

Approved  
4/15/25 MRL

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B25001139	03/26/2025

**Description of Work**  
 SFD/ ALTERATIONS TO INCLUDE: MAIN FLOOR - REMODEL KITCHEN, SECOND FLOOR - REMODEL OWNER BATH TO INCLUDE RELOCATION OF SOME FIXTURES; BASEMENT- FINISH EXISTING RECROOM TO INCLUDE WET BAR, REPLACE DRYWALL AND INSULATION FROM WATER DAMAGE; APX 1180 SQ FT. EXTERIOR - REMOVE FRONT PORCH INCLUDING SLAB FOUNDATION, CONSTRUCT NEW 8 X 35 PORCH

Online BP.  
 9/8 4/14/25

[check spelling](#)

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
16125	ED WARFIELD	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-77.07691	39.2919
City	State	Zip Code	Primary
WOODBINE	MD	21797	Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
315065	277	1	237500	669300	395800	RURAL

**Legal Description**  
 LOT 1 1.00 A [ ]16125 ED WARFIELD RD [ ]OAKDALE

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
23	1	605601	5				
Plan Area	State Tax Id	Subdivision Name					
	1404369661	OAKDALE					
Section	Area	Tax Map					
		13					
Grid	Zoning District	ADC Map					
13-17	RC-DEO	4811-H4					
SDP No.	Final Plan No.	WP File No.					
	F-05-127		Primary				
Record Plat No.	WS Contract No.	FDP No.	Yes				
17633							
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2007	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-08	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name  
 OCONI

Address Line 1  
 16125 ED WARFIELD RD

Address Line 2

Address Line 3

Mail City  
 WOODBINE

Mail State  
 MD

Mail Zip Code  
 21797

Phone  
 301-318-5760

Primary  
 Yes

E-mail

Cell Number                      Fax Number

**Professionals** (This section is not required.)

**License #**  
7714

**Business Name**  
CUMBERLAND DEVELOPMENT CUSTOM HOMES LLC

**License Type**  
Home Bldr

**Primary**  
Yes

**First Name**  
CURTIS

**Middle Name**

**Last Name**  
CUMBERLAND

**Address Line 1**  
4132 SALEM BOTTOM ROAD

**Address Line 2**

**City**  
WESTMINSTER

**State**  
MD

**ZIP Code**  
21157

**Phone 1**  
301-252-1122

**Phone 2**  
301-370-4145

**Fax**

**E-mail**  
CUMBERLANDDEVCUSTOMHOMES@GMAIL.COM

**Applicant** (This section is not required.)

**Search**    **As Owner**    **As Lic. Prof**    **As Contact**

**Type**  
Applicant

**Relationship**  
Applicant

**Primary**  
No

**First Name**  
CURTIS

**MI**

**Last Name**  
CUMBERLAND

**Full Name**

**Organization Name**  
CUMBERLAND DEVELOPMENT CUSTOM HOMES LLC

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**Contact** (This section is not required.)

**Search**    **As Owner**    **As Lic. Prof**    **As Contact**

**Type**  
Contact

**Relationship**  
Licensed Professional

**Primary**  
Yes

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CUMBERLANDDEVCUSTOMHOMES@GMAIL.COM

**Addtl Info**

**Est Construction Cost**  
300000

**Housing Units**  
0

**Number of Buildings**  
0

**Public Owned**  
No

**Construction Type**  
434 - Additions, Alterations and Conversions - Residential

**RESIDENTIAL ALTERATION INFO**

**RESIDENTIAL ALTERATION INFORMATION**

**Total Square Footage**  
1180

**No of Stories**  
SQFT (Number) 3

**Basement**  
(Number) Partially Finished

**Bedrooms**  
4

**Full Baths**  
(Number) 1

**Half Baths**  
(Number) 1

**Water**  
(Number) Private

**Sewage**  
Private

Existing Utilities  
Electric

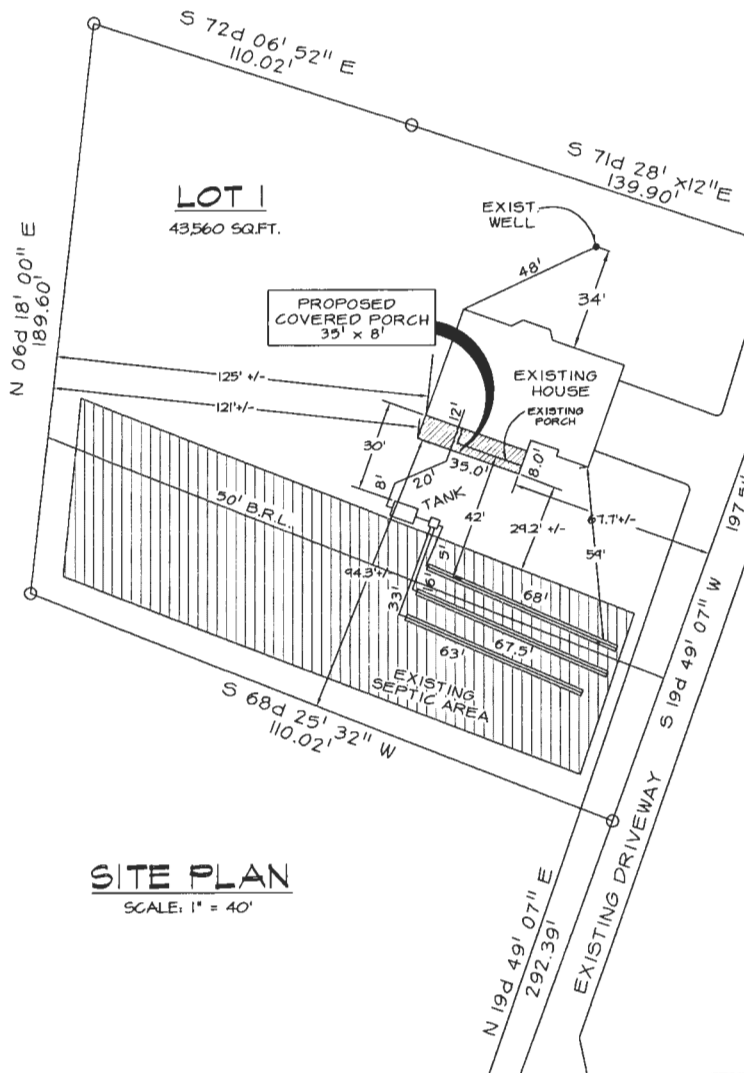
Existing Heating System  
Electric

Existing Sprinkler System  
None

Type of New Fireplace  
--Select--

Expiration Date  
10/7/2025

Submit Cancel



DRAWING PREPARED BY:  
 CADDWORKS, INC.  
 3/1/25

FROM PLAT 17633 ON 8-5-05  
 AND HEALTH DEPT. RECORDS DATED 12-15-06

TAX MAP 13 PARCEL 277 GRID 23  
 FOURTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

**SITE PLAN**  
 SCALE: 1" = 40'

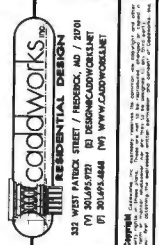
ADDITION / RENOVATION @:  
**O'CONNELL RESIDENCE**  
 16125 ED WARFIELD ROAD  
 WOODBINE, MARYLAND

SHEET NO.  
**ST-1**

ADDITION / RENOVATION @:

# O'CONNELL RESIDENCE

16125 ED WARFIELD ROAD  
WOODBINE, MARYLAND



DATE	DESCRIPTION
10-20-2024	PERMITS
10-20-2024	PERMITS
10-20-2024	PERMITS
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10-20-2024	PERMITS

PERMIT DRAWINGS Issued: 3-23-35

COVER PAGE & GENERAL NOTES

## GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM WITH THE 2024 INTERNATIONAL RESIDENTIAL CODE (IRC).
- ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL ORDINANCES.
- THE DESIGNER'S RESPONSIBILITY FOR DESIGNING LIVE LOADS FOR ALL NEW FRAMING MATERIALS IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE GENERAL NOTES.
- THE DESIGNER'S RESPONSIBILITY FOR DESIGNING LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:
  - FLOOR LOAD (L1)
  - CEILING LOAD (L2)
  - ROOF LIVE LOAD (L3)
  - ROOF DEAD LOAD (L4)
  - WIND LOAD (L5)
  - ICE LOAD (L6)
  - SEISMIC LOAD (L7)
  - IMPACT LOAD (L8)
  - CRACKING LOAD (L9)
  - SHRINKAGE LOAD (L10)
  - TEMPERATURE LOAD (L11)
  - SOIL LOAD (L12)
  - FOUNDATION LOAD (L13)
  - RETAINING WALL LOAD (L14)
  - PILE CAP LOAD (L15)
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  - SEISMIC DESIGN CATEGORY: B
  - SEISMIC RESPONSE COEFFICIENT (R): 0.07
  - SEISMIC IMPORTANCE FACTOR (I): 1.0
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- ALL HOOD FRAMING SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR HOOD CONSTRUCTION PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION.
- ALL NEW LINERS SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER. ALL NEW PRESSURE TREATED LINERS SHALL BE SOUTHERN PINE NO. 2 OR BETTER.
- WALLS OF ALL HOOD FRAMING SHALL MEET THE MINIMUM RECOMMENDED REQUIREMENTS PROVIDED IN THE WALLS SCHEDULE OF THE IRC BUILDING CODE.
- PROVIDE DOUBLE JOISTS OR HEADERS ABOVE EACH SIDE OF FLOOR OR ROOF OPENING UNDER THE CENTERLINE OF PARTITION WALLS PARALLEL TO JOIST SPANS AND ABOVE ALL WALL OPENINGS UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL CUT OR NOTCH THE HOOD FRAMING ONLY AS REQUIRED AND IN ACCORDANCE WITH THE IRC BUILDING CODE, THE NATIONAL DESIGN SPECIFICATION FOR HOOD CONSTRUCTION, OR AS SHOWN ON THE CONTRACT DRAWINGS.
- PROVIDE DOUBLE OR TRIPLE STUDS AT ALL CORNERS, ENDS OF OPENINGS, AND BENEATH ALL HOOD BEAMS AND LEVELS UNLESS OTHERWISE INDICATED.
- HOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE TRUSS PLATE BREVETTES NATIONAL DESIGN SPECIFICATION FOR METAL PLATE CONNECTED HOOD TRUSS CONSTRUCTION FOR THE CORNER AND END CONNECTIONS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL HOOD TRUSSES INCLUDING MEMBER LAYOUT, HOOD SPICES AND BRACE MEMBER SIZES, TRUSS BRACING CONNECTION DETAILS, CAPACITY OF CONNECTION PLATES AND THE SIZE AND LOCATION OF ALL REQUIRED BRACING. THE CALCULATIONS AND SHOP DRAWINGS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE APPLICABLE STATE OR JURISDICTION REVIEWING THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE TRUSS TRUSS ENDVIEW OR BETTER THAN THE TRUSS LAYOUT INDICATED ON THE TRUSS SHOP DRAWINGS.



## SCOPE OF WORK:

RECONSTRUCTION OF EXISTING FRONT COVERED PORCH  
 RENOVATION OF EXISTING KITCHEN  
 RENOVATION OF EXISTING MASTER BATHROOM  
 RENOVATION OF EXISTING FINISHED BASEMENT

## VICINITY MAP



## DRAWING INDEX

CV	COVER PAGE / GENERAL NOTES
A1.0	FOUNDATION PLANS (PORCH)
A1.1	FIRST FLOOR PLANS (PORCH)
A1.2	SECOND FLOOR PLANS (PORCH)
A1.3	FRONT ELEVATION (PORCH)
A1.4	SIDE ELEVATIONS (PORCH)
A1.5	CROSS SECTION - A (PORCH)
A2.0	FIRST FLOOR PLANS (KITCHEN)
A2.1	INTERIOR ELEVATIONS (KITCHEN)
A3.0	SECOND FLR PLN (MASTER BATH)
A3.1	INTERIOR ELEVATIONS (MASTER BATH)
A4.0	FINISHED BASEMENT PLAN

FOR HOWARD COUNTY STAMP

ADDITION / RENOVATION @:

O'CONNELL RESIDENCE

16125 ED WARFIELD ROAD  
WOODBINE, MARYLAND

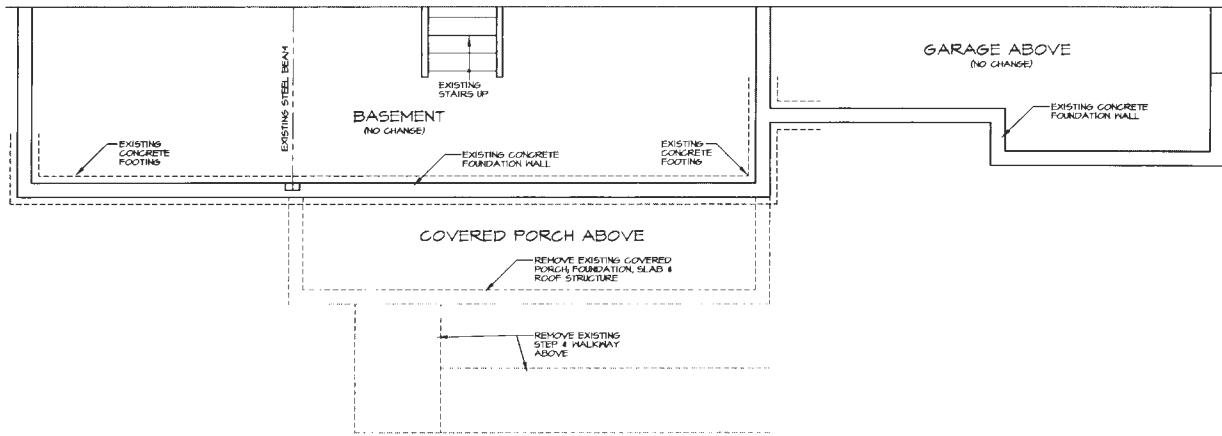
PERMIT DRAWINGS Issued: 3-23-35

COVER PAGE & GENERAL NOTES

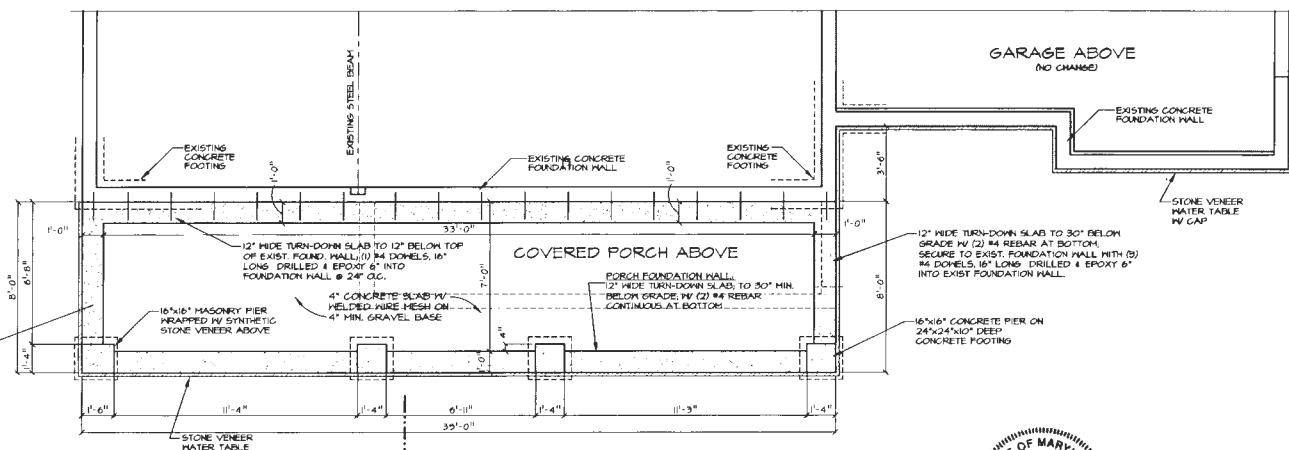
SHEET

CV

1001/O'CONNELL.P1



**EXISTING/DEMO FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a professional engineer duly licensed under the laws of the State of Maryland.  
License No. 24518 Expiration Date: 9/21/2025

FOR HOWARD COUNTY STAMP

PERMIT DRAWINGS Issued: 3-23-35

ADDITION / RENOVATION @:  
**O'CONNELL RESIDENCE**  
16125 ED MARFIELD ROAD  
WOODBINE, MARYLAND

SHEET  
**A1.0**

180107O'CONNELL\_P1

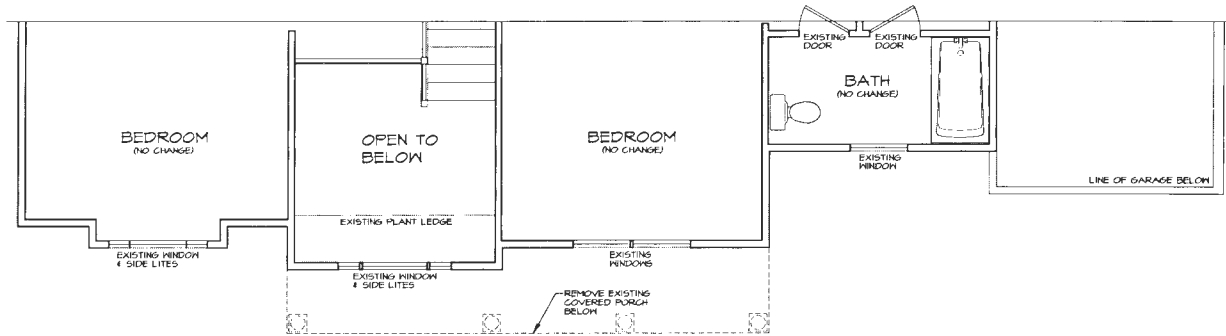
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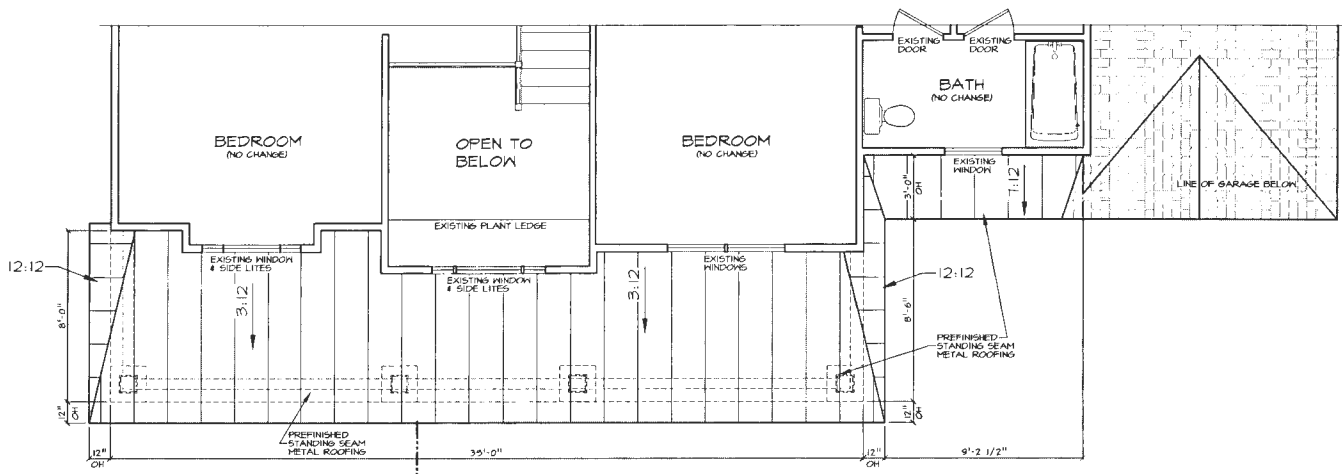
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1-8-2024	ACD	PRELIMINARY DESIGN
1-22-2024	ACD	PRELIMINARY DESIGN
2-12-2024	ACD	PRELIMINARY DESIGN
3-18-2024	ACD	PERMIT REVIEW
3-27-2025	AME	PERMIT DRAWINGS

**COVERED PORCH  
FOUNDATION PLANS**





**EXISTING/DEMO  
SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED SECOND FLOOR/ROOF PLAN**  
SCALE: 1/4" = 1'-0"



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License No. 24518 Expiration Date: 9/21/2025

FOR HOWARD COUNTY STAMP

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**O'CONNELL RESIDENCE**  
16125 ED WARFIELD ROAD  
WOODBINE, MARYLAND

**COVERED PORCH  
SECOND FLOOR PLANS**

- SUBMITTALS -

DATE	REVISIONS
1-29-2024	ALD PRELIMINARY DESIGN
7-22-2024	ALD PRELIMINARY DESIGN
8-15-2024	ALD PRELIMINARY DESIGN
9-18-2024	ALD PERMIT REVIEW
9-23-2025	ME PERMIT DRAWINGS

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PH: 301.643.0711 | E: DESIGN@CAADWORKS.NET  
PO BOX 23888 | FT. WASHINGTON, PA 19046-0888

SHEET  
**A1.2**



PHOTO OF EXISTING FRONT ELEVATION



PHOTO OF EXISTING FRONT/RIGHT ELEVATION



PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



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License No. 24518 Expiration Date: 9/21/2025

FOR HOWARD COUNTY STAMP

PERMIT DRAWINGS Issued: 3-23-35

ADDITION / RENOVATION @:  
**O'CONNELL RESIDENCE**  
16125 ED WARFIELD ROAD  
WOODBINE, MARYLAND

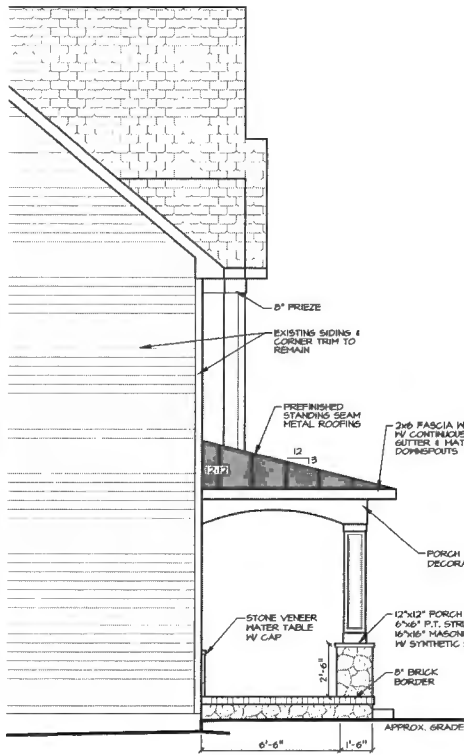
**PROPOSED FRONT ELEVATION**

SHEET  
**A1.3**

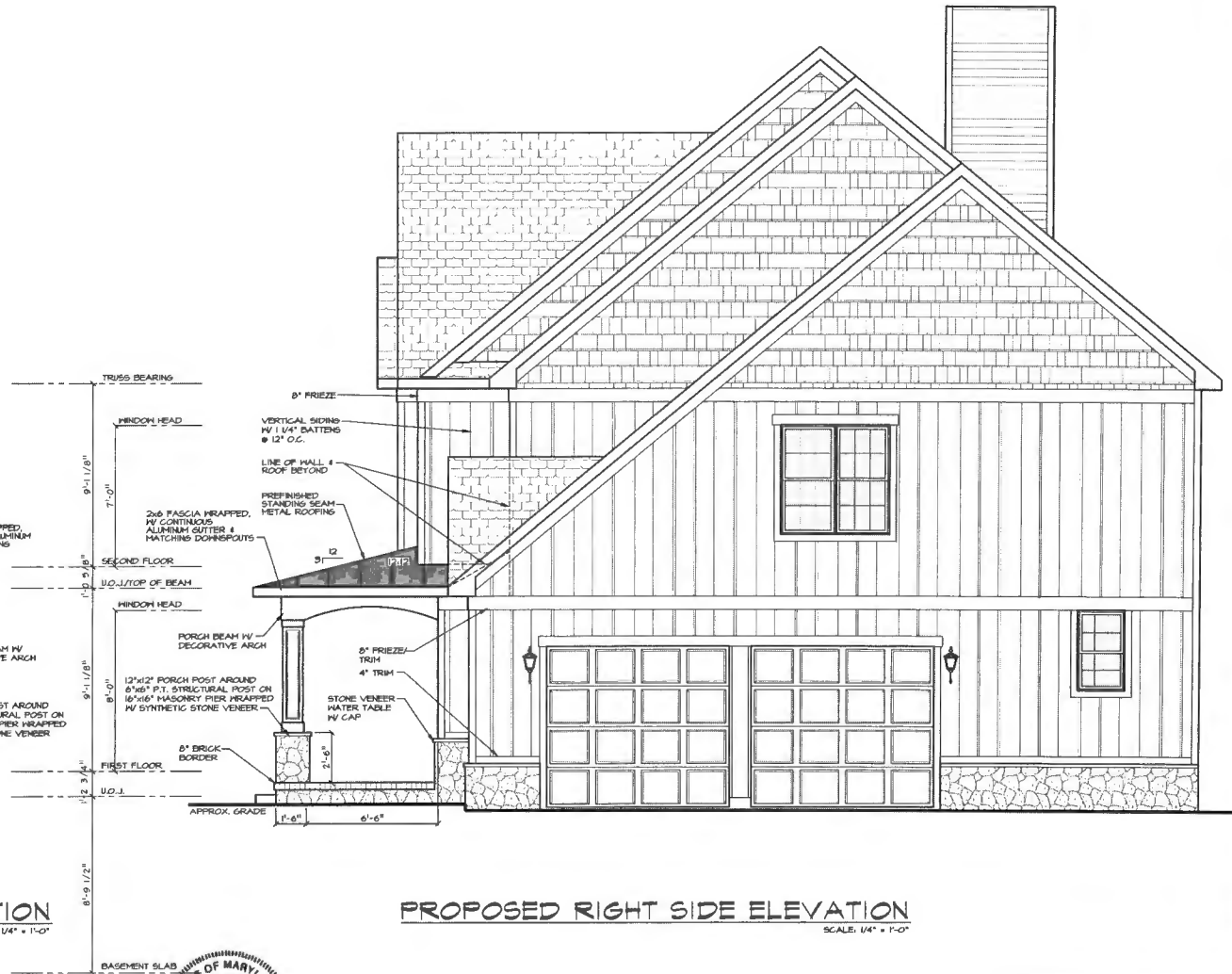
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1-10-2024	ALZ PRELIMINARY DESIGN
1-22-2024	ALZ PRELIMINARY DESIGN
2-15-2024	ALZ PRELIMINARY DESIGN
3-10-2024	ALZ PERMIT REVIEW
3-28-2025	ME PERMIT DRAWINGS



**PROPOSED LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



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WOODBINE, MARYLAND

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10-20-2024	ALD	PRELIMINARY DESIGN
1-22-2024	ALD	PRELIMINARY DESIGN
6-15-2024	ALD	PRELIMINARY DESIGN
6-18-2024	ALD	PERMIT REVIEW
3-23-2025	ME	PERMIT DRAWING

**PROPOSED  
RIGHT SIDE ELEVATION**

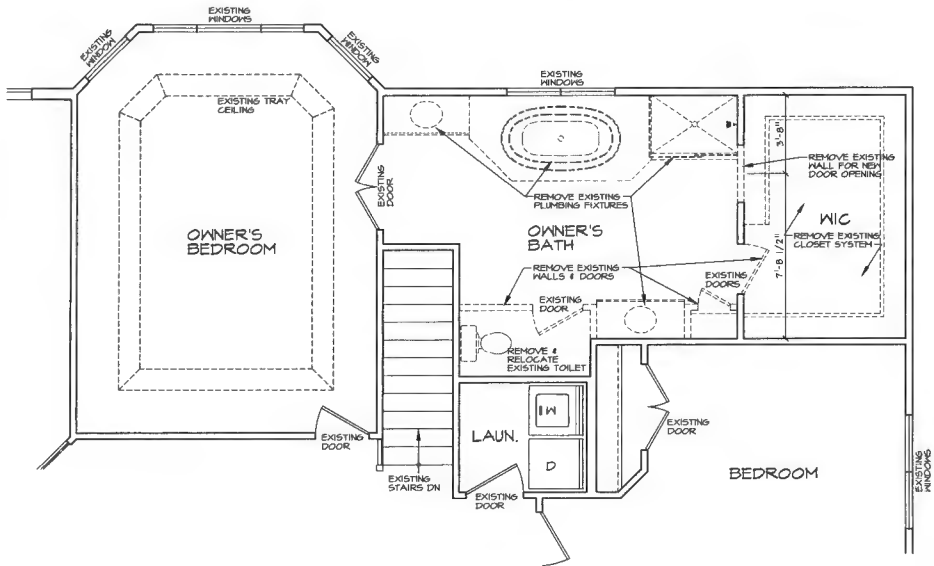
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SHEET  
**A1.4**  
1801/O'CONNELL.P1

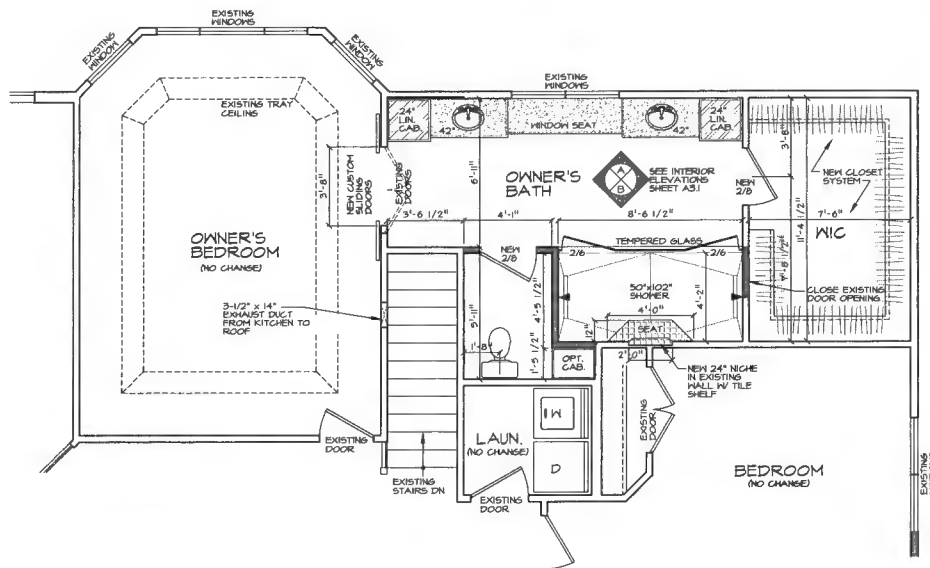
FOR HOWARD COUNTY STAMP







**EXISTING/DEMO  
SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED OWNER'S BATH**  
SCALE: 1/4" = 1'-0"

**DRAWING KEY**

EXISTING WALLS TO REMAIN	
NEW CONSTRUCTION WALLS	



PHOTOS OF EXISTING  
OWNER'S BATH

FOR HOWARD COUNTY STAMP

PERMIT DRAWINGS Issued: 3-23-35

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DATE	DESCRIPTION	REMARKS
7-8-2024	ALZ	PRELIMINARY DESIGN
7-22-2024	ALZ	PRELIMINARY DESIGN
8-15-2024	ALZ	PRELIMINARY DESIGN
8-16-2024	ALZ	PERMIT REVIEW
8-25-2025	ME	PERMIT DRAWINGS

**OWNER'S BATH  
FLOOR PLANS**

ADDITION / RENOVATION @:  
**O'CONNELL RESIDENCE**  
16125 ED WARFIELD ROAD  
MOODBINE, MARYLAND

SHEET  
**A3.0**  
1601/O'CONNELL.PI

ADDITION / RENOVATION @  
**O'CONNELL RESIDENCE**  
1625 ED WARFIELD ROAD  
WOODBINE, MARYLAND

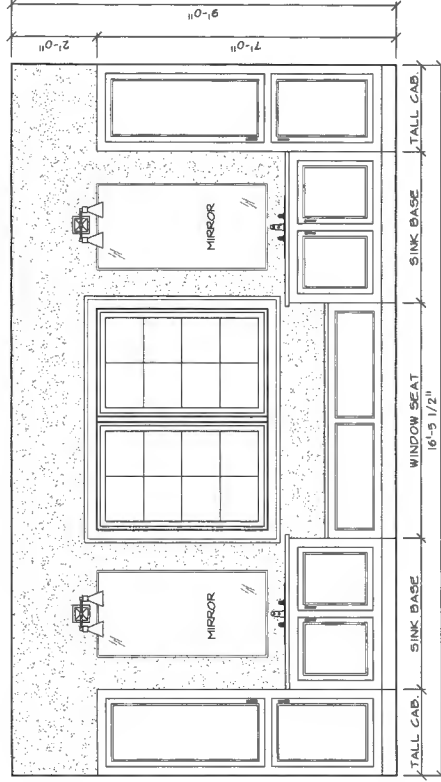
**OWNER'S BATH**  
INTERIOR ELEVATIONS

PERMIT DRAWINGS Issued: 3-23-35

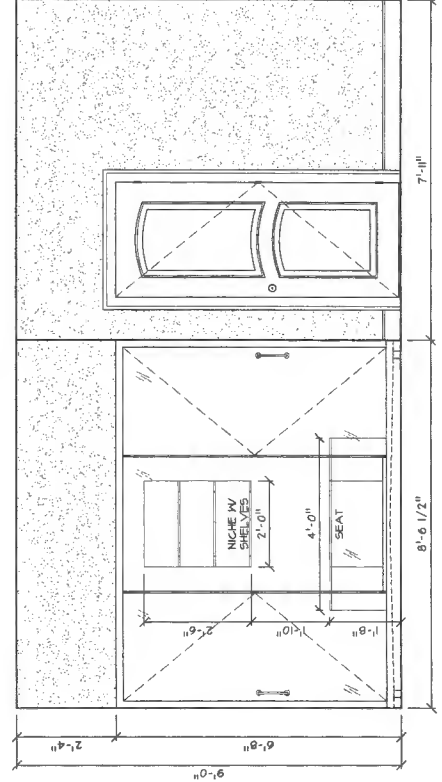
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DATE	DESCRIPTION
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1-2-2024	REVISED
7-22-2024	PRELIMINARY DESIGN
6-15-2024	PRELIMINARY DESIGN
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**INTERIOR ELEVATION - A**  
SCALE: 1/2" = 1'-0"



**INTERIOR ELEVATION - B**  
SCALE: 1/2" = 1'-0"



LAYOUT 12/11/06 INSP 4 12/15/06  
 INSP 2 12/12/06 INSP 5 \_\_\_\_\_  
 INSP 3 12/12/06 INSP 6 \_\_\_\_\_

ISSUE DATE: 11/16/06  
 APPROVAL DATE: 12/15/06

P 525641  
 A 519617

**PERMIT**  
**INDEXED**  
 TAX ID #04-369661

**ON-SITE SEWAGE DISPOSAL SYSTEM**  
**HOWARD COUNTY HEALTH DEPARTMENT**  
**BUREAU OF ENVIRONMENTAL HEALTH**

South Carroll Backhoe, Inc IS PERMITTED TO INSTALL  ALTER

ADDRESS: 4410 Salem Bottom Road PHONE NUMBER: 410-875-4197

SUBDIVISION: Mariani Property LOT NUMBER: 1

ADDRESS: 16125 Ed Warfield Road PROPERTY OWNER: Rachuba Homes Builder

SEPTIC TANK CAPACITY (GALLONS): 1250 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): n/a COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: 210

LINEAR FEET OF TRENCH REQUIRED: 199

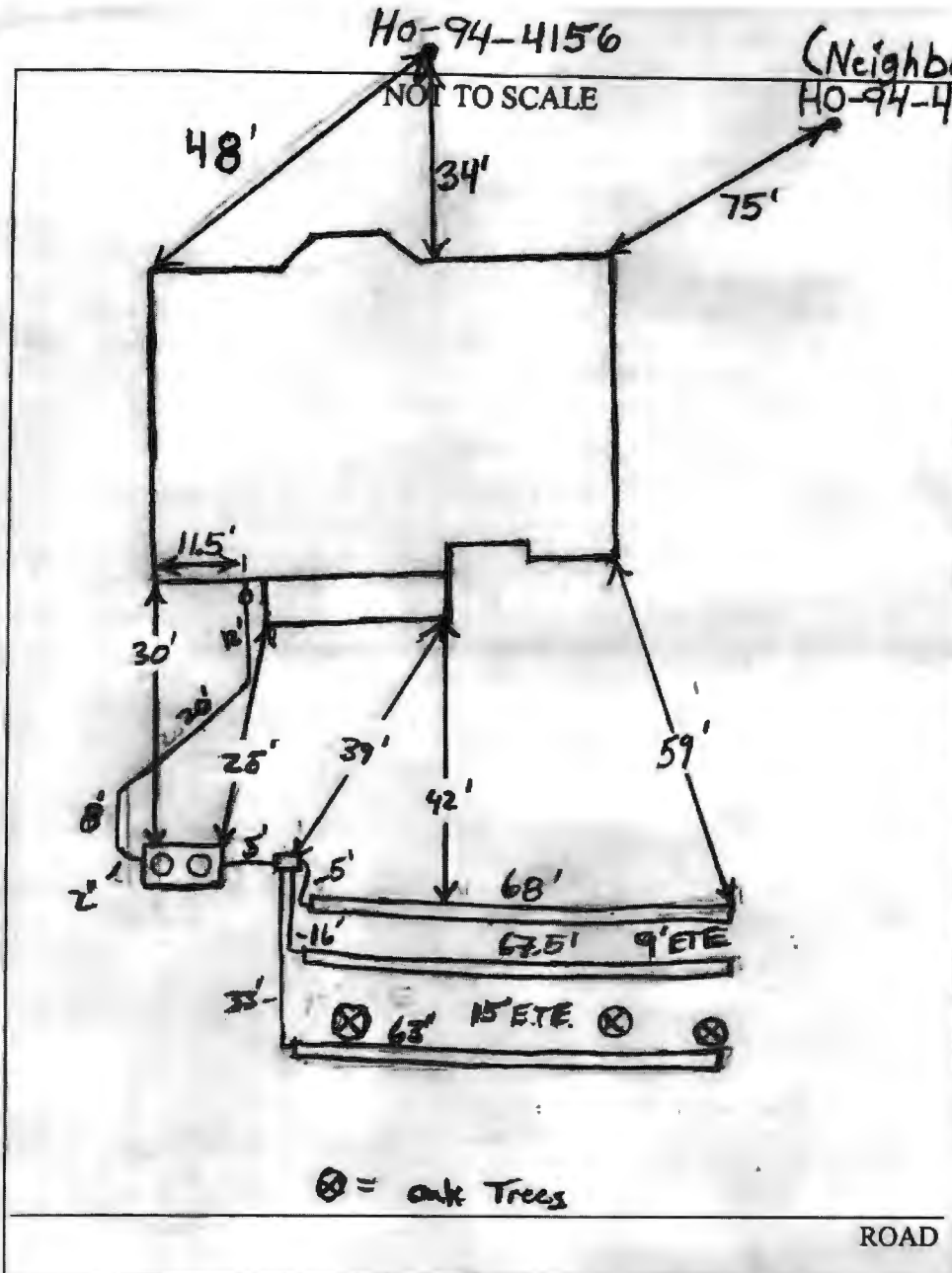
TRENCHES:	Trench to be 3.0 feet wide. Inlet 3.0 feet below original grade. Bottom maximum depth 8.0 feet below original grade. Effective area begins at 6.5 feet below original grade. 5.0 feet of stone below distribution pipe.
LOCATION:	Place the distribution box at the highest elevation in the approved SDA.
NOTES:	

PLANS APPROVED: Sara Fegel DATE: 3/23/06

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM**

A519617



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	2'	8'
NUMBER OF TRENCHES		3
TOTAL LENGTH		198.5'
ABSORPTION AREA		595.5' ±
DISTRIBUTION BOX LEVEL		Yes
(Treeless)		
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		No

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Level
3-bylon 2-comp CAPACITY	1500 GAL
SEAM LOC	Top
TANK LID DEPTH	2'
BAFFLES	Yes
BAFFLE FILTER	—
MANHOLE LOC	Front/Rear
6" PORT LOC	None
WATERTIGHT TEST	—
<del>SEPTIC TANK 2 LEVEL</del>	
<del>CAPACITY</del>	<del>_____ GAL</del>
<del>SEAM LOC</del>	<del>_____</del>
<del>TANK LID DEPTH</del>	<del>_____</del>
<del>BAFFLES</del>	<del>_____</del>
<del>BAFFLE FILTER</del>	<del>_____</del>
<del>MANHOLE LOC</del>	<del>_____</del>
<del>6" PORT LOC</del>	<del>_____</del>
<del>WATERTIGHT TEST</del>	<del>_____</del>

PRE-CONSTRUCTION 12/11/06 No one on site (PB) 12/12/06 Install the distribution box and trenches as shown on the building permit plan. Must remove large dead tree that is in the way of bottom trench. O.K. to make inlets as deep as 4' if required for gravity service. (PB)

12/13/06 Top 2 trenches finished. Contractor shot contour running toward right side of SDA. 12/15/06 System complete. Baffles installed in tanks. Boxes leveled out w/ jacks. Bottom trench installed. Had to run trench below trees (hence 15' E.T.E.). O.K. to cover (KID)

FINAL INSPECTOR Ku Wolf DATE OF APPROVAL 12/15/06