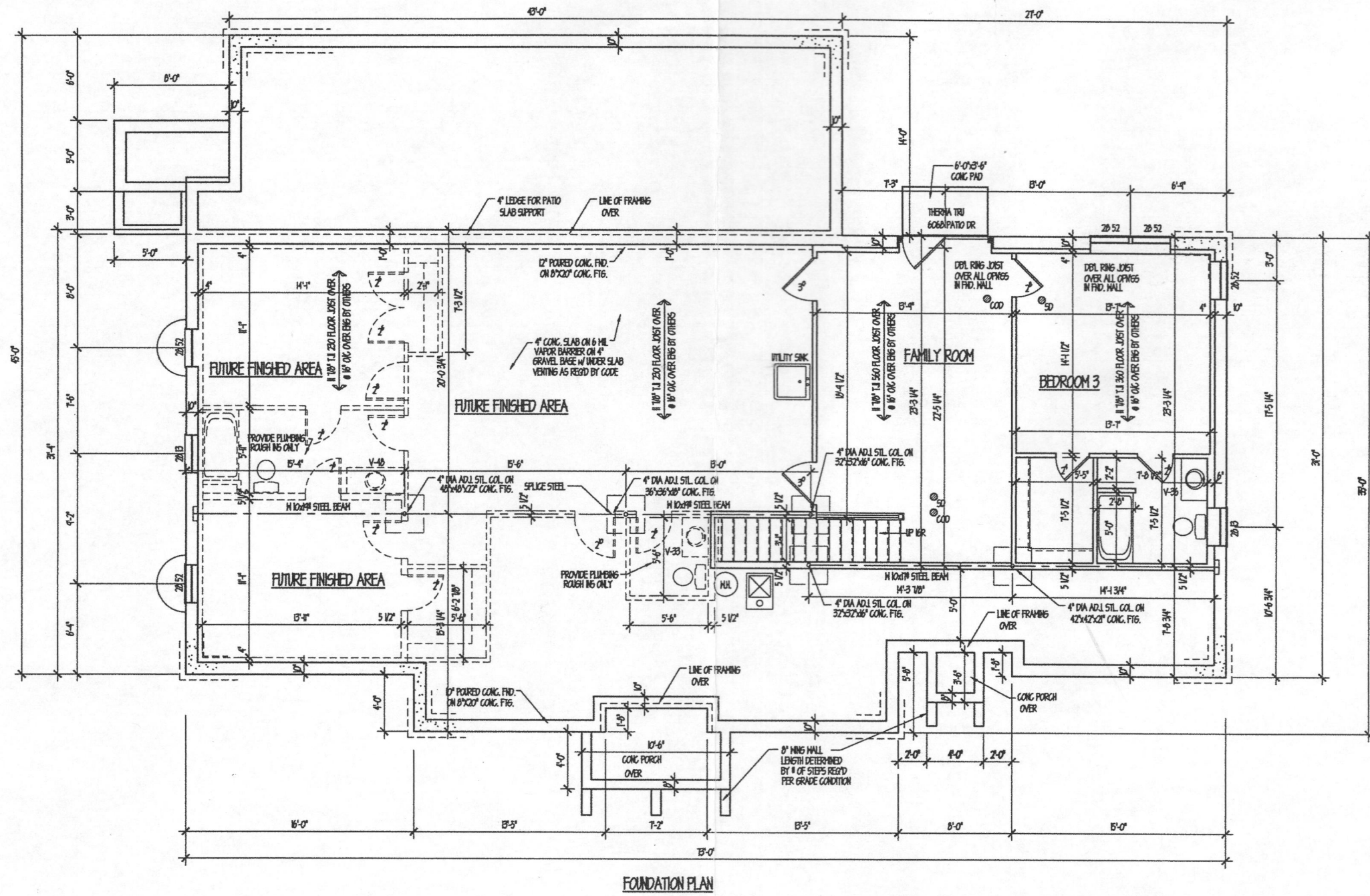


NOTICE:
 DUE TO THE CRITICAL NATURE OF THE INFORMATION SHOWN ON THIS DRAWING THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND UNIT OPTIONAL SELECTIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO CARRIGAN HOMES

CONTENT	FIRST FLOOR PLAN
TITLE	CARRIGAN HOMES ZIEGLER-ZIRSCHKY RESIDENCE
SCALE	1/4" = 1'-0"
DATE	MARCH 6, 2020
SHEET NUMBER	A-4



FOUNDATION PLAN

NOTICE:
 DUE TO THE CRITICAL NATURE OF THE INFORMATION SHOWN ON THIS DRAWING THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND UNIT OPTIONAL SELECTIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO CARRIGAN HOMES

CONTENT	FOUNDATION PLAN
TITLE	CARRIGAN HOMES ZIEGLER-ZIRSCHKY RESIDENCE
SCALE	1/4" = 1'-0"
DATE	MARCH 6, 2020
SHEET NUMBER	A-3

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

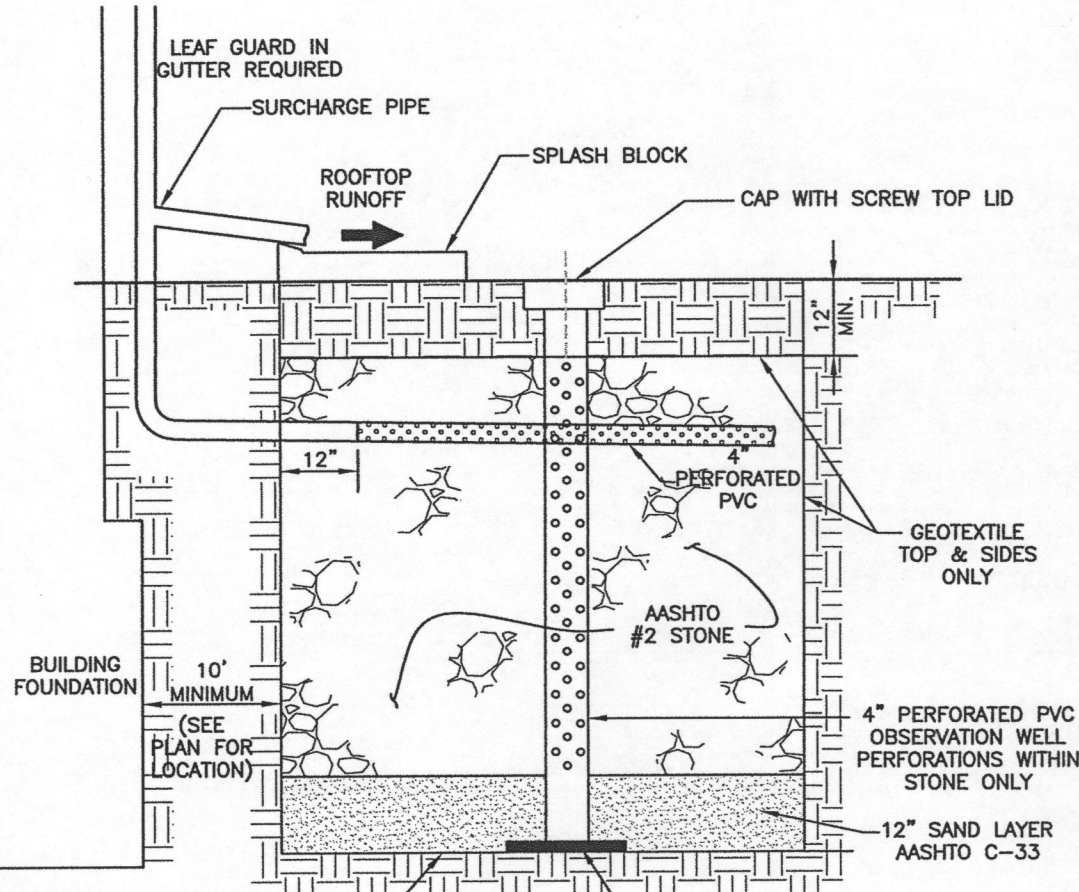
PRIVATELY OWNED AND MAINTAINED BY THE LOT/PARCEL OWNER

1. THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
2. WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
3. A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
4. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
5. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
6. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

Practice	DA #	DA (sf)	Imp Area (sf)	% Imp	Rv	Af (sf)			ESDv		Pe	Rev (cf)		Ownership
						Required	Provided	2% DA?	Required	Provided	Provided	Required	Provided	
Rooftop Disconnection (N-1)	#1	350	350	100%	0.95				28	28	1.00	Overall Site Obligation	28	Private
Rooftop Disconnection (N-1)	#2	320	320	100%	0.95				25	25	1.00		25	Private
Rooftop Disconnection (N-1)	#3	320	320	100%	0.95				25	25	1.00		25	Private
Non-Rooftop Disconnection (N-2)	#1	3,189	1,424	45%	0.45				120	120	1.00		120	Private
Drywell (M-5)	#1	1,020	1,020	100%	0.95				210	210	2.60		210	Private
Drywell (M-5)	#2	1,082	1,082	100%	0.95				223	224	2.61		224	Private
Totals per individual Drainage Areas		6,281	4,516	72%	0.70	0	0		631	632	1.73	125	632	
Totals per Whole Site		31,417	4,516	14%		90			482	632				

Lot Number	Disconnection Designation	Impervious Area (SF)	Drainage Area (SF)	Volumetric Runoff	ESDv Required (CF)	Contrib. Per. Length (ft)	Contrib. Imp. Length (ft)	Disconnection Length (ft)	Ratio	Pe Treated (inches)	Volume Provided (CF)
B	NRD-1	1424	3189	0.45	120.09	11	32	34	1.0	1.0	120.09

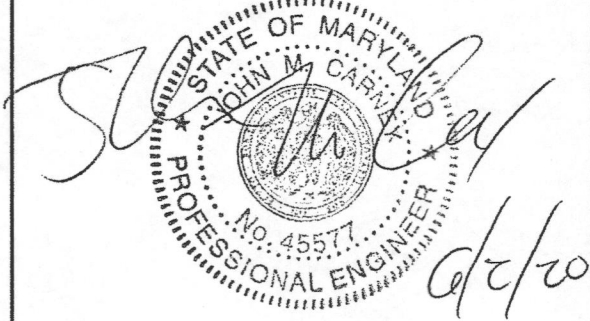
Disconnection Designation	Impervious Area (SF)	Drainage Area (SF)	Volumetric Runoff	ESDv Required (CF)	Disconnection Length (ft)	Pe Treated (inches)	Volume Provided (CF)
DRR1	350	350	0.95	27.71	75	1.0	27.71
DRR2	320	320	0.95	25.33	75	1.0	25.33
DRR3	320	320	0.95	25.33	75	1.0	25.33



OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1), DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

A. MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.



PROJECT:	Carroll Mill Farm (2799)	DATE:	05/01/20
	Facility Dimensions		

FACILITY	ELEVATIONS (SEE TYPICAL DRY WELL DETAIL)				FILTER		
	GROUND	TOP	SAND	BOTTOM	LENGTH (ft)	WIDTH (ft)	DEPTH (ft)
#1	400.00	398.00	394.00	393.00	10.25	10.25	5
#2	400.50	399.50	395.50	394.50	10.58	10.58	5

DRY WELL DIMENSIONS

BENCHMARK ENGINEERING, INC.
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 ▲ FAX: 410-465-6644
 BEI@BEI-CIVLENGINEERING.COM

OWNER:
 NATALIE ZIEGLER AND JESSICA ZIEGLER (SUCCESSOR TRUSTEE) OF THE ZIEGLER FAMILY IRREVOCABLE TRUST FOR THE BENEFIT OF ALEXANDRA N. ZIRSCHKY AND J. CHRISTIAN ZIRSCHKY
 4044 MANOR LANE
 ELLICOTT CITY, MD 21042
 410-740-6880

DESIGN: JC DRAFT: LD

PROJECT: **CARROLL MILL FARM PARCEL 'B'**

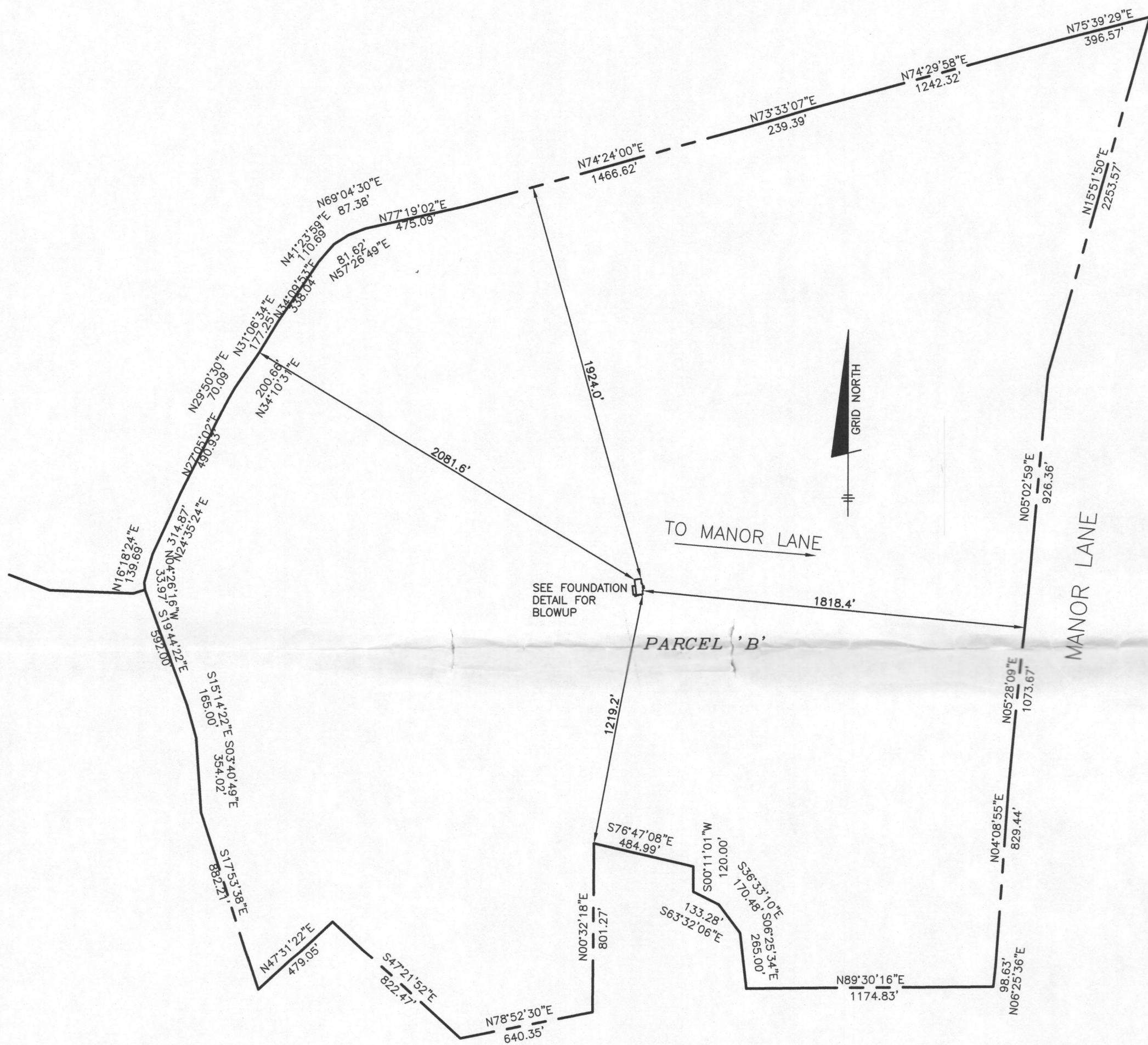
LOCATION: TAX MAP: 23, GRID: 10, PARCEL: P/O 130
 ZONED: RC-DEO
 ELECTION DISTRICT NO. 3 - HOWARD COUNTY, MARYLAND

TITLE: **BUILDING PERMIT PLAN**

HOUSE TYPE: **ZIEGLER-ZIRSCHKY RESIDENCE**

DATE: JUNE, 2020 PROJECT NO. 2799

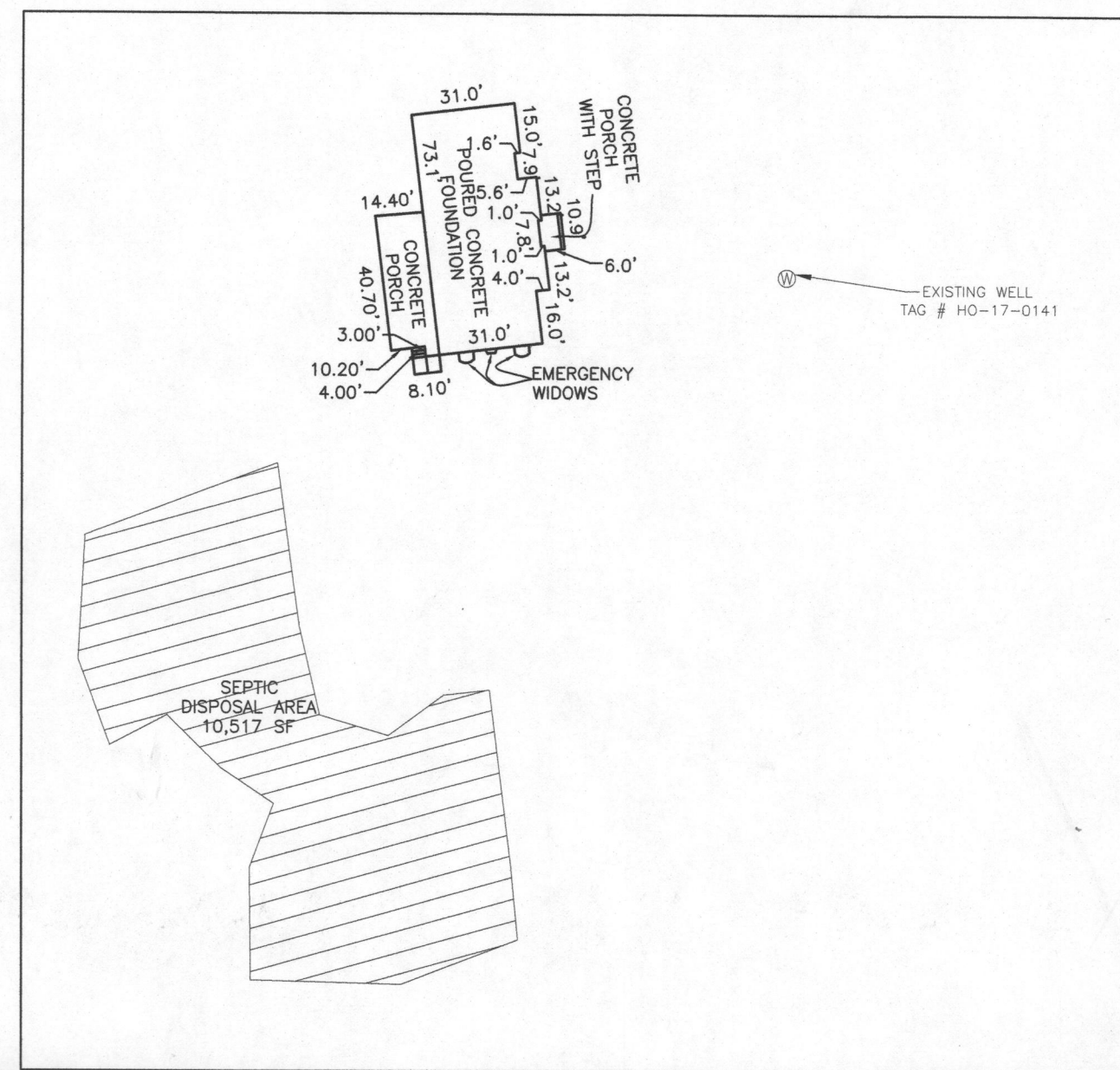
SCALE: AS SHOWN DRAWING 3 OF 3



SCALE: 1" = 500'

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FOUNDATION DETAIL
SCALE: 1" = 50'

FIRST FLOOR ELEVATION = 450.5'
FLOOR SYSTEM = 1.2'
TOP OF WALL ELEVATION = 449.3'
OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

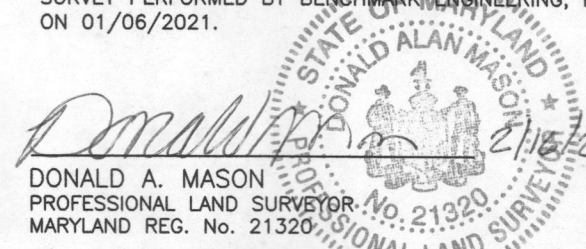
APPROVED 03/22/2021

*Carrigan Homes
From Ohen Kelly
410-977-8927*

*4044 Manor Lane
Permit #
B2000 1994*

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2023 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 01/06/2021.

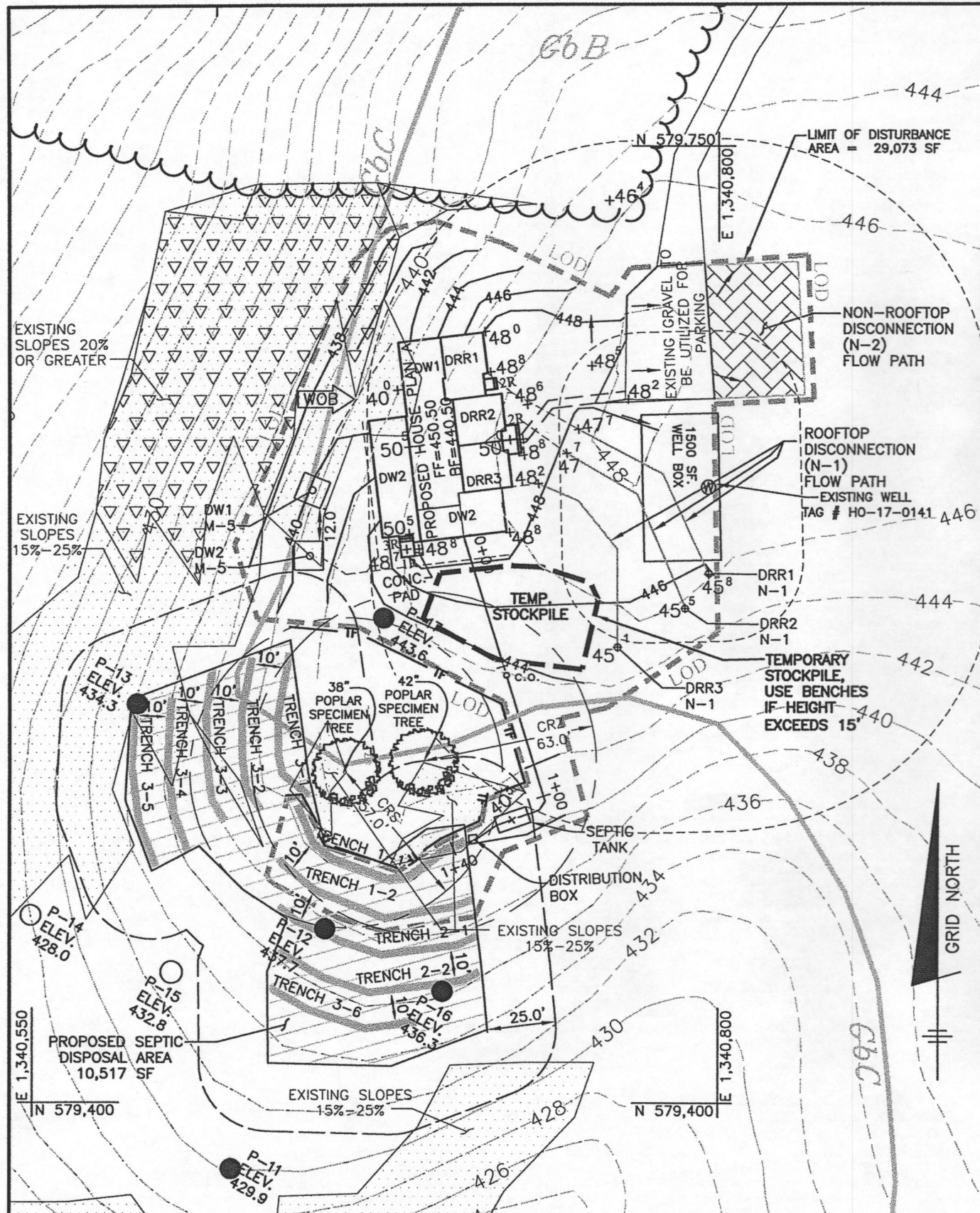


FEMA FIRM No. 24027C0070D
ZONE: X
DATED: 11/6/2013

**WALL CHECK
CARROLL MILL FARM
PARCEL 'B'**

**PLAT NO. 12425
TAX MAP: 23, GRID: 10, PARCEL: P/O 130
4044 MANOR LANE**

3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FIELD OBS. BY PJ
COMP. BY DAM
DRAWN BY EWF SCALE: 1" = 500' DATE: REV 02/16/2021



PLAN VIEW
1" = 50'

BUILDING PERMIT PLAN NOTES:

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR CARROLL MILL, PLAT Nos. 12425. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-17-0141) HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC. AND IS SHOWN IN ACCORDANCE WITH THEIR SURVEY.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM A FIELD RUN TOPOGRAPHIC SURVEY BY BENCHMARK ENGINEERING, INC., ON OR ABOUT JANUARY, 2017.
4. SEDIMENT AND EROSION CONTROLS WILL BE DONE AS A STANDARD PLAN SINCE THE PARCEL IS GREATER THAN 2 ACRES, THE LIMIT OF DISTURBANCE IS LESS THAN 30,000 SF, CUT AND FILLS ARE LESS THAN 1000 CY AND 10 VERTICAL FEET, AND LOD IS OUTSIDE ENVIRONMENTAL FEATURES BY MORE THAN THE REQUIRED DISTANCES."
5. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
6. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
7. ANY CHANGES TO A PRIVATE SEWAGE EASEMENT OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. STORMWATER MANAGEMENT FOR THIS LOT WAS DESIGNED TO BE PROVIDED BY DRYWELLS, NON-ROOFTOP AND ROOFTOP DISCONNECTION.

LEGEND

- 480 EXISTING CONTOURS
- EXISTING TREELINE
- LIMIT OF SUBMISSION
- PROPOSED SEPTIC AREA
- WELL BOX
- SOILS DELINEATION
- FAILING TEST LOCATION (10/16)
- PASSING TEST LOCATION (10/16)

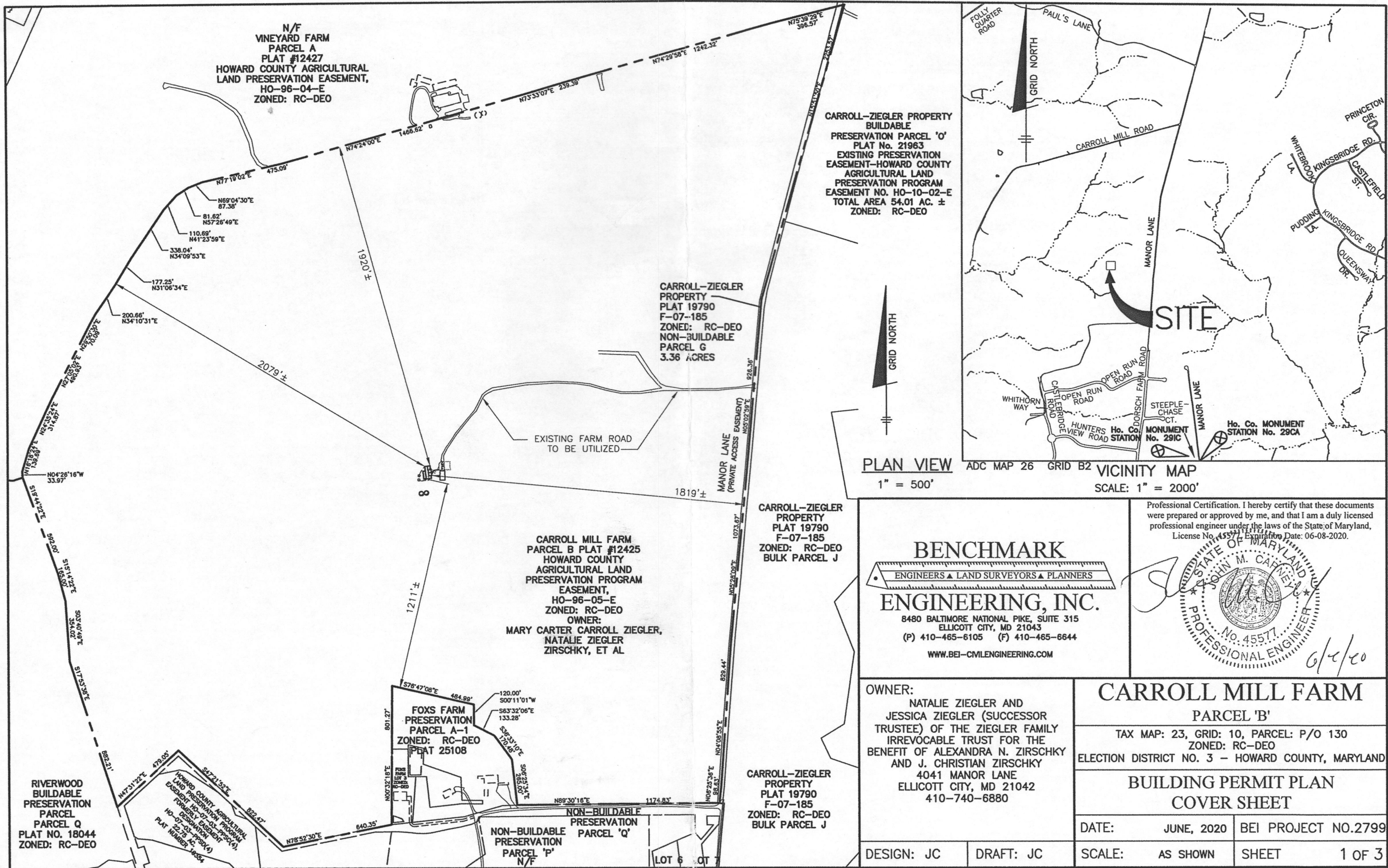
BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
ELLICOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 ▲ FAX: 410-465-6644
BEI@BEI-CVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.



OWNER: NATALIE ZIEGLER AND JESSICA ZIEGLER (SUCCESSOR TRUSTEE) OF THE ZIEGLER FAMILY IRREVOCABLE TRUST FOR THE BENEFIT OF ALEXANDRA N. ZIRSCHKY AND J. CHRISTIAN ZIRSCHKY 4044 MANOR LANE ELLICOTT CITY, MD 21042 410-740-6880		PROJECT: CARROLL MILL FARM PARCEL 'B'	
		LOCATION: TAX MAP: 23, GRID: 10, PARCEL: P/O 130 ZONED: RC-DEO ELECTION DISTRICT NO. 3 - HOWARD COUNTY, MARYLAND	
		TITLE: BUILDING PERMIT PLAN	
		HOUSE TYPE: ZIEGLER-ZIRSCHKY RESIDENCE	
DATE:	JUNE, 2020	PROJECT NO.	2799
DESIGN:	JC	DRAFT:	LD
SCALE: 1" = 50'		DRAWING 2 OF 3	



N/F VINEYARD FARM PARCEL A PLAT #12427 HOWARD COUNTY AGRICULTURAL LAND PRESERVATION EASEMENT, HO-96-04-E ZONED: RC-DEO

CARROLL-ZIEGLER PROPERTY BUILDABLE PRESERVATION PARCEL 'O' PLAT No. 21963 EXISTING PRESERVATION EASEMENT-HOWARD COUNTY AGRICULTURAL LAND PRESERVATION PROGRAM EASEMENT NO. HO-10-02-E TOTAL AREA 54.01 AC. ± ZONED: RC-DEO

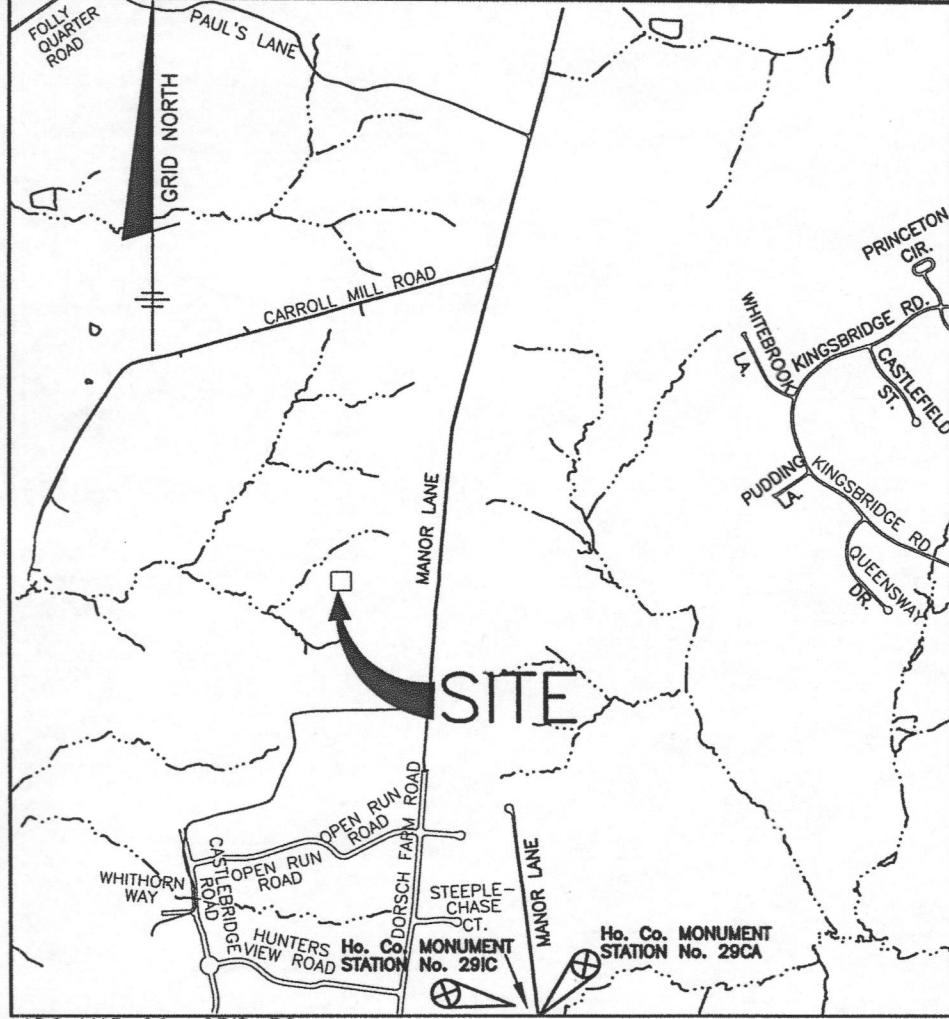
CARROLL-ZIEGLER PROPERTY PLAT 19790 F-07-185 ZONED: RC-DEO NON-BUILDABLE PARCEL G 3.36 ACRES

CARROLL MILL FARM PARCEL B PLAT #12425 HOWARD COUNTY AGRICULTURAL LAND PRESERVATION PROGRAM EASEMENT, HO-96-05-E ZONED: RC-DEO OWNER: MARY CARTER CARROLL ZIEGLER, NATALIE ZIEGLER ZIRSCHKY, ET AL

FOXES FARM PRESERVATION PARCEL A-1 ZONED: RC-DEO PLAT 25108

RIVERWOOD BUILDABLE PRESERVATION PARCEL Q PLAT NO. 18044 ZONED: RC-DEO

CARROLL-ZIEGLER PROPERTY PLAT 19790 F-07-185 ZONED: RC-DEO BULK PARCEL J



PLAN VIEW 1" = 500'

VICINITY MAP ADC MAP 26 GRID B2 SCALE: 1" = 2000'

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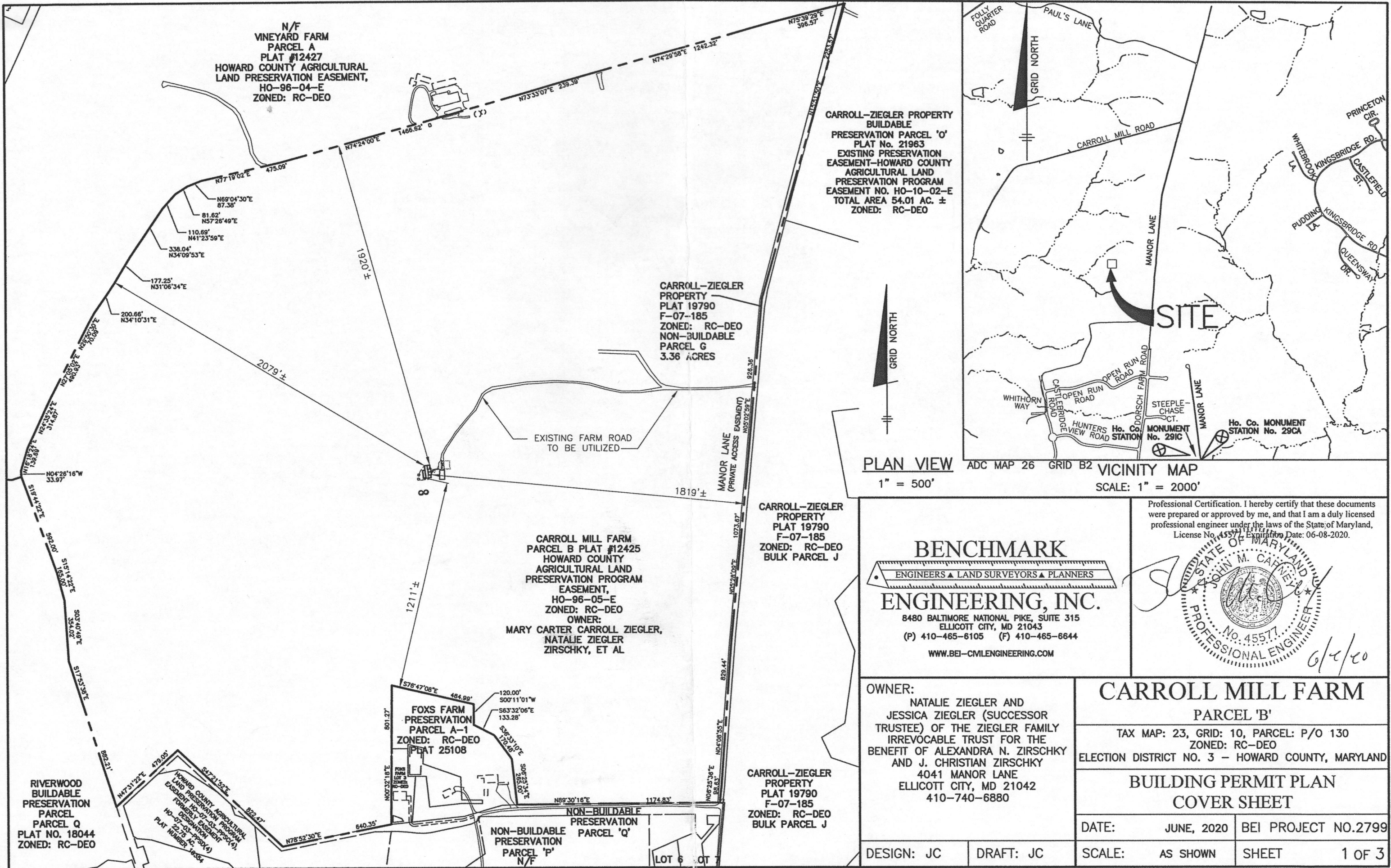


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 4041 MANOR LANE
 ELLICOTT CITY, MD 21042
 410-740-6880

CARROLL MILL FARM PARCEL 'B'
 TAX MAP: 23, GRID: 10, PARCEL: P/O 130
 ZONED: RC-DEO
 ELECTION DISTRICT NO. 3 - HOWARD COUNTY, MARYLAND

BUILDING PERMIT PLAN COVER SHEET

DESIGN: JC	DRAFT: JC	DATE: JUNE, 2020	BEI PROJECT NO.2799
SCALE: AS SHOWN		SHEET 1 OF 3	



PLAN VIEW
1" = 500'

VICINITY MAP
ADC MAP 26 GRID B2
SCALE: 1" = 2000'

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STATE OF MARYLAND
JOHN M. CAFFEY
No. 45577
PROFESSIONAL ENGINEER

6/2/20

OWNER:
NATALIE ZIEGLER AND
JESSICA ZIEGLER (SUCCESSOR
TRUSTEE) OF THE ZIEGLER FAMILY
IRREVOCABLE TRUST FOR THE
BENEFIT OF ALEXANDRA N. ZIRSCHKY
AND J. CHRISTIAN ZIRSCHKY
4041 MANOR LANE
ELLCOTT CITY, MD 21042
410-740-6880

CARROLL MILL FARM
PARCEL 'B'

TAX MAP: 23, GRID: 10, PARCEL: P/O 130
ZONED: RC-DEO
ELECTION DISTRICT NO. 3 - HOWARD COUNTY, MARYLAND

DESIGN: JC DRAFT: JC

**BUILDING PERMIT PLAN
COVER SHEET**

DATE:	JUNE, 2020	BEI PROJECT NO.2799
SCALE:	AS SHOWN	SHEET 1 OF 3