

JR DESIGN ARCHITECT, LLC  
 Jose R. Morales, R.A.  
 Architect

306 Nicole Lane  
 Glen Burnie, MD 21061  
 443.570.7634  
 jrmorales\_arch@yahoo.com

OWNER:  
 VERONICA MELLINOS  
 13613 Highland Road  
 Clarksville, MD 21029  
 954.673.8779

PROJECT: **MELLINOS' RESIDENCE**  
 DRAWING NAME: **NEW ADDITION / RENOVATION**  
 FLOOR & ROOF FRAMING PLANS NEW

"Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed Registered Architect under the laws of the state of Maryland." License No. 16691, Expiration Date: September 19, 2023

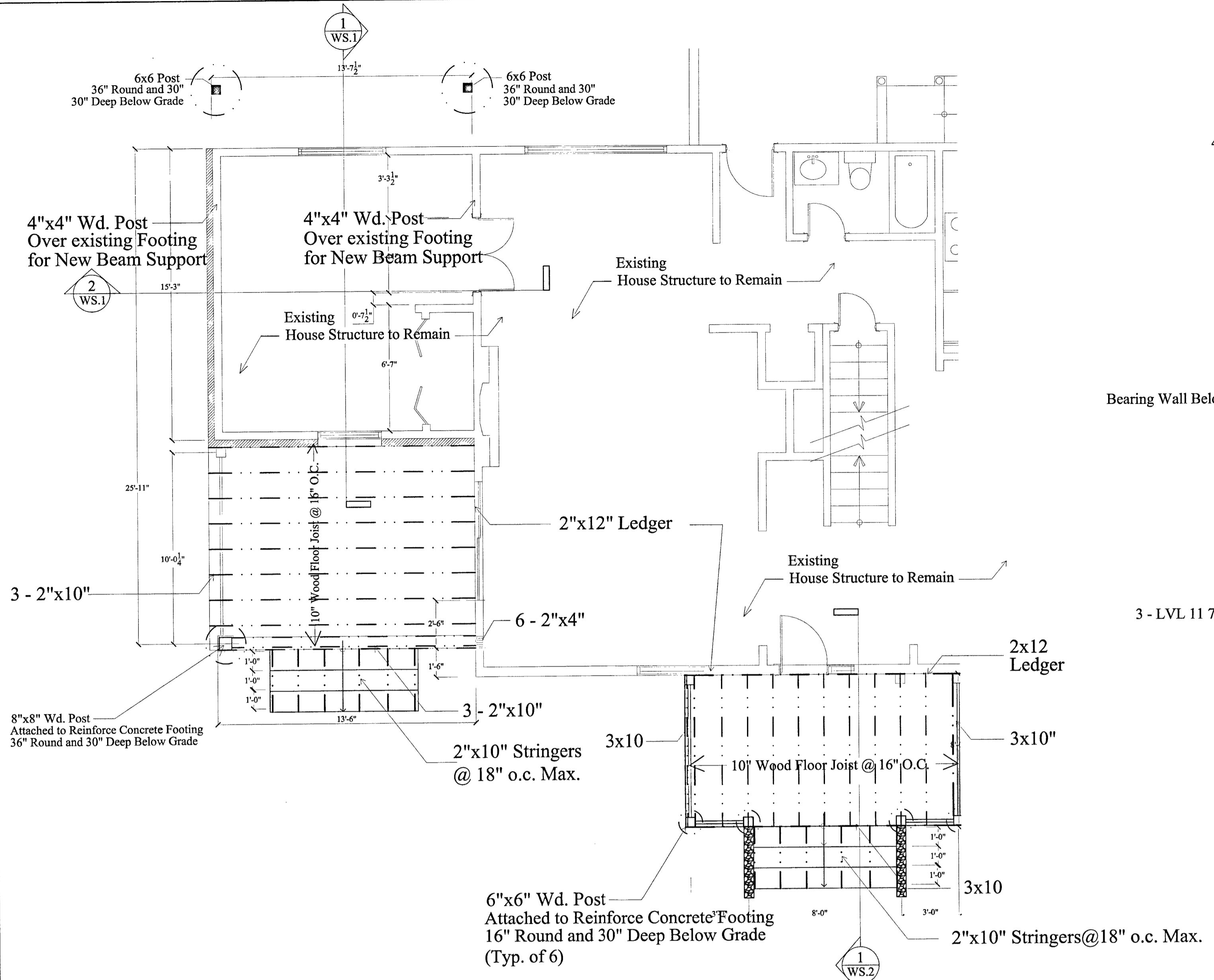
ELECTRONIC SEAL

WET SEAL		
NO.	REVISION	DATE

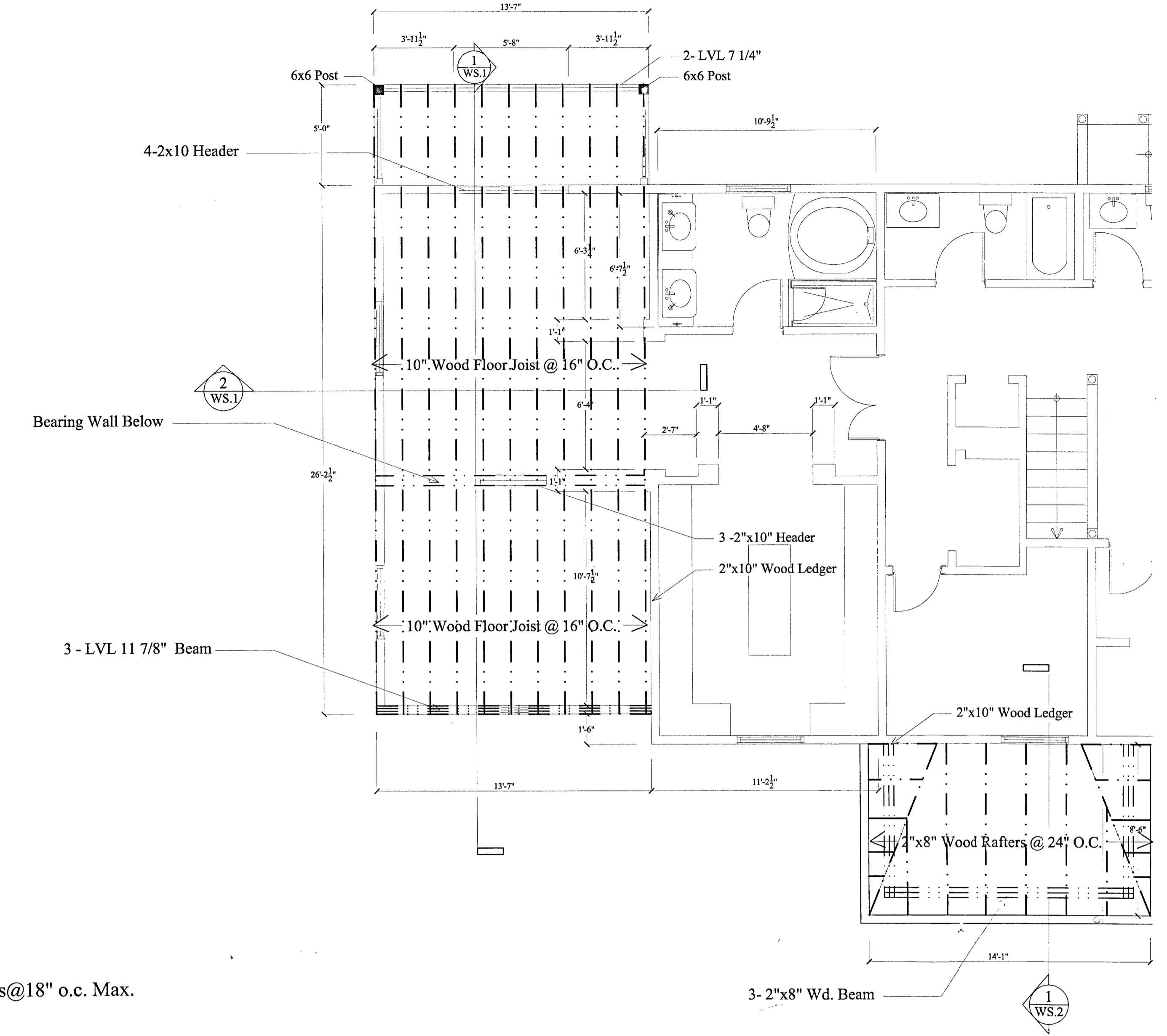
SCALE: AS NOTED  
 DRAWING NUMBER

**F.1**

Permit: B22002201

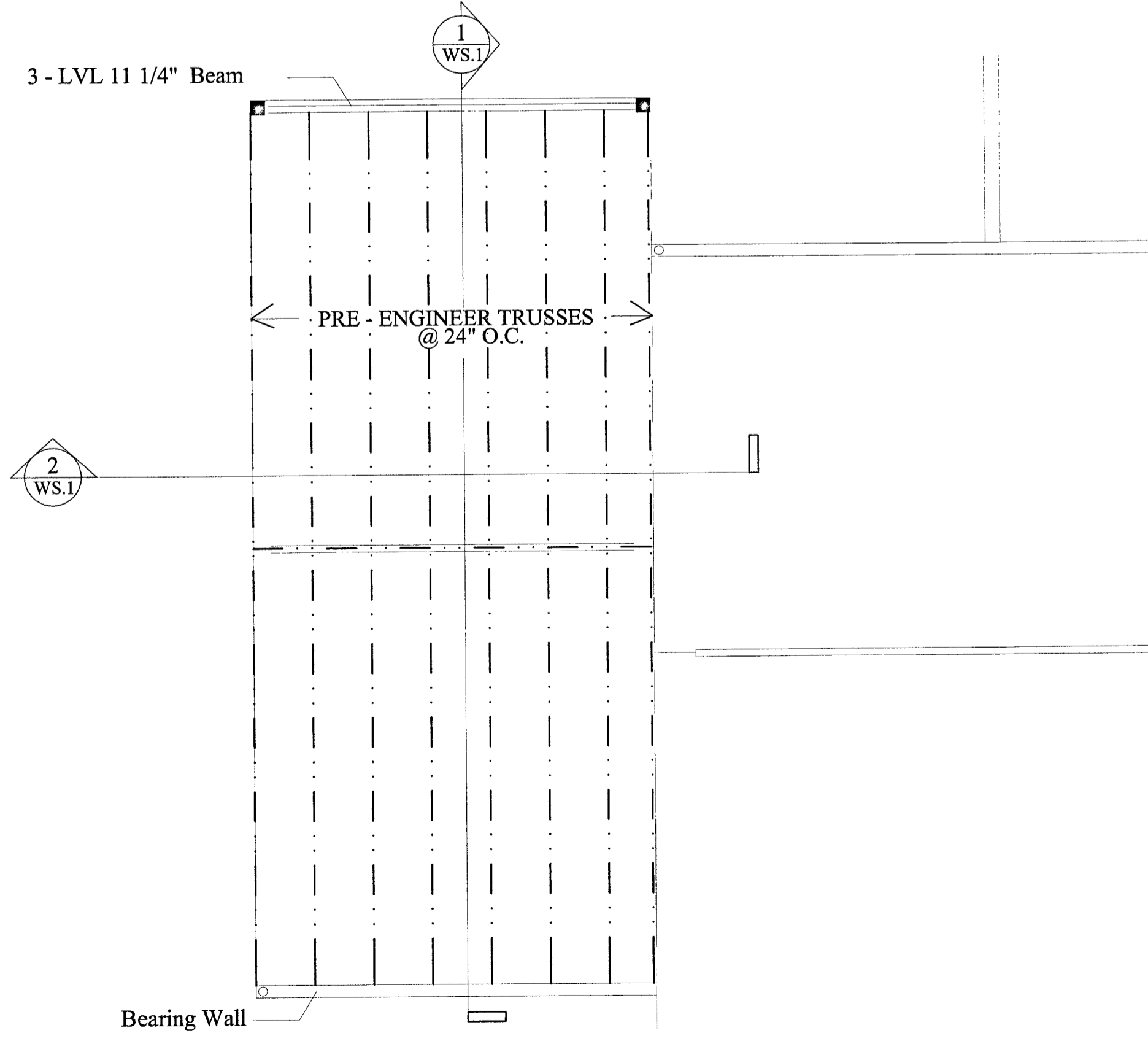


1 FIRST FLOOR FRAMING PLAN / NEW  
 SCALE: 1/4" = 1'-0"

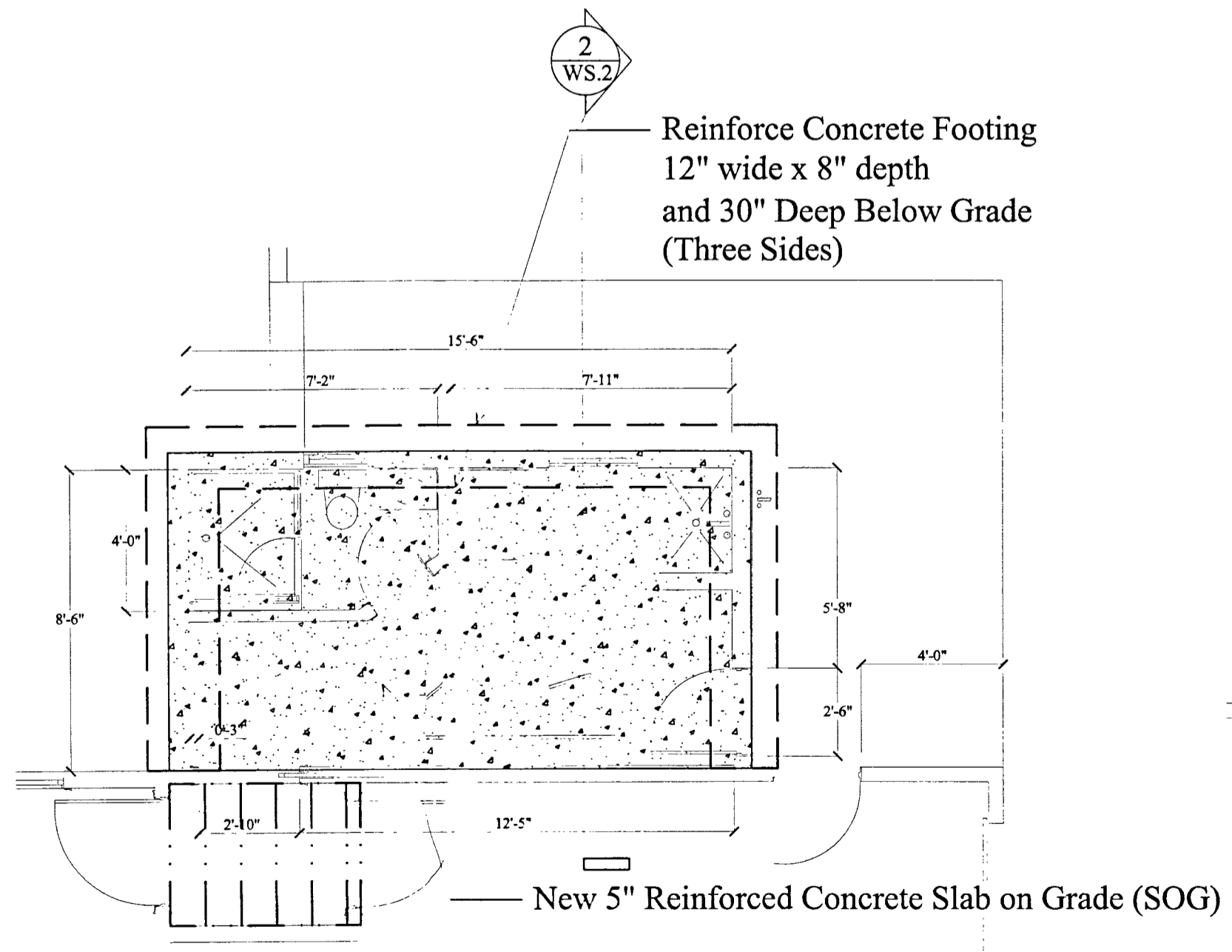


2 SECOND FLOOR FRAMING PLAN / NEW  
 SCALE: 1/4" = 1'-0"

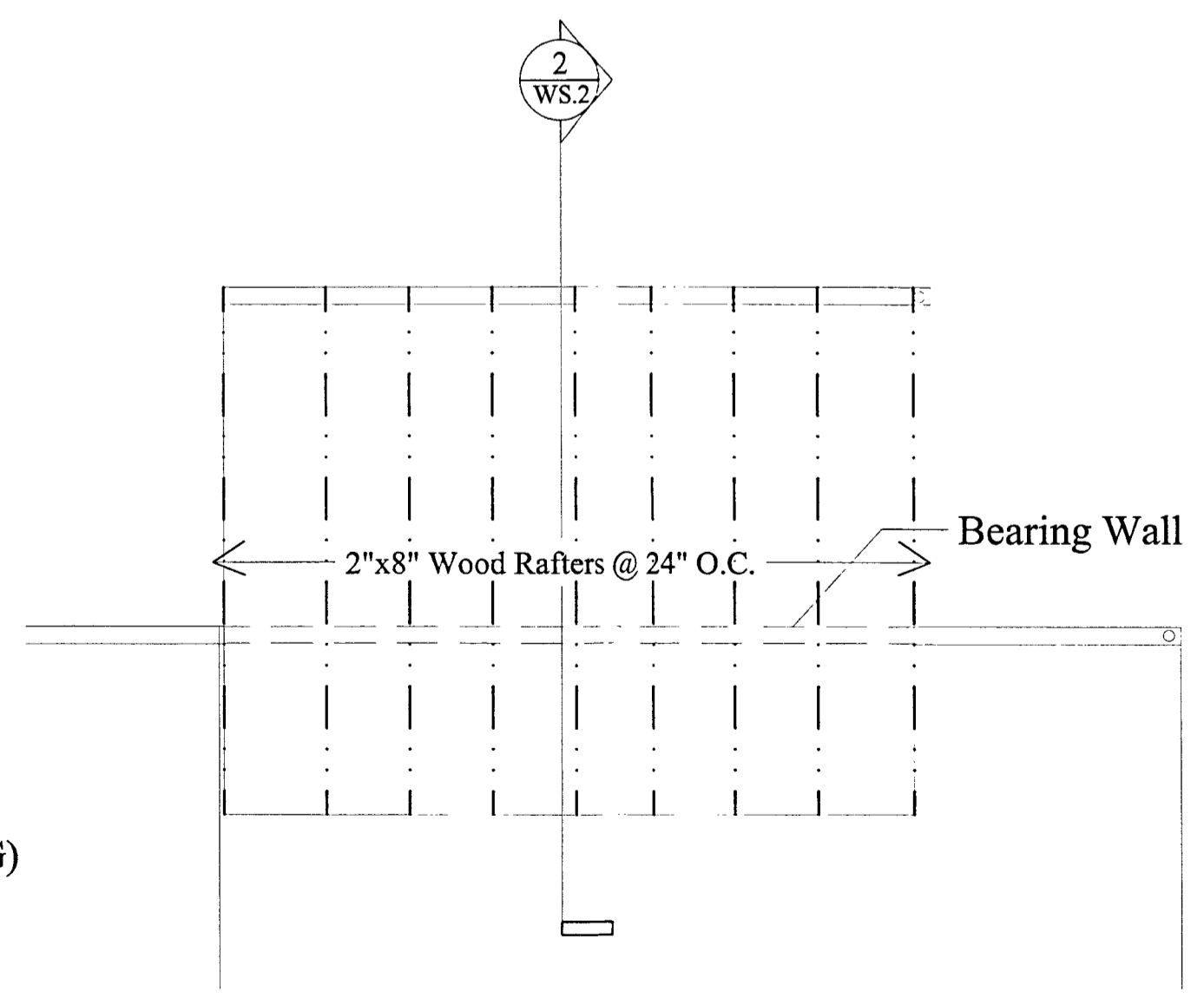
Note: All Wood to be Attached with Galvanized Heavy Duty Metal Anchors, Typ.



3 ROOF FRAMING PLAN / NEW  
 SCALE: 1/4" = 1'-0"



4 FIRST FLOOR FRAMING PLAN / NEW  
 SCALE: 1/4" = 1'-0"



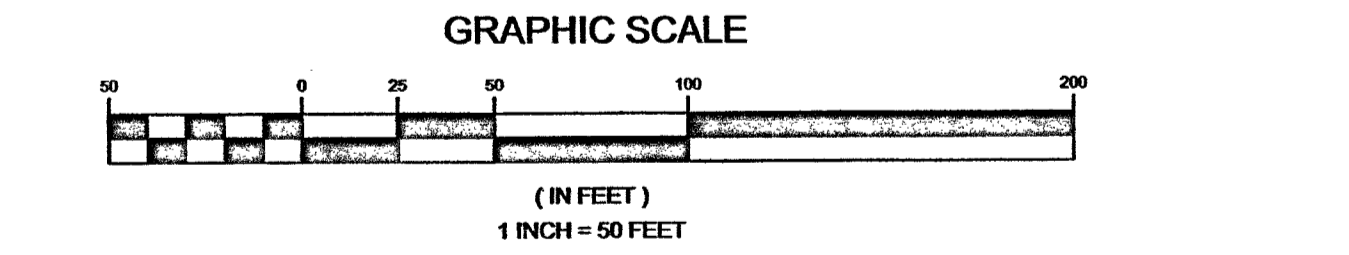
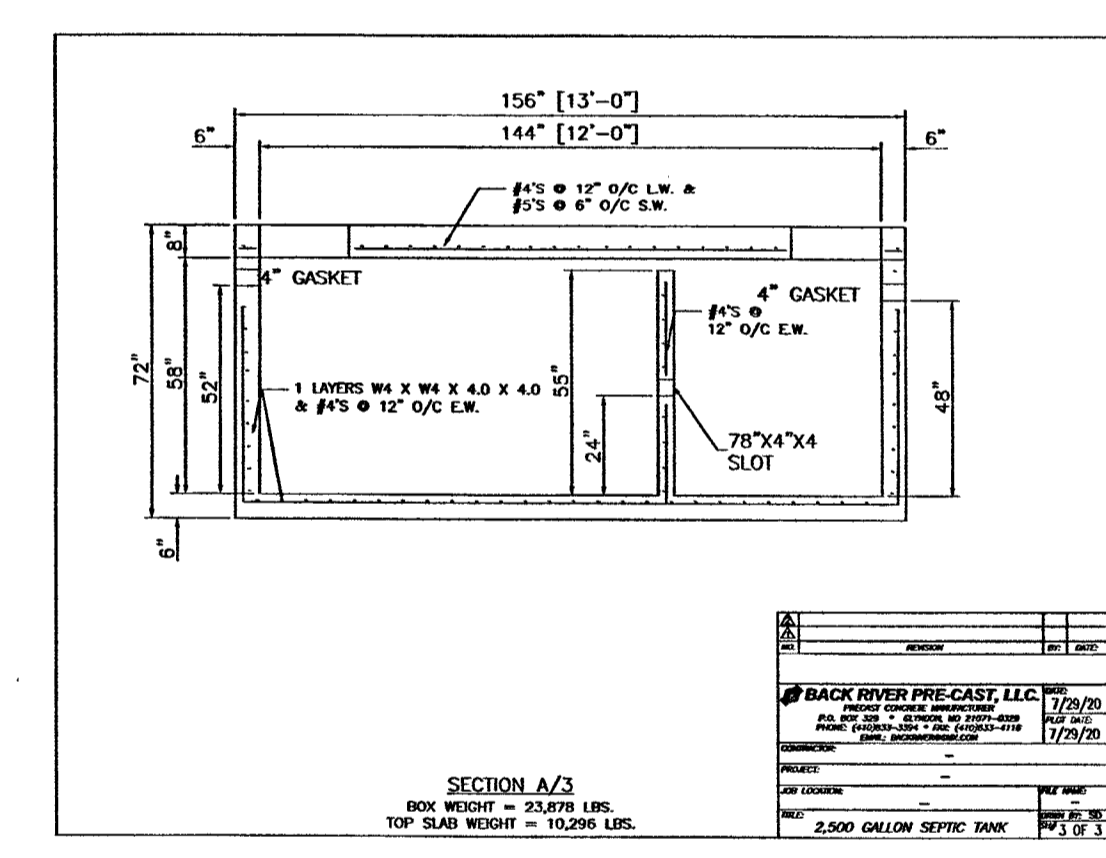
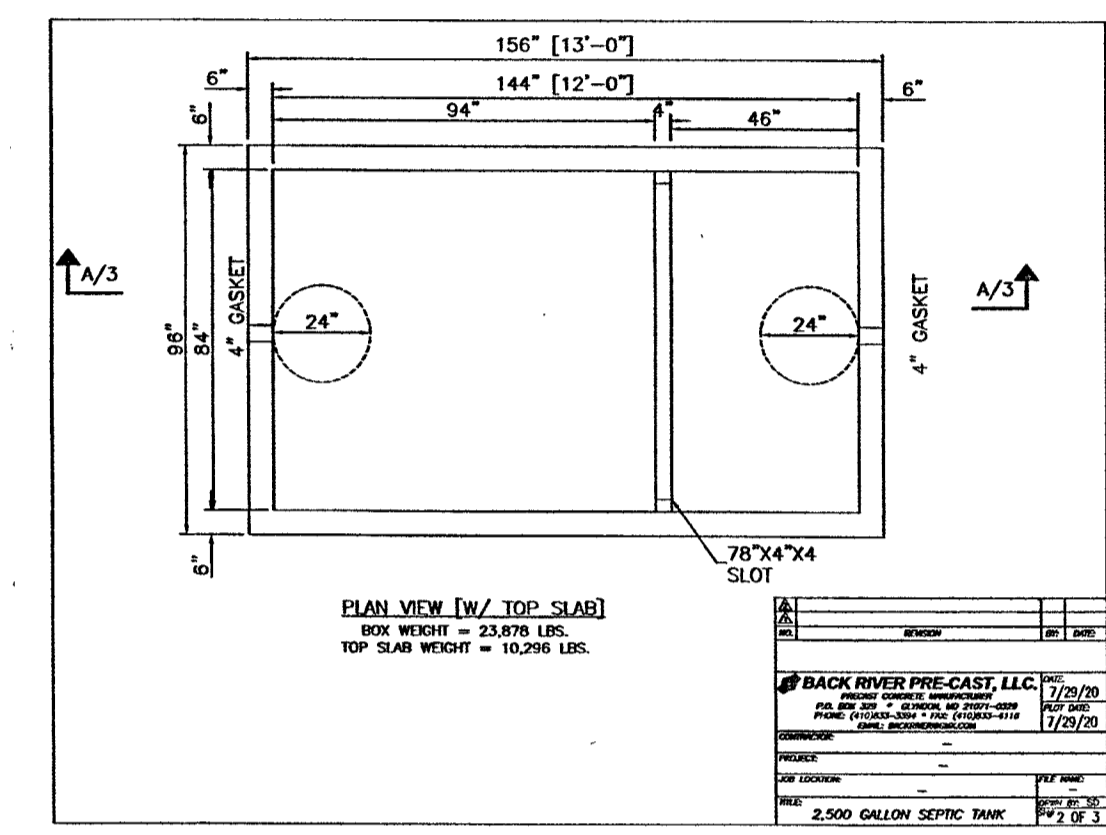
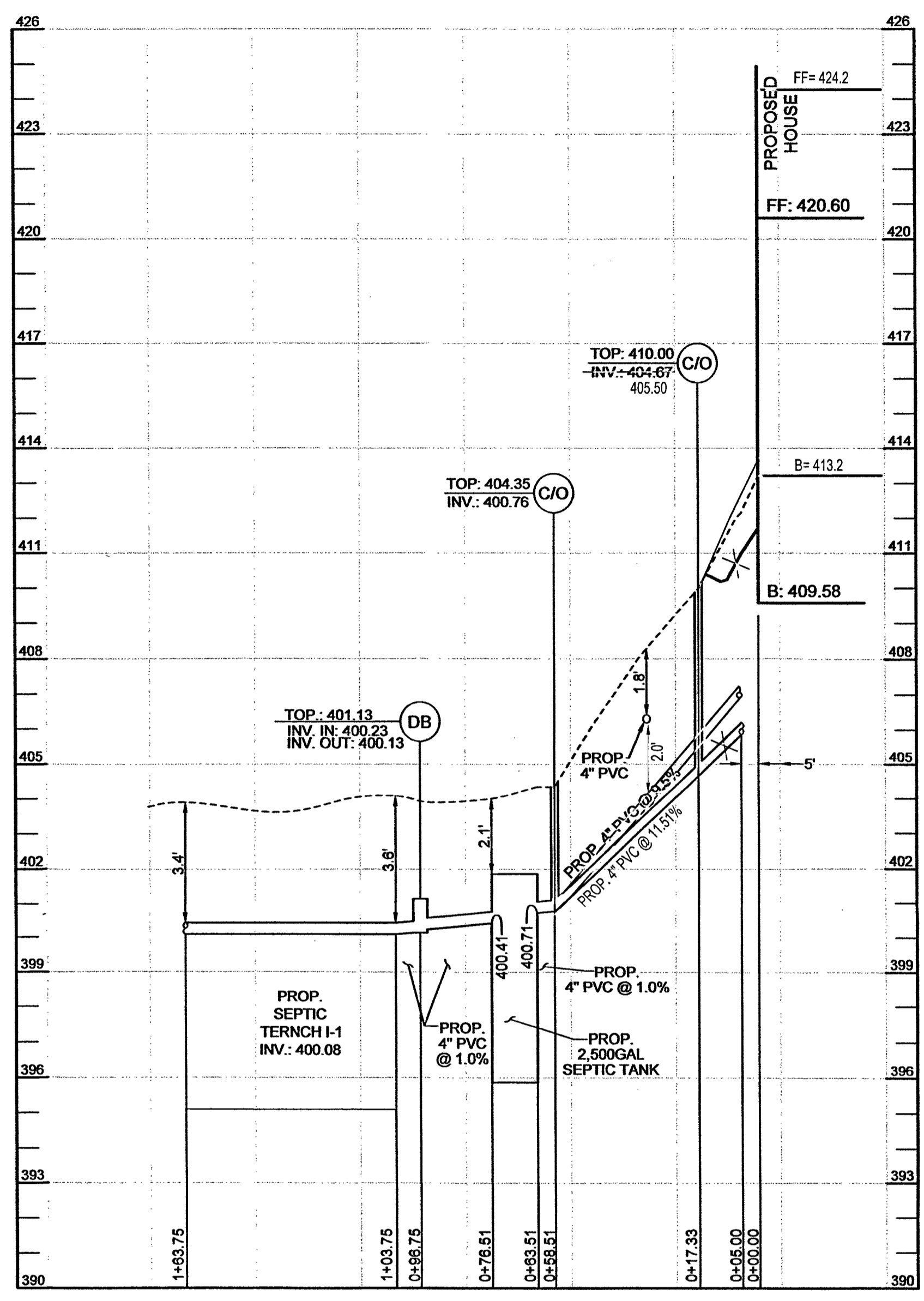
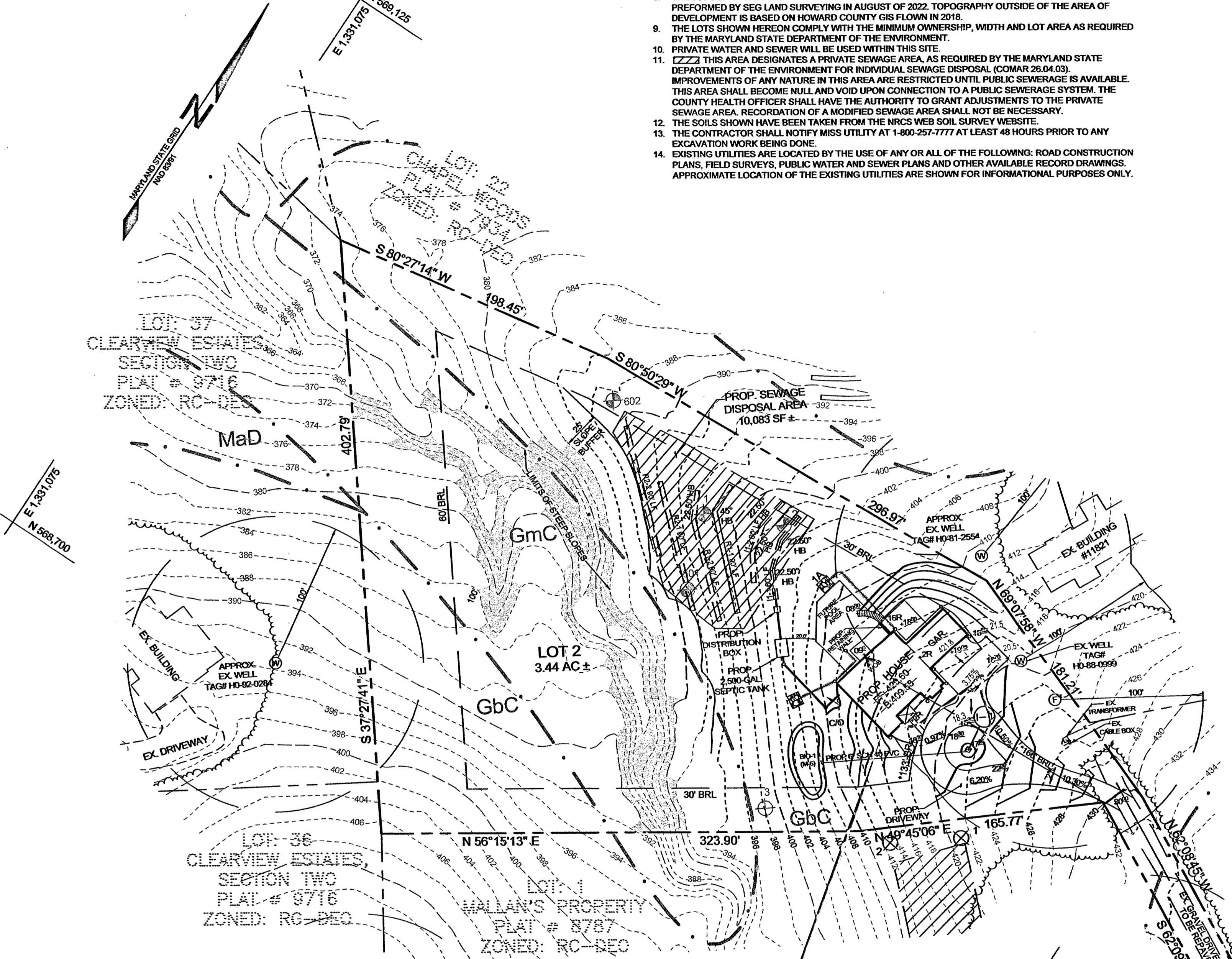
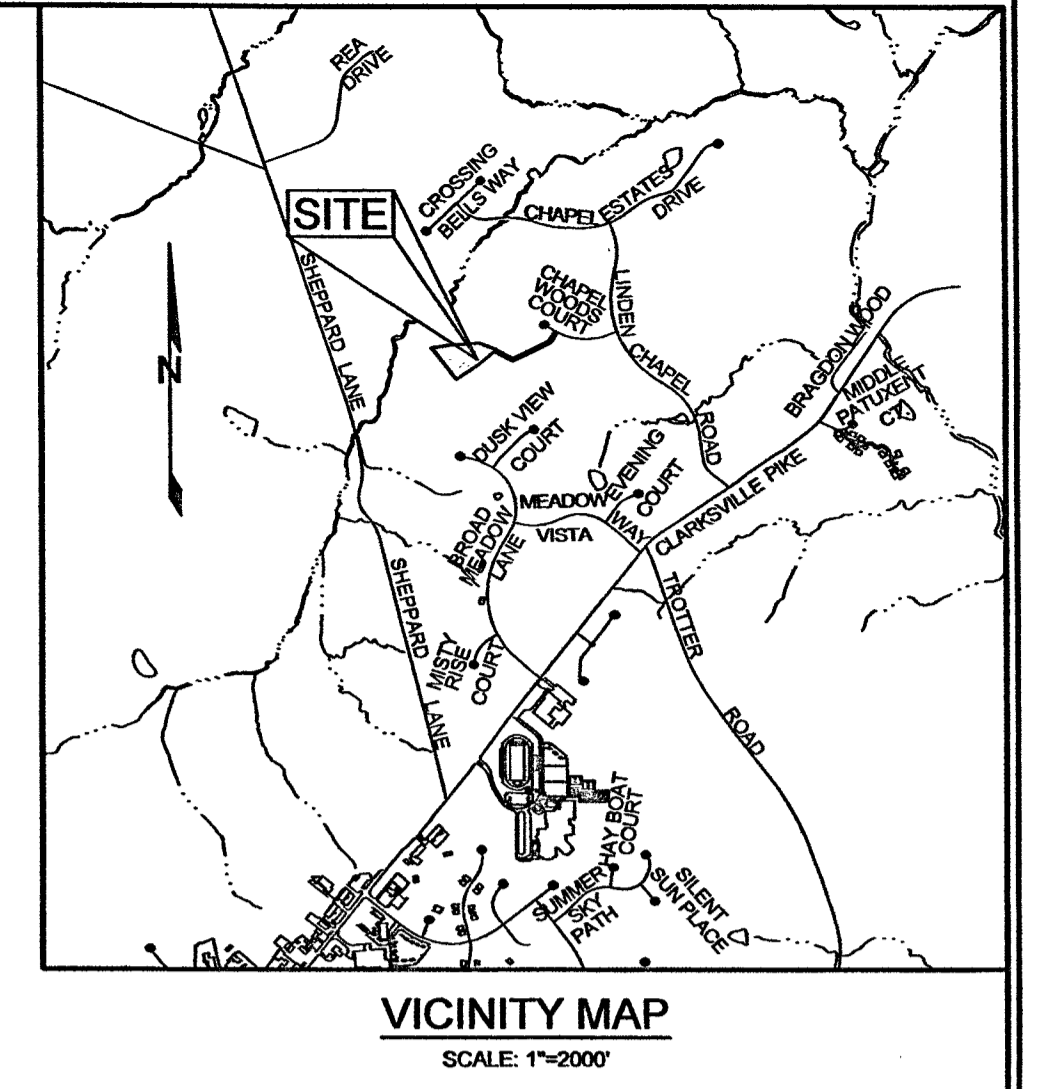
5 SECOND FLOOR (ROOF) FRAMING PLAN / NEW  
 SCALE: 1/4" = 1'-0"

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	GROUP	'K' FACTOR
GbC	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	A	0.28
GmC	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	C	0.43
GmB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	CD	0.37
GbB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	A	0.28

NOTES:  
 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY.  
 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

- ### GENERAL NOTES
- SUBJECT PROPERTY ZONED RC-DEO IN ACCORDANCE WITH THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
  - TOTAL AREA OF PROPERTY = 3.44 ACRES.
  - PROPERTY ADDRESS: 11813 CHAPEL WOODS COURT, CLARKSVILLE MD 21029
  - PLAT REFERENCE: PLAT #8787
  - DEED REFERENCE: LIBER 3743 FOLIO 00571
  - PREVIOUS HOWARD COUNTY FILE NUMBERS: STATE OF MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER AND SCIENCE ADMINISTRATION AUTHORIZATION NUMBER 20-NT-3094/2020060742.
  - THE BOUNDARY SHOWN HERE ON IS BASED ON A BOUNDARY SURVEY PERFORMED BY SEG LAND SURVEYING IN NOVEMBER OF 2021.
  - THE TOPOGRAPHY SHOWN WITHIN THE DEVELOPMENT AREA IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY SEG LAND SURVEYING IN AUGUST OF 2022. TOPOGRAPHY OUTSIDE OF THE AREA OF DEVELOPMENT IS BASED ON HOWARD COUNTY GIS FLOW IN 2018.
  - THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
  - PRIVATE WATER AND SEWER WILL BE USED WITHIN THIS SITE.
  - ZZZ THIS AREA DESIGNATES A PRIVATE SEWAGE AREA, AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
  - THE SOILS SHOWN HAVE BEEN TAKEN FROM THE NRCS WEB SOIL SURVEY WEBSITE.
  - THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
  - EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.

- ### LEGEND
- EXISTING GIS CONTOUR: Dashed line with '382'
  - EXISTING FIELD RUN CONTOUR: Dashed line with '382'
  - PROPOSED CONTOUR: Solid line with '382'
  - SOIL BOUNDARY: Solid line with '382'
  - EXISTING TREELINE: Wavy line
  - PROPOSED TREELINE: Dashed wavy line
  - EXISTING WELL: Circle with 'W'
  - PROPOSE FUTURE WELL: Circle with 'F'
  - STEEP SLOPES, 25% OR GREATER: Hatched area
  - PROPOSED SEWAGE DISPOSAL AREA: Hatched area
  - PASSED PERCOLATION TEST HOLE: Circle with 'P'
  - FAILED PERCOLATION TEST HOLE: Circle with 'F'



PLAN VIEW  
SCALE: 1"=50'

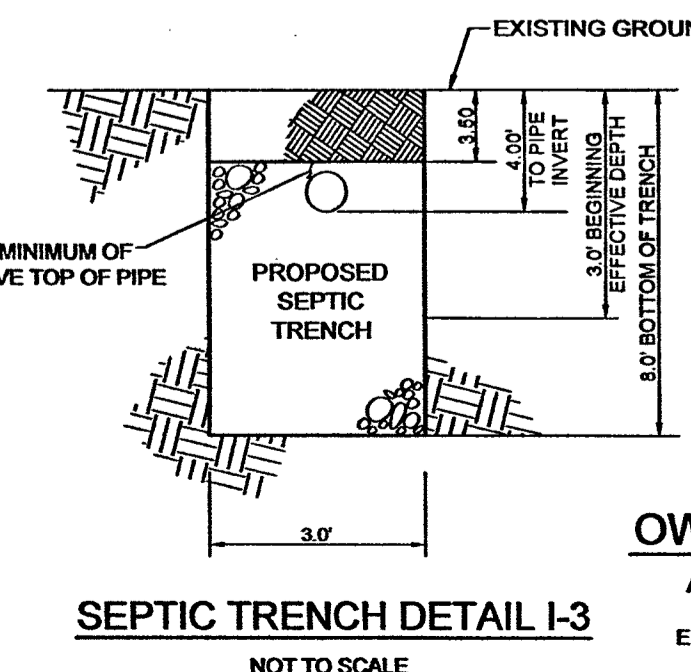
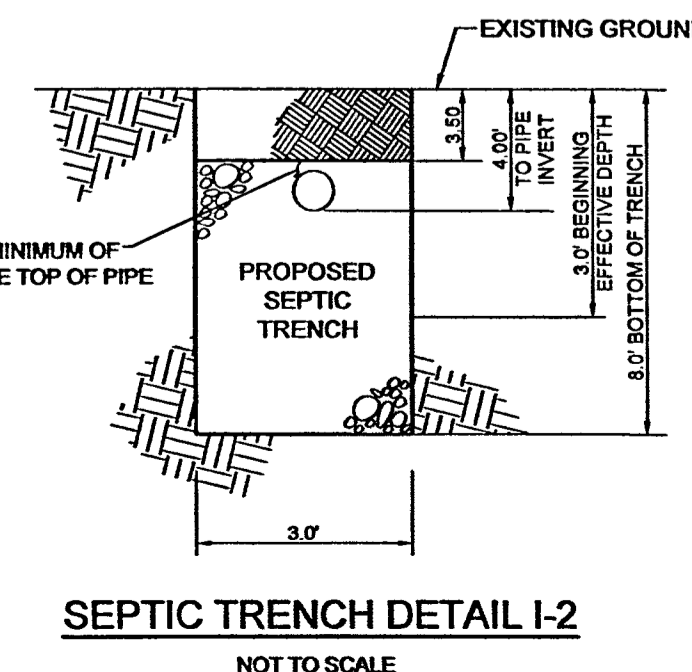
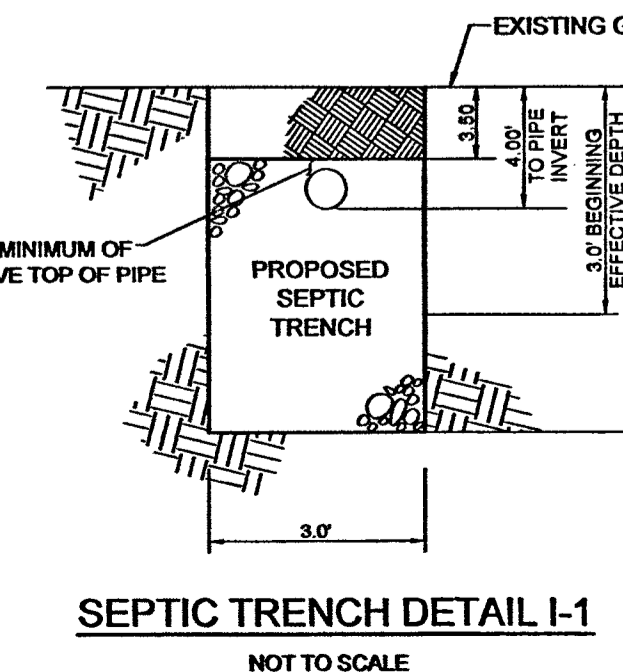
AS-BUILT  
FIRST FLOOR = ELEV. 424.2  
BASEMENT FLOOR = ELEV. 413.2

1,500-GALLON SEPTIC TANK PROFILE  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 3'

PROPOSED 2,500-GALLON SEPTIC TANK DETAIL  
NOT TO SCALE

### SEPTIC SYSTEM TRENCH DESIGN SPECIFICATIONS

- INITIAL SYSTEM SYSTEM:**
    - APPLICATION RATE: 1.2
    - EFFECTIVE AREA BEGINNING DEPTH: 3.0'
    - BOTTOM MAXIMUM DEPTH: 8.0'
  - FIRST REPLACEMENT SYSTEM:**
    - APPLICATION RATE: 0.8
    - EFFECTIVE AREA BEGINNING DEPTH: 3.0'
    - BOTTOM MAXIMUM DEPTH: 8.0'
  - SECOND REPLACEMENT SYSTEM:**
    - APPLICATION RATE: 0.6
    - EFFECTIVE AREA BEGINNING DEPTH: 3.0'
    - BOTTOM MAXIMUM DEPTH: 8.0'
- DESIGN FLOW:
    - 8 BEDROOMS AT 150 GALLONS PER DAY (GPD)
    - 8 X 150 GPD = 1,200 GPD
  - SQUARE FOOTAGE OF DRAIN FIELD REQUIRED:
    - DESIGN FLOW (1,200 GPD) / APPLICATION RATE (1.2) = 1,000 SF
  - SIDEWALL REDUCTION CREDIT:
    - TRENCH WIDTH (W) = 3.0'
    - TRENCH EFFECTIVE DEPTH (D) = 5.0'
    - (W+2) / (W+1+2D) X 100 = 36%
  - LINEAR LENGTH OF TRENCH REQUIRED:
    - DRAIN FIELD SQUARE FOOTAGE (1,000) X SIDEWALL REDUCTION CREDIT (36%) / TRENCH WIDTH (3.0) = 120'
  - LINEAR LENGTHS OF TRENCH PROVIDED = 120'
  - TWO TRENCHES AT 60 LF EACH:
  - EXISTING GROUND: TRENCH R1-1: 398.0  
INVERT: TRENCH R1-1: 400.7  
EXISTING GROUND: TRENCH R1-2: 396.0  
INVERT: TRENCH R1-2: 398.0
- DESIGN FLOW:
    - 8 BEDROOMS AT 150 GALLONS PER DAY (GPD)
    - 8 X 150 GPD = 1,200 GPD
  - SQUARE FOOTAGE OF DRAIN FIELD REQUIRED:
    - DESIGN FLOW (1,200 GPD) / APPLICATION RATE (0.8) = 1,500 SF
  - SIDEWALL REDUCTION CREDIT:
    - TRENCH WIDTH (W) = 3.0'
    - TRENCH EFFECTIVE DEPTH (D) = 5.0'
    - (W+2) / (W+1+2D) X 100 = 36%
  - LINEAR LENGTH OF TRENCH REQUIRED:
    - DRAIN FIELD SQUARE FOOTAGE (1,500) X SIDEWALL REDUCTION CREDIT (36%) / TRENCH WIDTH (3.0) = 180'
  - LINEAR LENGTHS OF TRENCH PROVIDED = 180'
  - TWO TRENCHES 90.0 LF EACH:
  - EXISTING GROUND: TRENCH R2-1: 392.0  
INVERT: TRENCH R2-1: 388.0  
EXISTING GROUND: TRENCH R2-2: 390.0  
INVERT: TRENCH R2-2: 386.0
- DESIGN FLOW:
    - 8 BEDROOMS AT 150 GALLONS PER DAY (GPD)
    - 8 X 150 GPD = 1,200 GPD
  - SQUARE FOOTAGE OF DRAIN FIELD REQUIRED:
    - DESIGN FLOW (1,200 GPD) / APPLICATION RATE (0.6) = 2,000 SF
  - SIDEWALL REDUCTION CREDIT:
    - TRENCH WIDTH (W) = 3.0'
    - TRENCH EFFECTIVE DEPTH (D) = 5.0'
    - (W+2) / (W+1+2D) X 100 = 36%
  - LINEAR LENGTH OF TRENCH REQUIRED:
    - DRAIN FIELD SQUARE FOOTAGE (2,000) X SIDEWALL REDUCTION CREDIT (36%) / TRENCH WIDTH (3.0) = 187'
  - LINEAR LENGTHS OF TRENCH PROVIDED = 187'
  - TWO TRENCHES 93.5 LF EACH:
  - EXISTING GROUND: TRENCH R3-1: 392.0  
INVERT: TRENCH R3-1: 388.0  
EXISTING GROUND: TRENCH R3-2: 390.0  
INVERT: TRENCH R3-2: 386.0



OWNER/DEVELOPER  
ALHAD & KAREN CHANDE  
11101 DORSCH FARM ROAD  
ELLICOTT CITY, MARYLAND 21042

REVISED - RED LINED PLAN  
BUILDING PERMIT B24000366  
REDLINE REVISIONS BY:  
RTF ASSOCIATES, INC.  
142 EAST MAIN STREET  
WESTMINSTER, MARYLAND 21157  
410-848-2040, 410-876-1222

REVISED FLOOR ELEVATIONS = 03-19-2025

### ONSITE SEWAGE DISPOSAL SYSTEM PLAN

#### CHANDE PROPERTY

11813 CHAPEL WOODS COURT  
LOT 2 MALLAN'S PROPERTY

TAX MAP 29 GRID 13  
5TH ELECTION DISTRICT

PARCEL 36 LOT 2  
HOWARD COUNTY, MARYLAND

DESIGN BY: PS  
DRAWN BY: ZS  
CHECKED BY: PS  
SCALE: AS SHOWN  
DATE: APRIL 8, 2024  
PROJECT #: 20-067  
SHEET #: 1 of 1

**SILL ENGINEERING GROUP, LLC**  
16005 Frederick Road, 2nd Floor  
Woodbine, Maryland 21797  
Phone: 410.325.5076  
Fax: 410.696.2022  
Email: info@sillengineering.com  
Civil Engineering for Land Development

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32022, EXPIRATION DATE: JUNE 20, 2025

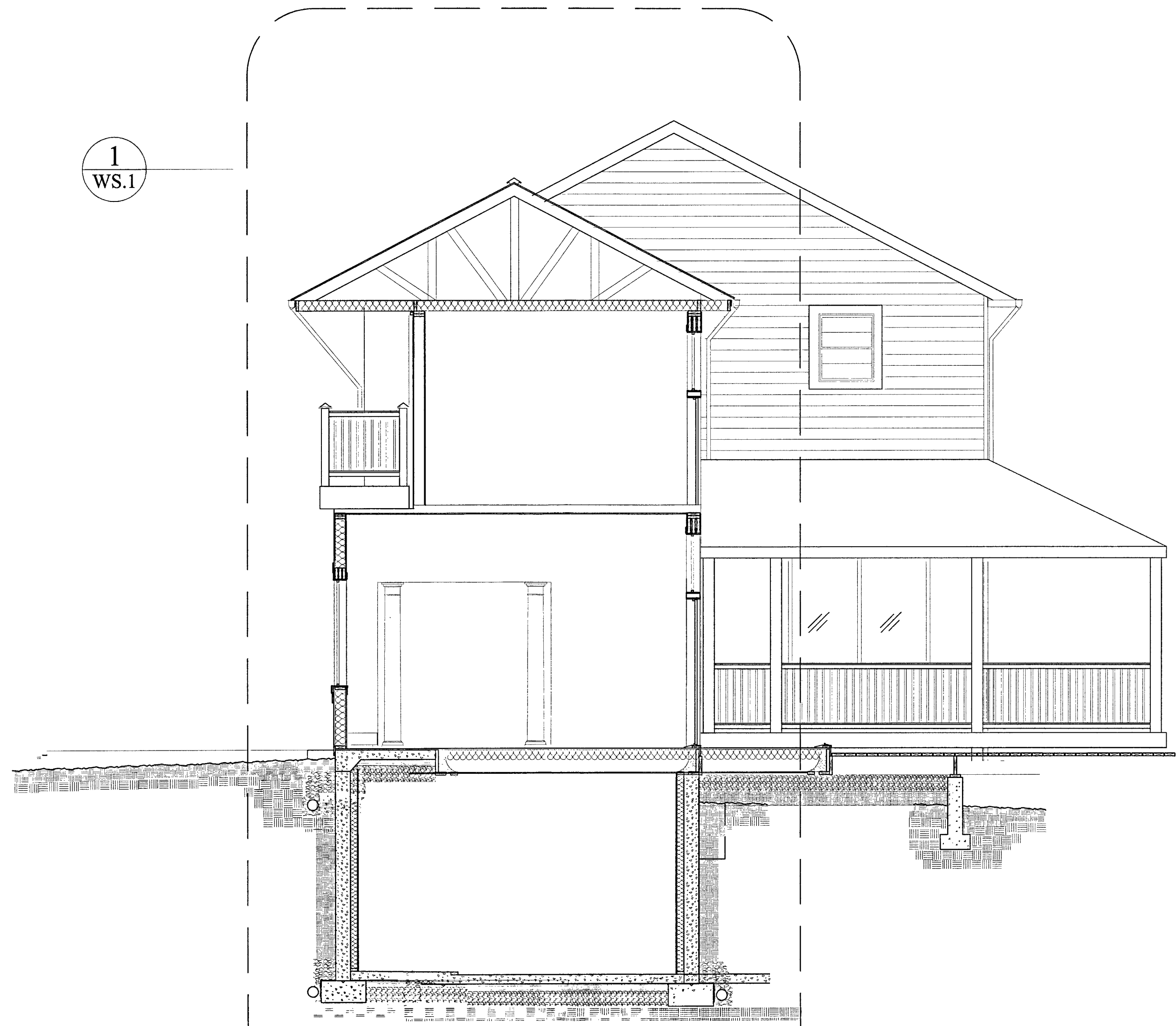
SEAL		
NO.	REVISION	DATE

SCALE: AS NOTED  
 DRAWING NUMBER

**S.1**

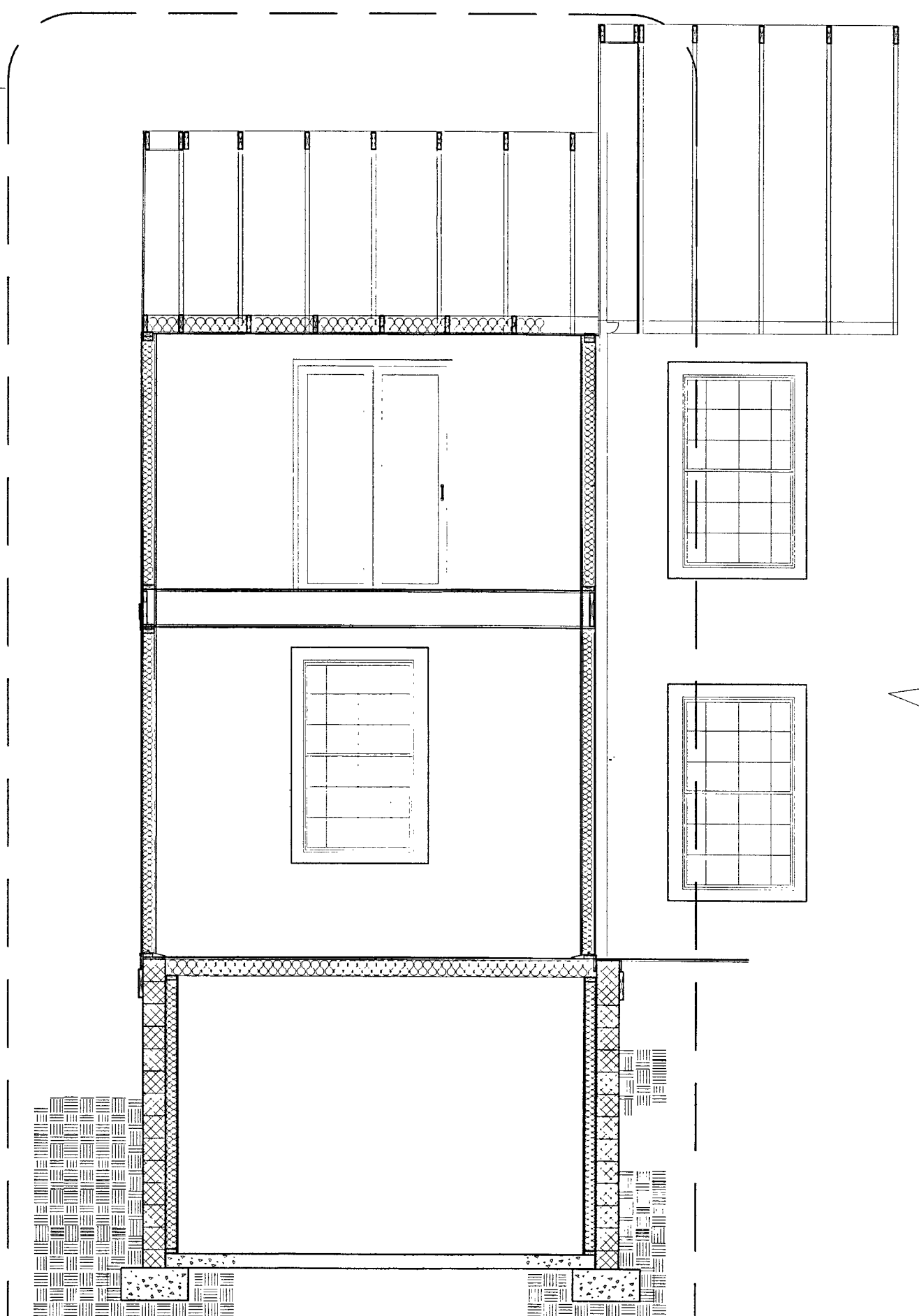
*Permit: B23002201*

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WS.1



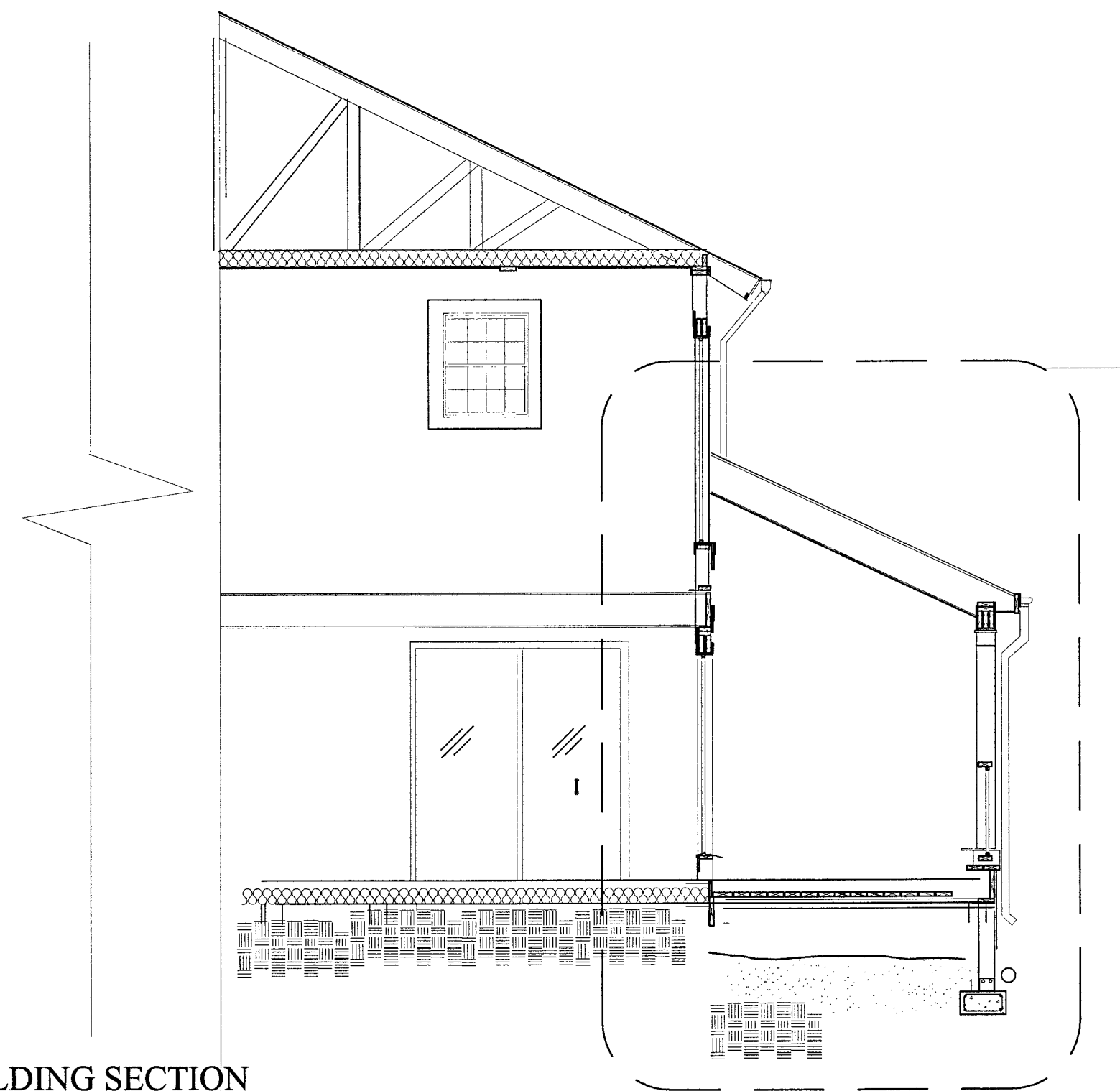
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 SCALE: 1/4" = 1'-0"

2  
WS.2



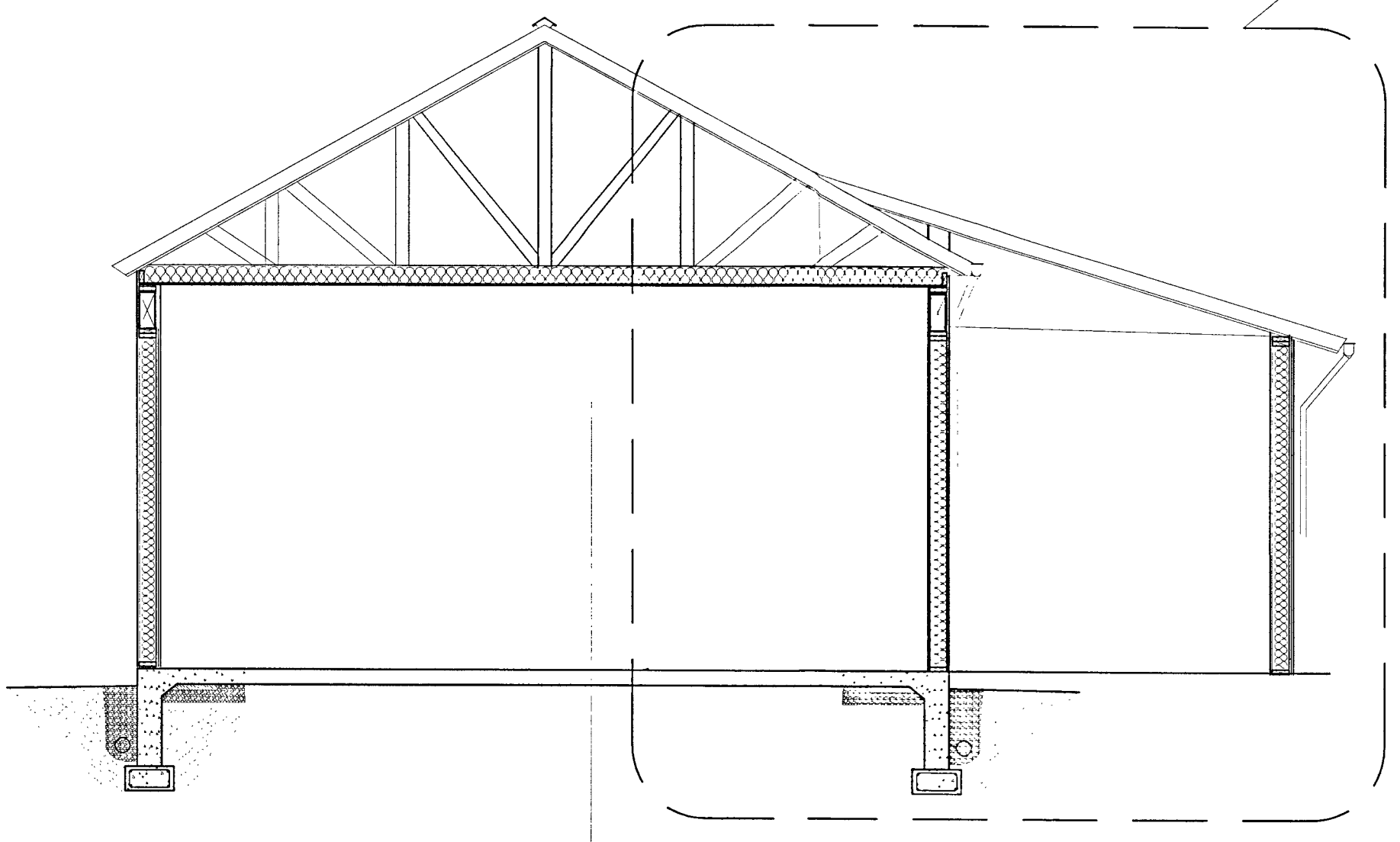
2 BUILDING SECTION  
 SCALE: 1/4" = 1'-0"

1  
WS.3



3 BUILDING SECTION  
 SCALE: 1/4" = 1'-0"

1  
WS.4



4 BUILDING SECTION  
 SCALE: 1/4" = 1'-0"