.

Yes No

Facility Phone

0 (Text)

Facility Email

0 (Text)

PROPERTY INFORMATION

Water Source

Private

Sewage Disposal

Private

Design Wastewater Flow

0

(Number)

Permit Type

--Select--

PLAT STATS

Total Number of buildable lots to be recorded

0 (Number)

Total number of open space lots to be recorded

0 (Number)

Total number of bulk parcels to be recorded

0 (Number)

Total number of lots / parcels to be recorded

0 (Number)

New buildable lots created

0

(Number)

Date PLAT signed by Health Officer

[Empty date input field]

PLAT Type

--Select--

DEVELOPMENT PLANS

Property Type

Residential

Plan Version

Initial

Signature Required

Yes No

Engineer

0

(Text)

Number of paper copies

0

(Number)

Number of mylar copies

0

(Number)

Number of buildable lots created

Number of non-buildable lots created

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0 (Number) Total Number of Lots
 0 (Number)

0 (Number) Associated Plans

WELL AND SEPTIC INTERNAL
 State Review Required Yes No
 Coordinate State Review Yes No
 Proposed Septic System Type --Select--

FOOD ESTABLISHMENT FACILITY
 Priority Assessment --Select--
 License Category --Select--
 Licensed Type --Select--

FOOD ESTABLISHMENT INFORMATION
 Hours of Operation (Text)
 If Operating Seasonally, What is the start month? (Text) Operating Seasonally Only
 Are pets allowed in a outdoor seating area? Yes No
 Full Bar? Yes No

RESTAURANT AND FOOD SERVICE
 Food Service Facility Secondary Category --Select--
 Number of Restrooms (Number)
 Bar Seating Capacity (Text)
 Does the restaurant have outdoor seating Yes No

Total Seating Capacity (Number)
 Interior Restaurant Seating Capacity (Number)
 Outdoor Seating Capacity (Text)

EQUIPMENT
 Evaluated non NSF, ANSI, CF or other standards Yes No
 Description of Refrigeration Units (Text)

Number of Walk-In Refrigerator Units (Number)
 Is there a bulk ice machine available Yes No
 Description of Walk-In Freezer Units (Text)
 Space Limitation (Text)

Number of Hand Sinks Available (Number)
 Ventless Equipment (Text)
 Hood System (Text)

PLUMBING
 Size and installation of the water heater? (Text)
 Is there a grease interceptor or grease trap? --Select--

REFUSE AND RECYCLABLES
 Dumpsters Located on a impervious surface? --Select--
 Will there be a grease receptacle? --Select--

WAREWASHING DISHWASHING
 Dishwashing Method --Select--

HACCP
 Plan Review Response Letter Received Yes No
 Date HACCP Plan Submitted
 Date HACCP Approved by the State
 HACCP Plan Approved