

Record Detail \* (This section is required.)

<b>Permit Type</b>	<b>Permit Number</b>	<b>Opened Date</b>
Building/Residential/New/SFD	B24004510	11/26/2024

**Description of Work**  
 SFD/ "DORCHESTER IV", 2 STORY, Full Basement, Basement = Partially Finished, 17R, 5FB, 1HB, 1FP, Intergral Garage, 4BR, N/A, ENERGY METHOD = Prescriptive Method, null/ \*4.24.25 REVISION REQUEST TO CHANGE HOUSTE TYPE TO 'FEDERAL HILL II'

Approved for SBDR design only, there is a full bath proposed in the basement. The current SOA cannot support any increase above SBDR. g 5/28/25

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

<b>Street #</b>	<b>Street Name</b>	<b>Street Type</b>
6500	OLD HILLTOP	CT
<b>Unit Type</b>	<b>Unit #</b>	<b>X Coordinate</b>
--Select--		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
HIGHLAND	MD	20777
	<b>Primary</b>	
	No	

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059959	0301	20.85	424300	424300	0	RURAL

**Legal Description**  
 LOT 3 20.85 A. [ ]6513 OLD HILLTOP CT [ ]CLARKSVILLE CROSSING

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
23	3	605101	5				
<b>Plan Area</b>	<b>State Tax Id</b>	<b>Subdivision Name</b>					
	1405344298	CLARKSVILLE CROSSING					
<b>Section</b>	<b>Area</b>	<b>Tax Map</b>					
		34					
<b>Grid</b>	<b>Zoning District</b>	<b>ADC Map</b>					
34-23	RR-DEO	4933-G10					
<b>SDP No.</b>	<b>Final Plan No.</b>	<b>WP File No.</b>					
	ECP-13-077						
<b>Record Plat No.</b>	<b>WS Contract No.</b>	<b>FDP No.</b>	<b>Primary</b>				
25134-2513			Yes				
<b>Owner Occupied</b>	<b>Year Built</b>	<b>Historic District</b>					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Historic District Registry No.</b>	<b>Stat Area</b>	<b>Flood Plain</b>					
	5-04A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Building No</b>							

Owner (This section is not required.)

Search Reset Clear

**Name \***  
 WILLIA

**Address Line 1**  
 5485 Harpers Farm Road, ST. 200

**Address Line 2**

**Address Line 3**

**Mail City**  
 Columbia

**Mail State**  
 MD

**Mail Zip Code**  
 21044

**Phone**  
 410-997-8800

**Primary**  
 Yes

**E-mail**

chriswine@williamsburgllc.com  
 Cell Number      Fax Number

**Professionals** (This section is not required.)

<b>License # *</b>	<b>Business Name</b>		
155	WILLIAMSBURG GROUP LLC		
<b>License Type *</b>	<b>First Name</b>	<b>Middle Name</b>	<b>Last Name</b>
Home Bldr	Chris		Wine
<b>Primary</b>	<b>Address Line 1</b>		
Yes	5485 HARPERS FARM ROAD SUITE 200		
	<b>Address Line 2</b>		
	<b>City</b>	<b>State</b>	<b>ZIP Code</b>
	COLUMBIA	MD	21044
	<b>Phone 1</b>	<b>Phone 2</b>	<b>Fax</b>
	4109978800		4109974358
	<b>E-mail</b>		
	CHRISWINE@WILLIAMSBURGLLC.COM		

**Applicant** (This section is not required.)

Search      As Owner      As Lic. Prof      As Contact

<b>Type *</b>	<b>First Name</b>	<b>MI</b>	<b>Last Name</b>
Applicant	Christine	M	Wine
<b>Relationship</b>	<b>Full Name</b>		
Applicant	Christine M Wine		
<b>Primary</b>	<b>Organization Name</b>		
No	Williamsburg Group LLC		
	<b>Street Address</b>		
	5485 Harpers Farm Road, Suite 200		
	<b>Address Line 2</b>		
	ST 200		
	<b>City</b>	<b>State</b>	<b>Zip Code</b>
	Columbia	MD	21044
	<b>Phone</b>	<b>Cell</b>	<b>Fax</b>
	4109978800		
	<b>E-mail *</b>		
	chriswine@williamsburgllc.com		

**Contact** (This section is not required.)

Search      As Owner      As Lic. Prof      As Contact

<b>Type</b>	<b>First Name</b>	<b>MI</b>	<b>Last Name</b>
Contact	Christine	M	Wine
<b>Relationship</b>	<b>Full Name</b>		
Applicant	Christine M Wine		
<b>Primary</b>	<b>Organization Name</b>		
Yes	Williamsburg Group LLC		
	<b>Street Address</b>		
	5485 Harpers Farm Road, Suite 200		
	<b>Address Line 2</b>		
	<b>City</b>	<b>State</b>	<b>Zip Code</b>
	Columbia	MD	21044
	<b>Phone</b>	<b>Cell</b>	<b>Fax</b>
	4109978800		
	<b>E-mail</b>		
	chriswine@williamsburgllc.com		

**Addl Info**

<b>Est Construction Cost *</b>	<b>Housing Units *</b>	<b>Number of Buildings *</b>	<b>Public Owned</b>
850000	1	1	No
<b>Construction Type</b>			
101 - Single Family Houses Detached			

**BUILDING INFORMATION**

Record Detail \* (This section is required.)

Permit Type Building/Residential/Misc/Tanks  
 Description of Work SFD//INSTALL (1) 1000 GAL UNDERGROUND PROPANE TANK  
 Permit Number B25004198  
 Opened Date 09/28/2025

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 6500 Street Name OLD HILLTOP Street Type CT  
 Unit Type --Select-- Unit # X Coordinate Y Coordinate  
 City HIGHLAND State MD Zip Code 20777 Primary Yes

Approved 9/29/25  


Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11062623	301	0	0	0	0	RURAL

Legal Description

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
23	11	605101	5				
Plan Area		State Tax Id		Subdivision Name			
				Clarksville Crossing			
Section		Area		Tax Map			
				34			
Grid		Zoning District		ADC Map			
34-23		RR-DEO		4933-H10			
SDP No.		Final Plan No.		WP File No.			
		ECP-13-077			Primary		
Record Plat No.		WS Contract No.		FDP No.	Yes		
26640-2664							
Owner Occupied		Year Built		Historic District			
<input type="radio"/> Yes <input type="radio"/> No				<input type="radio"/> Yes <input checked="" type="radio"/> No			
Historic District Registry No.		Stat Area		Flood Plain			
		5-04A		<input type="radio"/> Yes <input checked="" type="radio"/> No			
Building No							

Owner \* (This section is required.)

Search Reset Clear

Name \* HOND/  
 Address Line 1 11480 IAGER BLVD  
 Address Line 2  
 Address Line 3

**Mail City**  
 Fulton  
**Mail State**  
 MD  
**Mail Zip Code**  
 20759  
**Phone**  
 443-610-7514  
**Primary**  
 Yes  
**E-mail**  
  
**Cell Number**                      **Fax Number**

**Professionals** (This section is not required.)

**License # \***                      **Business Name**  
 20100102776                      N/A  
**License Type \***                      **First Name**                      **Middle Name**                      **Last Name**  
 Propane Gs                      ▼ ROBERT                      FRANCIS                      HINKLEMAN  
**Primary**                      **Address Line 1**  
 Yes                      ▼ 5260 WESTVIEW DR., STE. 200  
    **Address Line 2**  
  
**City**    **State**                      **ZIP Code**  
 FREDERICK    MD                      21703  
**Phone 1**                                      **Phone 2**                                      **Fax**  
 410-652-0050                                      855-965-5577  
**E-mail**  
 RHINKLEMAN@THOMPSONGAS.COM

**Applicant** (This section is not required.)

**Search**                      **As Owner**                      **As Lic. Prof**                      **As Contact**

**Type \***                                      **First Name**                                      **MI**                                      **Last Name**  
 Applicant                                      ▼ MICHELLE                                                                           CLANCY  
**Relationship**                                      **Full Name**  
 Applicant                                      ▼ MICHELLE CLANCY  
**Primary**                                      **Organization Name**  
 Yes                                      ▼ APPLIED & APPROVED PERMITS LLC  
    **Street Address**  
    P.O. BOX 310  
    **Address Line 2**  
  
**City**    **State**                                      **Zip Code**  
 PERRY HALL    MD                                      ▼ 21128  
**Phone**    **Cell**    **Fax**  
 443-340-1229  
**E-mail \***  
 MICHELLE@APPLIEDANDAPPROVED.COM

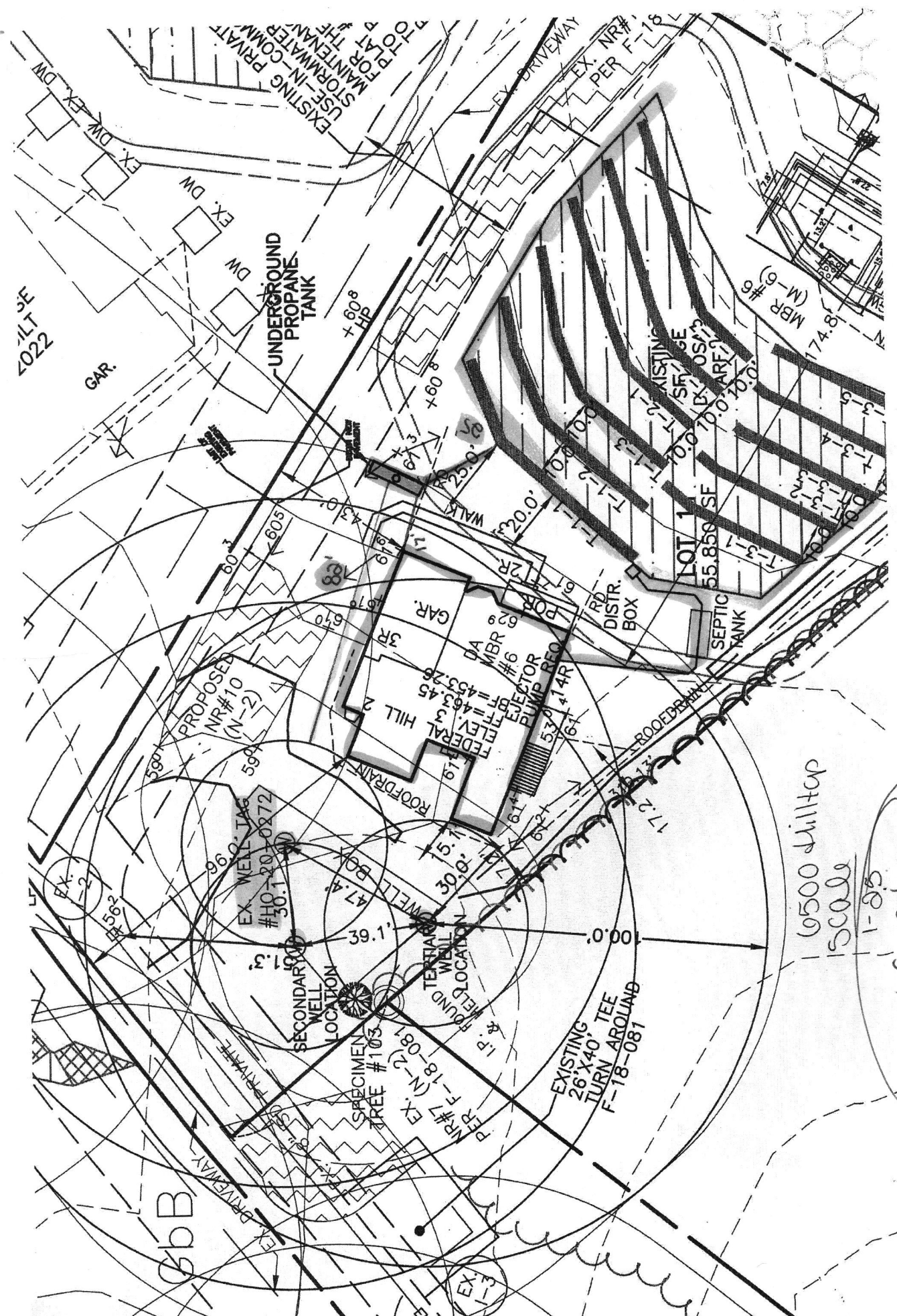
**Addtl Info**

**Est Construction Cost \***                      **Housing Units \***                      **Number of Buildings \***                      **Public Owned**  
 1200                                      0                                      0                                      No  
**Construction Type**  
 329 - Structures Other Than Buildings (Retaining Walls/Tents)

**TANK INFORMATION**

**RESIDENTIAL TANK INFORMATION**

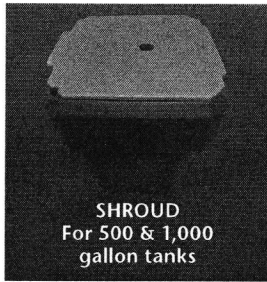
**Capital Project-No Fee \***                      **Capital Project Number**                      **Fee Exempt \***                      **Roadside Tree Project Permit \***                      **Roadside Tree Permit #**  
 Yes  No                       (Text)                       Yes  No                       Yes  No                       (Text)  
**Existing Use \***                      **Number of Tanks Installed \***                      **Number of Tanks Removed \***  
 SFD                      ▼ 1                      (Number) 0                      (Number)



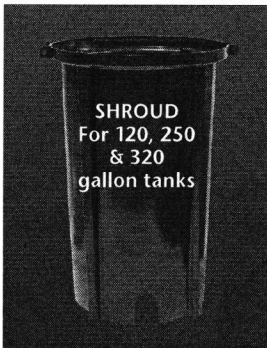
6500 hilltop  
 15000  
 1-85  
 Approved for LP tank  
 B25004198  
 9/29/25



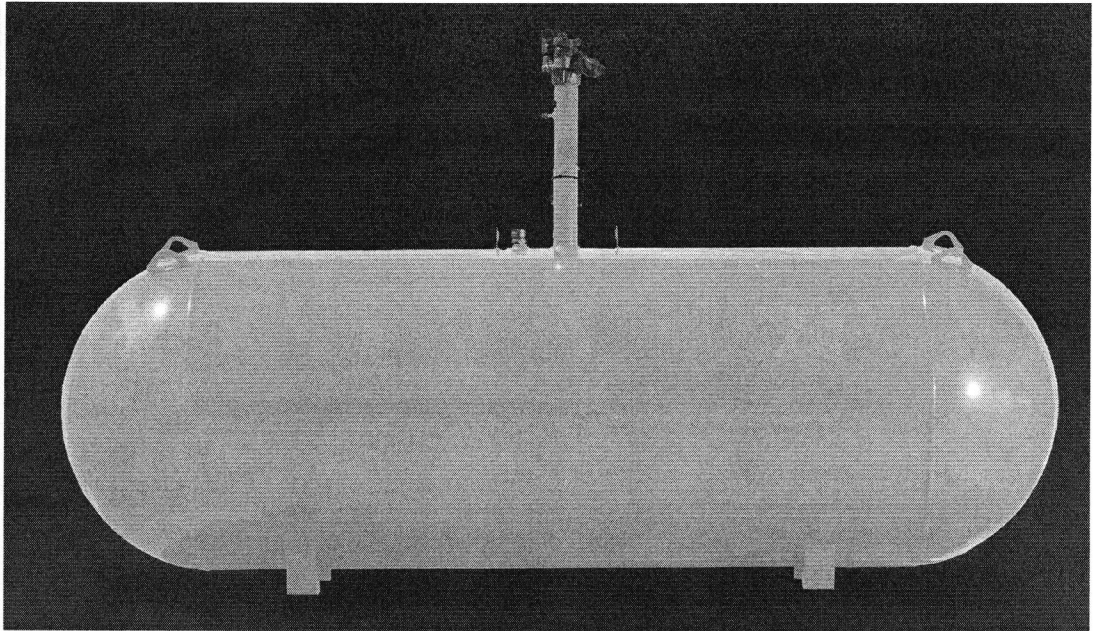
## UNDERGROUND PROPANE STORAGE TANKS 120 - 1000 Gallons



SHROUD  
For 500 & 1,000  
gallon tanks



SHROUD  
For 120, 250  
& 320  
gallon tanks



### PRESSURE VESSEL CODES & REGISTRATION

- Designed and constructed in accordance with the ASME Section VIII, Division 1 Code
- Registered with the National Board of Boiler & Pressure Vessels Inspectors
- Complies with NFPA 58
- Conforms to specifications set forth by the Railroad Commission of Texas

### PAINT SPECIFICATIONS

- Epoxy powder paint for maximum rust protection
- Tanks painted gray
- Ready to bury durable epoxy powder coating†

### SHROUD FEATURES (500 & 1,000 gallon)

- Durable construction
- Large opening for easy filling and maintenance
- Recessed markers to indicate proper burial depth
- Permanent hole for mounting location flag
- Access on sides for flexible riser connection
- New shroud available for 500 gallon and 1,000 gallon UG tanks, shroud dimensions:
  - \* Shroud for long riser 32 3/16" X 26 5/16"
  - \* Shroud for short riser 19 3/8" X 26 5/16"

### VESSEL FEATURES

- Tanks fully fitted with RegO valves and Rochester liquid level gauges
- Container pressure rated at 250 PSI @ 400°F
- Vacuum purged
- Duplicate data plate is zip tied on the riser pipe below the anode bolt connection for convenience
- Product is offered with 14" short or 28" tall risers
- Anode bolt connection located under the dome
- Short or tall plastic shroud assemblies (w/lid) supplied accordingly
- #54 liquid level outage valve orifice

### PROCESS CONTROL

All welded products are x-rayed and pressure tested @ 325 PSI per ASME Sec VIII, Div 1 requirements, followed by rigorous leak test inspections, both pre and post valving

### STORAGE & DISTRIBUTION

Contact Propane Education & Research Council for additional resources and information at [propane.com](http://propane.com)

Made With Pride



Made In the U.S.A.



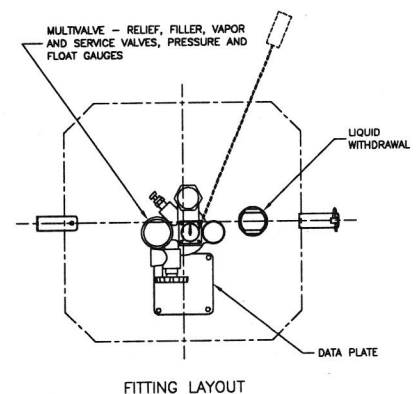
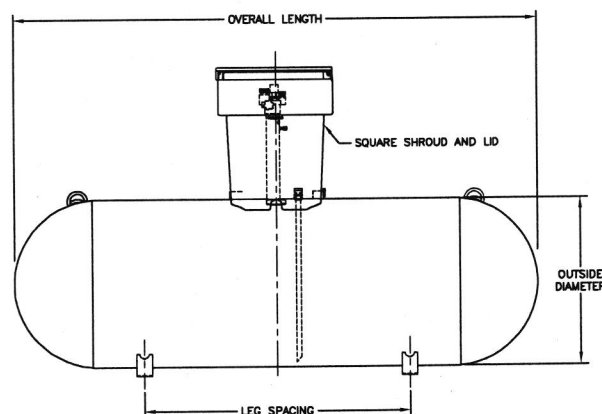
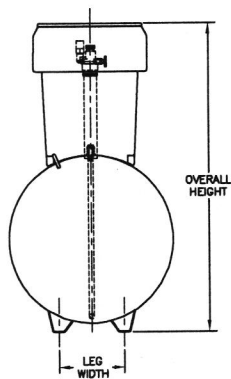
## UNDERGROUND PROPANE STORAGE TANKS 120 - 1000 Gallons

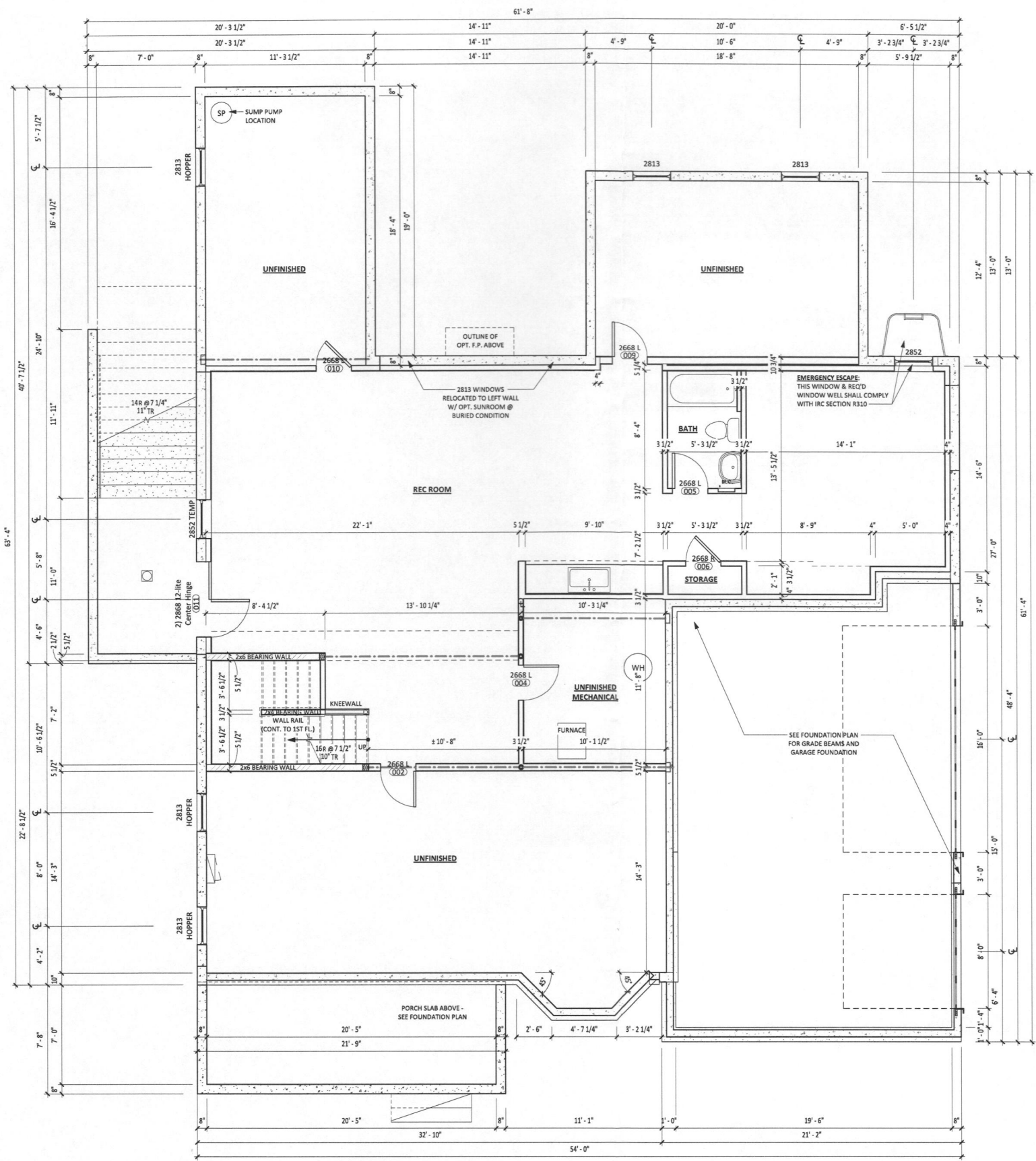
### UNDERGROUND VESSEL DIMENSIONS & SPECIFICATIONS

(All Vessel Dimensions are Approximate)

Part Number	Description	Water Capacity Gal/l	Outside Diameter In/mm	Head Type	Overall Length In/mm	Overall Riser Height In/mm		Leg Width In/mm	Leg Spacing In/mm	Weight Lbs/kg	Quantity	
						18" Riser	28" Riser				Full Load	Per Stack
68289	120 Gallon Underground LR Storage Tank	120 454.2	24" 609.6	Ellip	5' 8" 1727.2	- -	4' 7 13/16" 1417.6	10 1/8" 257.2	3' 0" 914.4	342 155.4	63	9
68269	120 Gallon Underground SR Storage Tank	120 454.2	24" 609.6	Ellip	5' 8" 1727.2	3' 9 1/4" 1149.4	- -	10 1/8" 257.2	3' 6" 914.4	329 149.2	72	9
68288	250 Gallon Underground LR Storage Tank	250 946.3	30" 762	Hemi	7' 10" 2387.6	- -	5' 1 9/16" 1563.7	12 3/4" 323.9	3' 6" 1066.8	494 224.1	42	7
68271	250 Gallon Underground SR Storage Tank	250 946.3	30" 762	Hemi	7' 10" 2387.6	4' 3" 1295.4	- -	12 3/4" 323.9	3' 6" 1066.8	480 217.7	42	7
68273	320 Gallon Underground LR Storage Tank	320 1211.3	30" 762	Hemi	9' 7" 2921	- -	5' 1 9/16" 1563.7	12 3/4" 323.9	4' 0 1/4" 1225.6	597 270.8	35	7
68285	320 Gallon Underground SR Storage Tank	320 1211.3	30" 762	Hemi	9' 7" 2921	4' 3" 1295.4	- -	12 3/4" 323.9	4' 0 1/4" 1225.6	593 269	35	7
68275	500 Gallon Underground LR Storage Tank	500 1892.7	37.5" 952.5	Hemi	9' 10" 2997.2	- -	5' 9 3/8" 1762.1	15" 381	5' 0" 1524	953 432.3	25	5
68286	500 Gallon Underground SR Storage Tank	500 1892.7	37.5" 952.5	Hemi	9' 10" 2997.2	4' 8 1/2" 1435.1	- -	15" 381	5' 0" 1524	949 430.5	25	5
68277	1000 Gallon Underground LR Storage Tank	1000 3785.4	41" 1041.4	Hemi	15' 11" 4851.4	- -	6' 3/16" 1849.4	16 1/4" 412.8	9' 0" 2743.2	1812 821.9	12	4
68287	1000 Gallon Underground SR Storage Tank	1000 3785.4	41" 1041.4	Hemi	15' 11" 4851.4	5' 0" 1524	- -	16 1/4" 412.8	9' 0" 2743.2	1793 813.3	12	4

† Federal, state or local regulations may contain specific applicable requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state, local and NFPA industry regulations, including, but not limited to, proper purging prior to putting into service. Cathodic protection is required. Coating(s) must be continuous, uninterrupted and must comply with local, state or national codes or regulations.





**1 UNFINISHED BASEMENT PLAN AT BURIED CONDITION**  
 1.1 1/4" = 1'-0"

- GENERAL FLOOR PLAN NOTES**
- All dimensions are from face of stud to face of stud, U.N.O.
  - All insulated exterior wall shall be nominal 2x6 wood stud @ 24" o.c., with 1/2" gypsum wallboard on interior side, R-21 batt insulation within stud cavities, and 7/16" OSB on exterior side, U.N.O.
  - All non-insulated exterior walls shall be nominal 2x4 wood stud @ 24" o.c., with 1/2" gypsum wallboard on interior side and 7/16" OSB on exterior side, U.N.O.
  - All interior bearing, stairwell, bathroom, and kitchen walls shall be nominal 2x4 (2x6 where noted) wood stud @ 16" o.c., with 1/2" gypsum wallboard on both sides, U.N.O. (except chases and similar dead spaces) w/ double top plate.
  - All other interior walls beyond those denoted in Note #4 shall be nominal 2x4 (2x6 where noted) wood stud @ 24" o.c., with 1/2" gypsum wallboard on both sides, U.N.O. (except chases and similar dead spaces) w/ single top plate.
  - All bathrooms without windows shall be vented to the outside.
  - Glass doors, tub and shower enclosures and side and side glass panels shall be tempered.
  - Per IRC Section R311.7.5, maximum riser height at stairs shall be 7 3/4", minimum tread depth shall be 10" with 1" nosing. Verify with any and all local ordinances, county and state code amendments.
  - Handrails shall have a height of 34" - 38" above the nosing of the tread, horizontal guards shall be minimum 36" above adjacent walking surface.
  - Window grille patterns per elevations.
  - Clothes dryer vent systems shall be independent of all other systems, and shall be vented to the exterior of the building. Flexible duct connectors shall not be concealed within walls or ceiling.
  - The clothes dryer exhaust vent size and length shall comply with IRC Section M1502 requirements.

(PER SQUARE FOOTAGE -METHOD FOR CALCULATING: ANSI Z765-2021)  
**STATEMENT OF FINISHED SQUARE FOOTAGE:**  
 FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

**WITH OPTIONAL SUNROOM & CUSTOM GUEST SUITE**

2093 SF	Second Floor
2347 SF	First Floor
4440 SF	Total Finished Above Grade
5632 SF	Total Finished Area
630 SF	Garage (Front Load & Sideload)
1150 SF	Basement (Unfinished & Below Grade)
1209 SF	Basement (Finished & Below Grade)

**MANGAN GROUP ARCHITECTS**  
 7034 CARROLL AVE, SUITE 3  
 TAKOMA PARK, MD 20912  
 (P) 301.589.7900  
 (F) 301.589.7911  
 WWW.MANGANGROUP.COM

**Architect's Professional Certification**  
 "I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 10378, Expiration Date: 06-11-2025."



**Builder Information**  
**WILLIAMSBURG HOMES**  
 WILLIAMSBURG GROUP, LLC  
 5485 HARPERS FARM RD  
 SUITE 200  
 COLUMBIA, MD 21044  
 (P) 410-964-4440

**Consultant's Professional Certification**

**Project Information**  
 Project Number: 25059  
 Project Name:  
**Federal Hill 2**

- Project Issue Status:**
- PRELIMINARY DESIGN
  - DESIGN DEVELOPMENT
  - PERMIT SUBMISSION
  - CONSTRUCTION DOCUMENTS
  - CONSTRUCTION ADMINISTRATION

Project Submission Issue Date:  
 04/02/2025

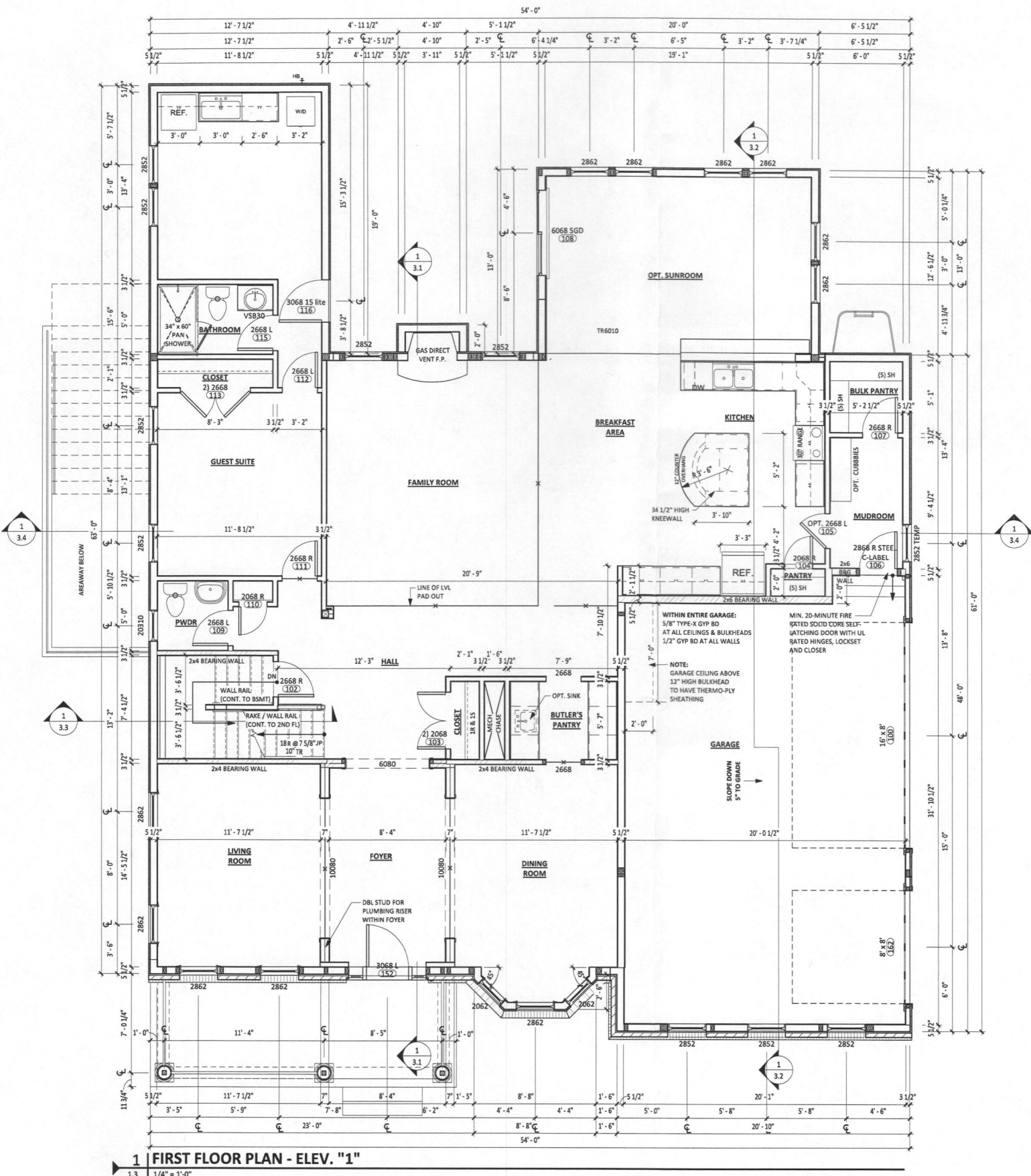
**Revision Log**

#	Date	Description

**Drawing Sheet Information**  
 Actual Plot Date:  
 4/2/2025 1:42:26 PM  
 Drawn By: HDM | Approved By: JJM  
 Scale:  
 As indicated  
 Full size original sheet is 24" x 36".  
 Do not scale drawings for measurements.  
 Call or email MGA for dimension clarifications.

Title:  
**Basement Floor Plan**  
 Sheet Number:  
**1.1**





**1 FIRST FLOOR PLAN - ELEV. "1"**  
 1.3 1/4" = 1'-0"

- GENERAL FLOOR PLAN NOTES** 08/20/2024
- All dimensions are from face of stud to face of stud, U.N.O.
  - All insulated exterior wall shall be nominal 2x6 wood stud @ 24" o.c., with 1/2" gypsum wallboard on interior side, R-21 batt insulation within stud cavities, and 7/16" OSB on exterior side, U.N.O.
  - All non-insulated exterior walls shall be nominal 2x4 wood stud @ 24" o.c., with 1/2" gypsum wallboard on interior side and 7/16" OSB on exterior side, U.N.O.
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  - Per IRC Section R311.7.5, maximum riser height at stairs shall be 7 3/4", minimum tread depth shall be 10" with 1" nosing. Verify with any and all local ordinances, county and state code amendments.
  - Handrails shall have a height of 34" - 38" above the nosing of the tread, horizontal guards shall be minimum 36" above adjacent walking surface.
  - Window grille patterns per elevations.
  - Clothes dryer vent systems shall be independent of all other systems, and shall be vented to the exterior of the building. Flexible duct connectors shall not be concealed within walls or ceiling.
  - The clothes dryer exhaust vent size and length shall comply with IRC Section M1502 requirements.

**MANGAN GROUP ARCHITECTS**  
 7034 CARROLL AVE, SUITE 3  
 TAKOMA PARK, MD 20912  
 (P) 301.589.7900  
 (F) 301.589.7911  
 WWW.MANGANGROUP.COM

**Architect's Professional Certification**  
 "I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 10378, Expiration Date: 06-11-2025."



**Builder Information**  
**WILLIAMSBURG HOMES**  
 WILLIAMSBURG GROUP, LLC  
 5485 HARPERS FARM RD  
 SUITE 200  
 COLUMBIA, MD 21044  
 (P) 410-964-4440

**Consultant's Professional Certification**

**Project Information**  
 Project Number: 25059  
 Project Name:  
**Federal Hill 2**

**Project Issue Status:**  
 PRELIMINARY DESIGN  
 DESIGN DEVELOPMENT  
 PERMIT SUBMISSION  
 CONSTRUCTION DOCUMENTS  
 CONSTRUCTION ADMINISTRATION

**Project Submission Issue Date:**  
 04/02/2025

**Revision Log**

#	Date	Description

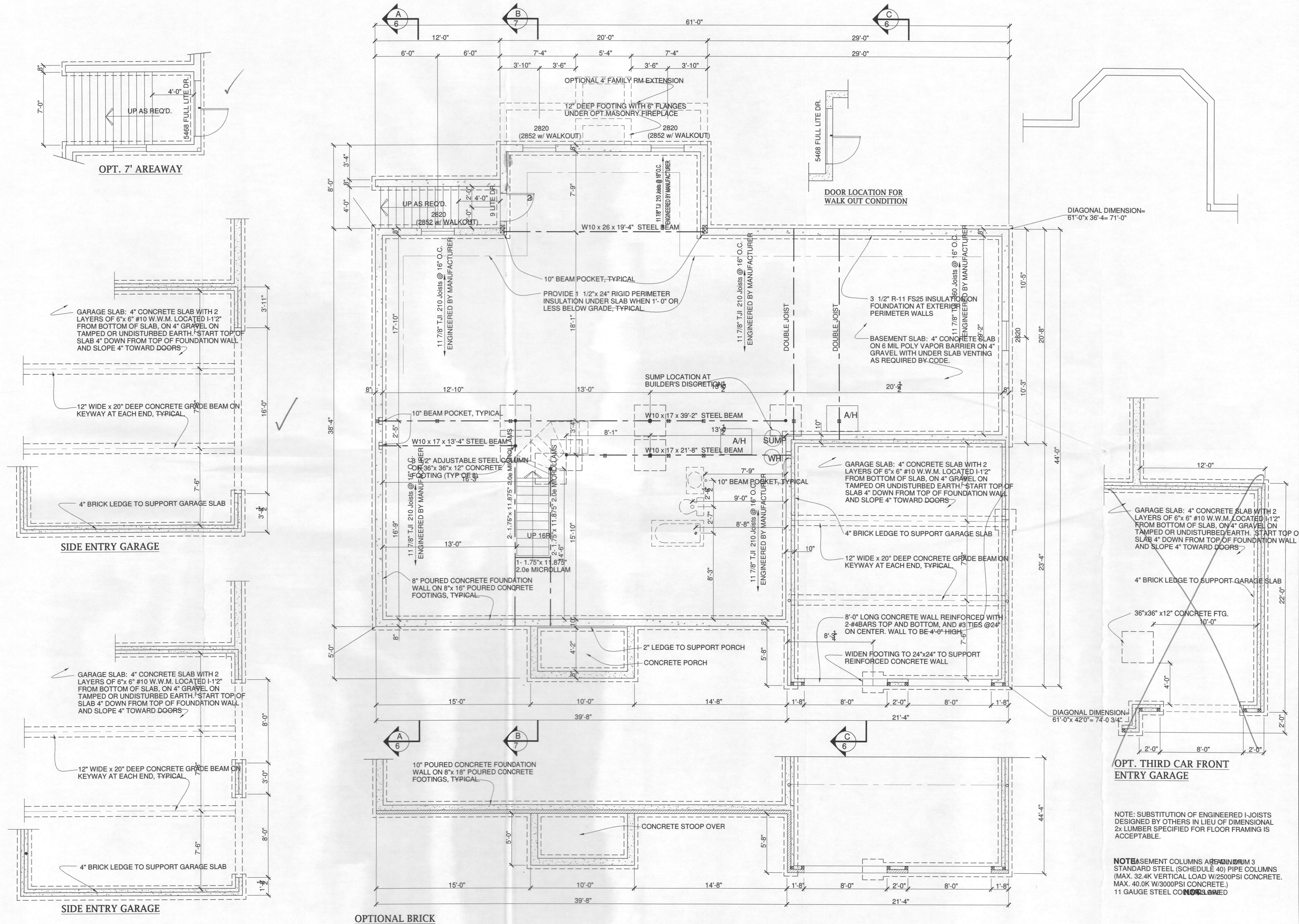
**Drawing Sheet Information**  
 Actual Plot Date:  
 4/2/2025 1:42:29 PM  
 Drawn By: HDM | Approved By: JIM  
 Scale:  
 As indicated  
 Full size original sheet is 24" x 36".  
 Do not scale drawings for measurements.  
 Call or email MGA for dimension clarifications.

Title  
**First Floor Plans**

Sheet Number  
**1.3**

C:\Users\jplugg\Documents\FederalHill2\F22-121 CD\_Clarkeville Lot 11\_bplugg.vt





DATE	REVISION
8/15	changed to 16\"/>

Date: 6/15  
 Scale: 1/4\"/>

Drawing: BSMT/FOUNDATION PLAN  
 Project: WILLIAMSBURG GROUP  
 DORCHESTER 4  
 ESTATE HOME

W23 D4  
 Project No.  
 2a

NOTE: SUBSTITUTION OF ENGINEERED I-JOISTS DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL 2x LUMBER SPECIFIED FOR FLOOR FRAMING IS ACCEPTABLE.

NOTE: BASEMENT COLUMNS ARE STANDARD STEEL (SCHEDULE 40) PIPE COLUMNS (MAX. 32.4K VERTICAL LOAD W/2500PSI CONCRETE. MAX. 40.0K W/3000PSI CONCRETE.) 11 GAUGE STEEL CONDUIT.

REVISED 8.23

# The Dorchester 4

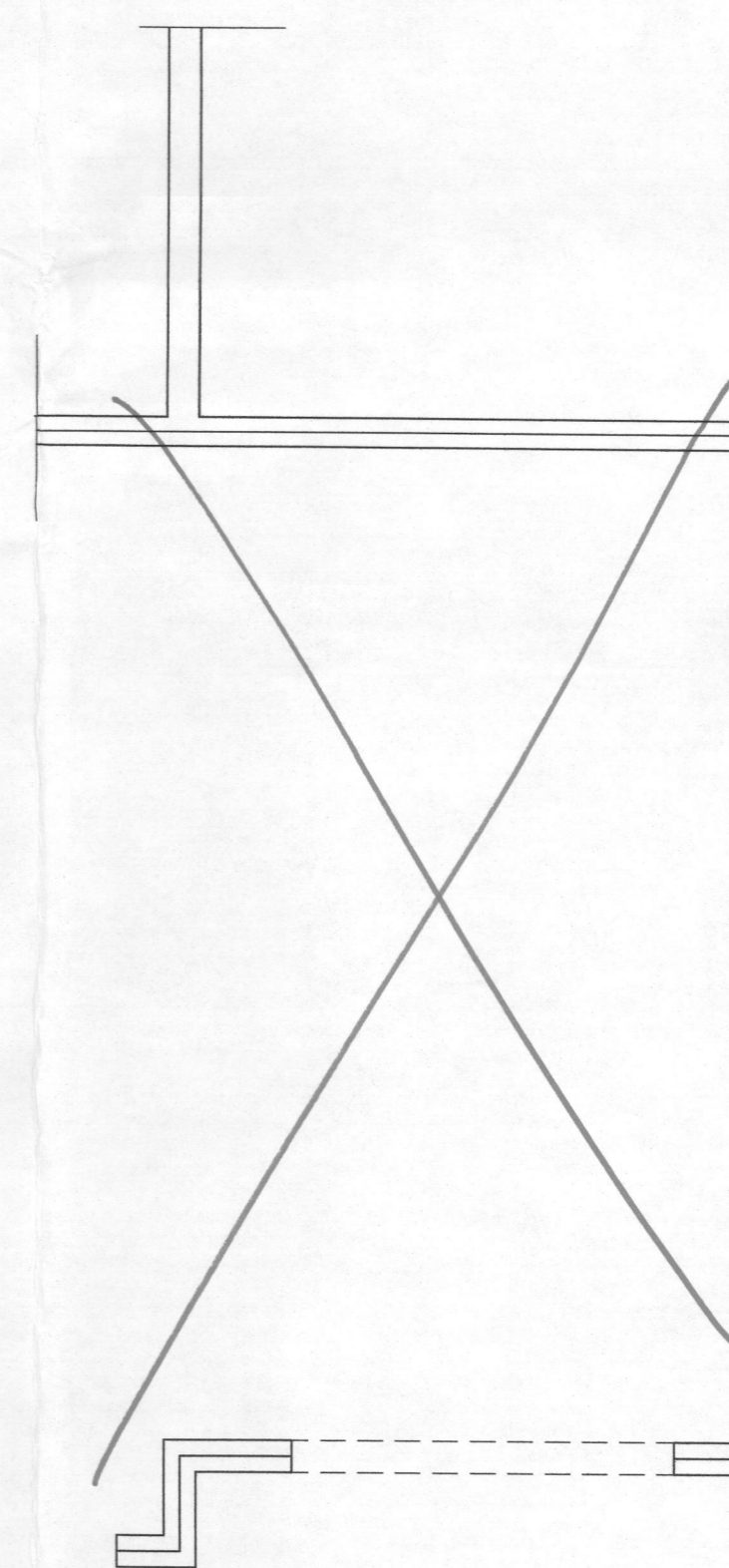
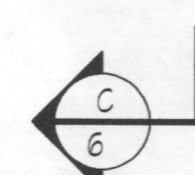
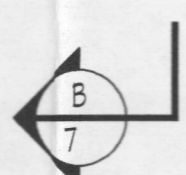
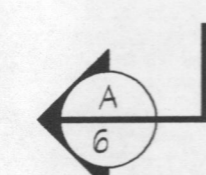
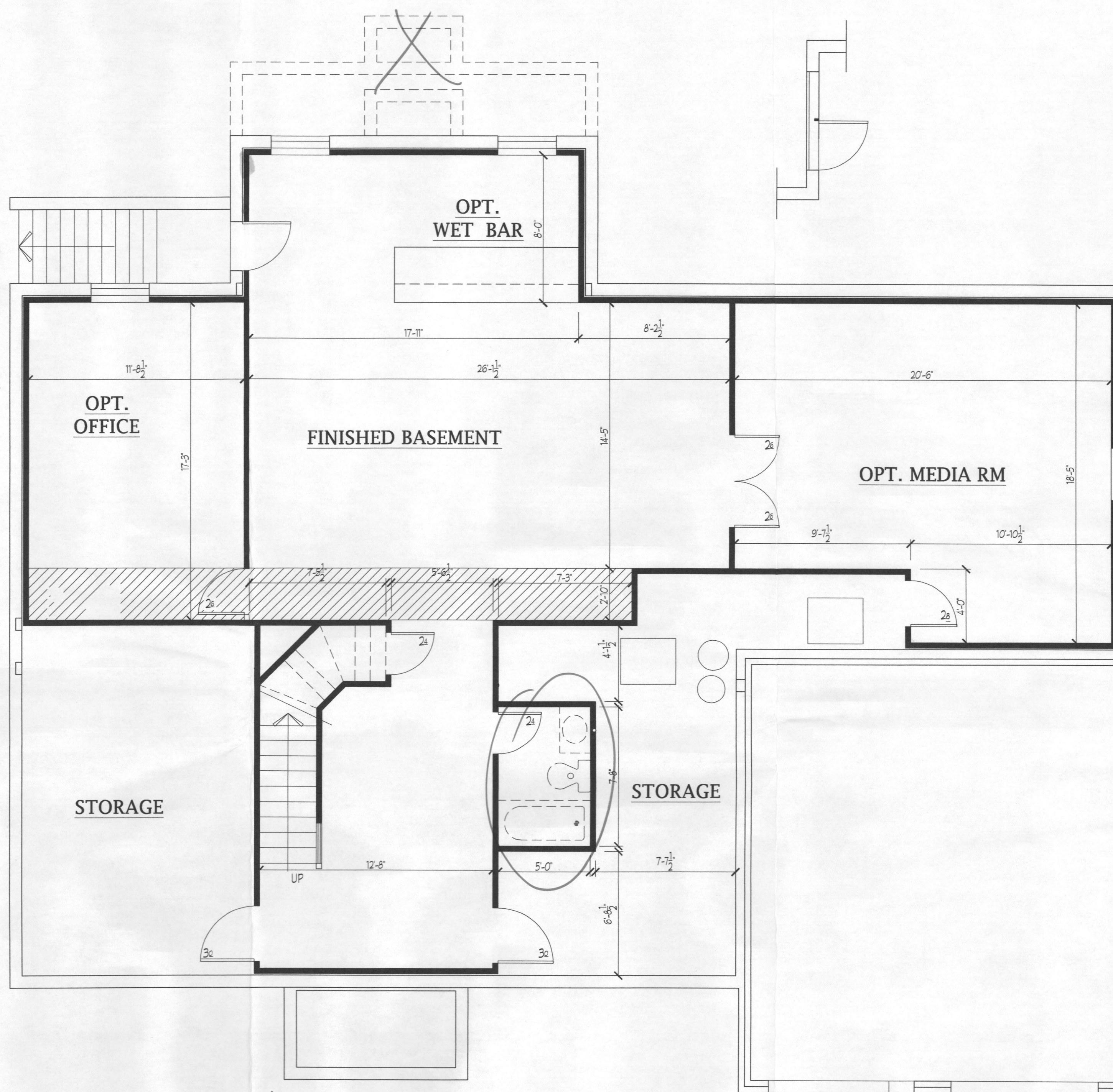
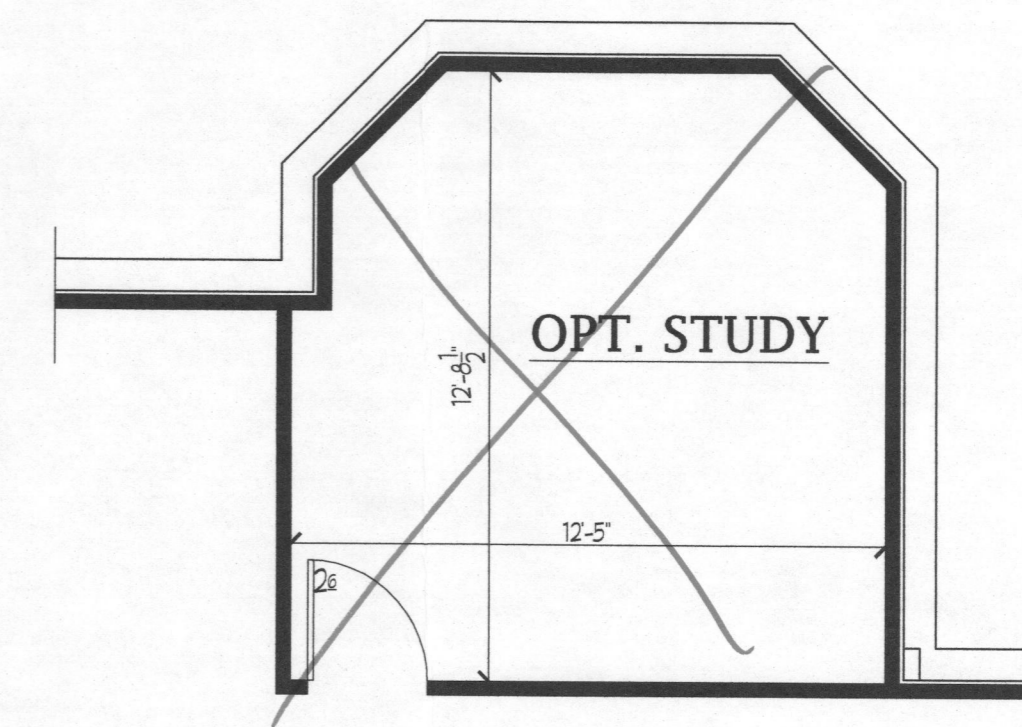
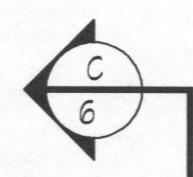
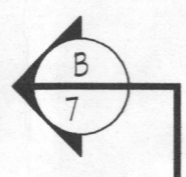
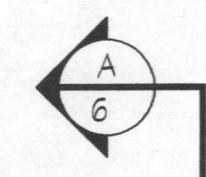
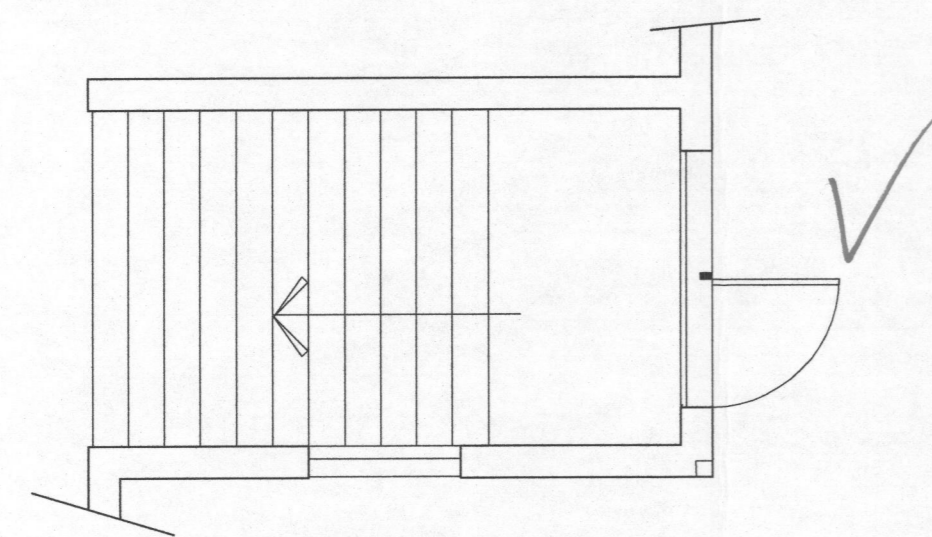
Williamsburg Group, LLC  
5485 Harpers Farm Rd. #200  
Columbia, MD 21044  
(410) 997- 8800

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D3-	AREAWAY DETAILS
D4-	GENERAL REQUIREMENTS
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1b-	ELEVATION #2
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PROJECT DATA		
CONSTRUCTION:		
GROUND FLOOR	CONCRETE	
FIRST FLOOR	WOOD	
SECOND FLOOR	WOOD	
ROOF	WOOD	
WALLS	WOOD	
BUILDING AREA:SQ. FT. INCLUDED:		
D4 ELEVATION 1		
FIRST FLOOR CONDITIONED	2120	
SECOND FLOOR CONDITIONED	1935	
UNFINISHED BASEMENT	2120	
OPT. FIN. BASEMENT	900	
OPT. MEDIA RM	360	
OPT. OFFICE	214	
GARAGE	480	
D4 ELEVATION 2		
FIRST FLOOR CONDITIONED	2164	
SECOND FLOOR CONDITIONED	1935	
UNFINISHED BASEMENT	2148	
OPT. FIN. BASEMENT	928	
GARAGE	480	
D4 ELEVATION 3		
FIRST FLOOR CONDITIONED	2214	
SECOND FLOOR CONDITIONED	1990	
UNFINISHED BASEMENT	2200	
OPT. FIN. BASEMENT	928	
GARAGE	480	
D4 ELEVATION 4		
FIRST FLOOR CONDITIONED	2200	
SECOND FLOOR CONDITIONED	1989	
UNFINISHED BASEMENT	2200	
FINISHED BASEMENT	928	
GARAGE	480	
D4 ELEVATION 5,6		
FIRST FLOOR CONDITIONED	2148	
SECOND FLOOR CONDITIONED	1935	
UNFINISHED BASEMENT	2148	
FINISHED BASEMENT	928	
GARAGE EL. 5	702	
GARAGE EL. 6	480	

BUILDING AREA:SQ. FT. INCLUDED:	
OPTIONS	
PORCHES:	
ELEV. 1	50
ELEV. 3 (standard)	80
ELEV. 3 (wrapped)	310
ELEV. 4	80
ELEV. 5	80
ELEV. 6	90
SECOND FLOOR FAMILY RM.	398
TWO STORY CONSERVATORY:	
BASEMENT	525
FIRST FL.	525
SECOND FL.	525
LARGE MORNING RM.:	
BASEMENT	282
FIRST FL.	282
SMALL MORNING RM.:	
BASEMENT	168
FIRST FLOOR	168
CONSERVATORY:	
BASEMENT	340
FIRST FL.	340
DETACHED GARAGE	576
BREEZEWAY	48
2' KITCHEN,MBDRM EXT.	
BASEMENT	58
FIRST FL.	58
SECOND FL.	58
2' LIBRARY EXT.	
BASEMENT	24
FIRST FLOOR	24
4' FAMILY RM. EXT.	
BASEMENT	80
FIRST FLOOR	80
TOTAL CONDITIONED SPACE	
TOTAL GROSS SPACE	

PROJECT DESIGN CRITERIA		
THE FOLLOWING STANDARDS ARE BASED ON THE GENERAL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE BOARDS ONE AND TWO FAMILY DWELLINGS ALL STATE AND LOCAL AMENDMENTS.CONSTRUCTION CLASS		
2021 IECC CODE COMPLIANCE		
CODE SECTION	STANDARD (MINIMUM)	
R301.1 CLIMATE ZONE	4A	
R401.2 COMPLIANCE METHOD	MANDATORY AND PRESCRIPTIVE PROVISIONS	
R402.1.1 VAPOR RETARDER:	WALL ASSEMBLIES IN THE THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE IRC 2021	
R402.1.2 ATTIC INSULATION-	R-49	
R402.1.2 WOOD FRAME WALL	R-21 INSULATION.	
R402.1.2 BASEMENT WALL INSULATION:	R-11 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HGHT.R-13 IN CAVITY IF FINISHED.	
R402.1.2 CRAWL SPACE WALL INSULATION:	R-10 FOIL FACED CONTINUOUS BATTS FULL HGHT. EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0".	
R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE:	R-30 BATT INSULATION	
R402.1.2 WINDOW U-VALUE/ SHGC	0.32 (U-VALUE) & 0.40 (SHGC)	
R402.1.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:	R-11 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR VERTICALLY.	
R402.2.4 ATTIC ACCESS:	ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49.	
R402.4.1.2 BUILDING THERMAL ENVELOPE (AIR LEAKAGE)	EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2018 IECC WITH CAULK,GASKETS,WEATHERSTRIPPING OR AN AIR BARRIER OR SUITABLE MATERIAL.	
R402.4.1.2 BUILDING ENVELOPE TEST OPTION:	BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR.TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 W/ BLOWER DOOR AT A PRESSURE OF 2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.	
R402.4.2 FIREPLACES	NEW WOODBURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.	
R402.4.4 FUEL-BURNING APPLIANCES	ROOMS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES,THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE.EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.	
R402.4.5 RECESSED LIGHTING		
R403.1.1 THERMOSTAT	ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPERATE HEATING AND COOLING SYSTEM.	
R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT	WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.	
R403.3.1 MECHANICAL DUCT INSULATION	SUPPLY & RETURN DUCTS IN ATTIC R-8 MIN. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE R-8 MIN. ALL OTHER DUCTS EXCEPT THOSE LOCATED INSIDE THE BUILDING THERMAL ENVELOPE R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MIN.	
R403.3.2 DUCT SEALING	ALL DUCTS, AIR HANDLERS,AND FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF THE IRC. A DUCT TIGHTNESS TEST (DUCT BLASTER LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONS. TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQD. IF AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE.	
R403.6 MECHANICAL VENTILATION	OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER. TO COMPLY WITH TABLE R403.6.1.	
403.6.1 WHOLE HOUSE MECH.VENT SYSTEM FAN EFFICIENCY		
R403.7 EQUIPMENT SIZING	SHALL COMPLY WITH R403.7	
R404.1 LIGHTING EQUIPMENT WATER HEATER MECHANICAL TESTING	A MIN. OF 90% OF ALL LAMPS MUST BE HIGH-EFFICIENCY LAMPS. MIN.EFFICIENCY ESTABLISHED BY NAECA. ALL MECH. TESTING TO BE PERFORMED BY APPROVED THIRD PARTY. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL.	



Assume  
1 Bedroom

**Plymouth Road Architects**  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE	REVISION

Date: 6/15  
Scale: 1/4" = 1'-0"  
Drawn: TIM

Drawing: FINISHED BSMT PLAN  
Project: WILLIAMSBURG GROUP  
DORCHESTER 4  
ESTATE HOME

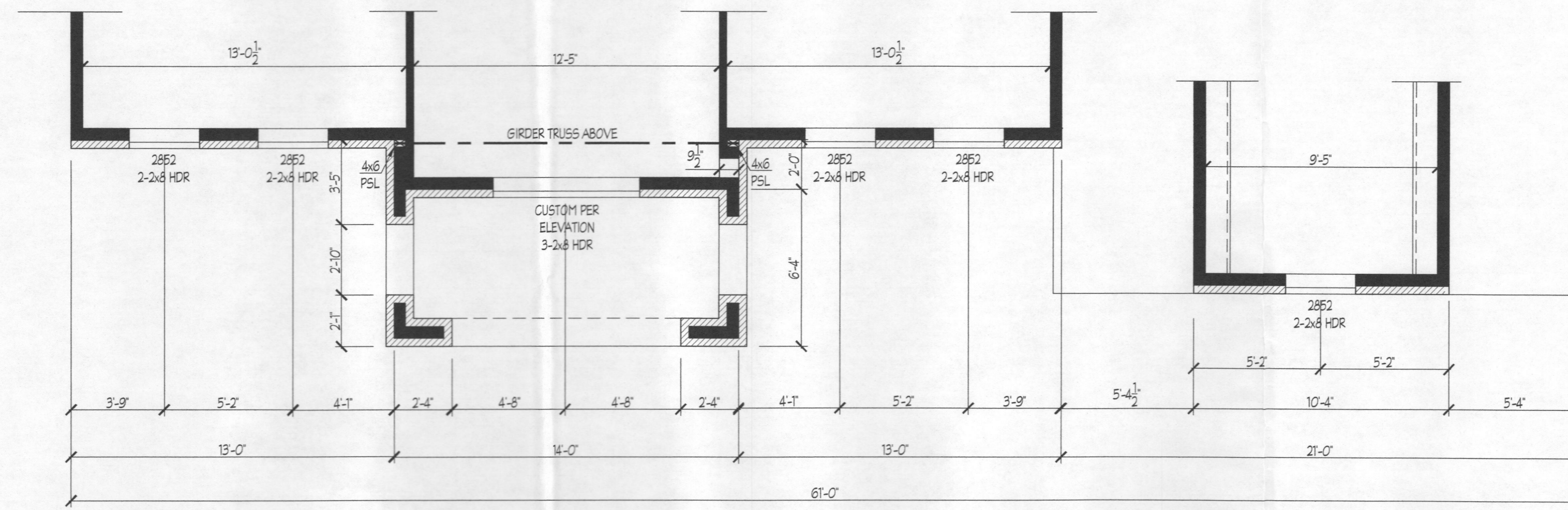
W23 D4  
Project No.

**2b**

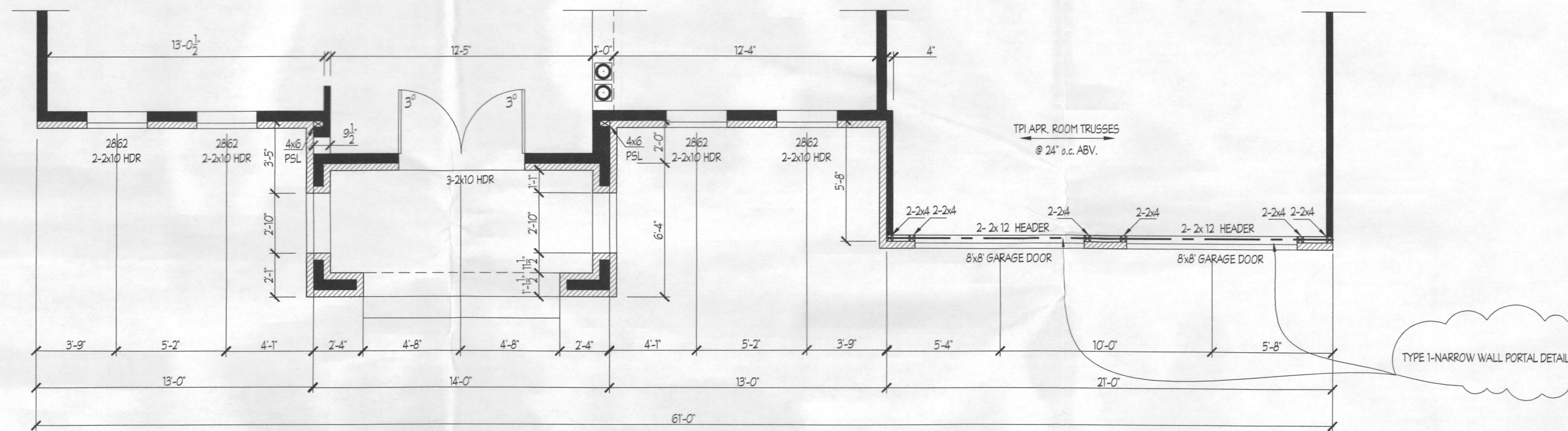
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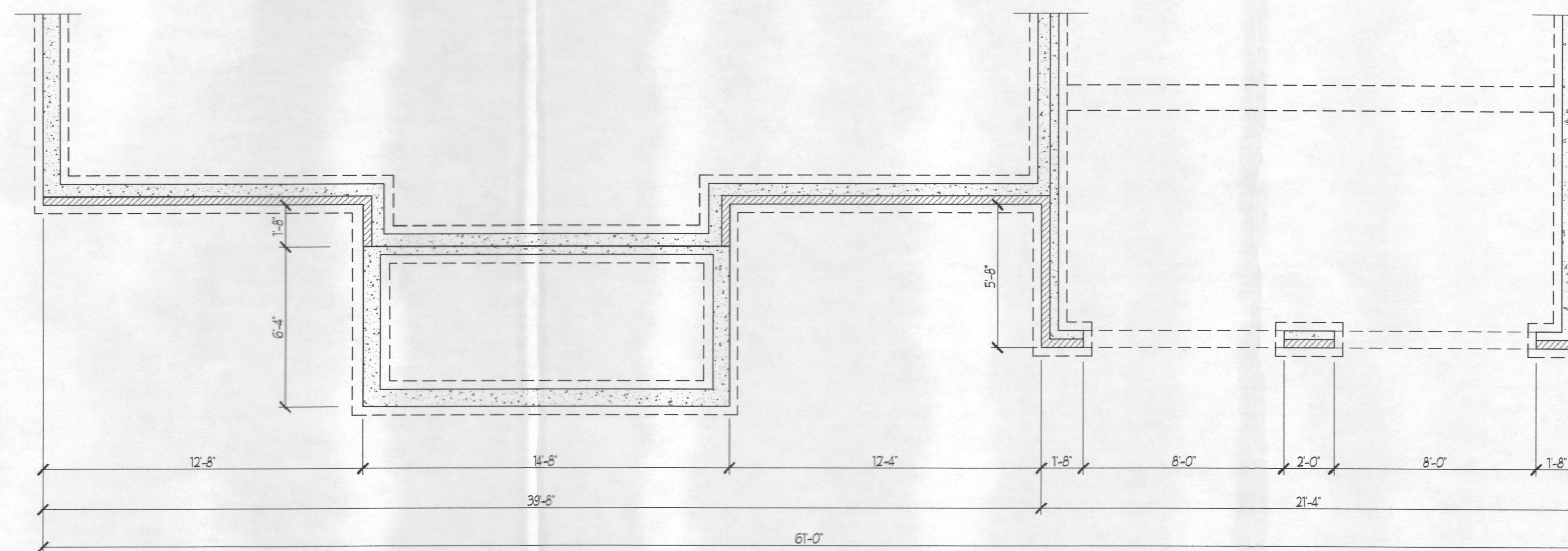


PARTIAL SECOND FLOOR PLAN  
ELEVATION 6



PARTIAL FIRST FLOOR PLAN  
ELEVATION 6

OVERALL DEPTH - 38'-4"  
38'-8" W/ BRICK FRONT  
39'-0" W/ BRICK ALL 4 SIDES



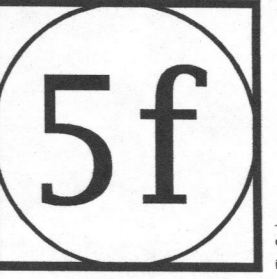
PARTIAL FOUNDATION PLAN  
ELEVATION 6

DATE	REVISION

Date: 6/15  
Scale: 1/4" = 1'-0"  
Drawn: TIM

Drawing: PARTIAL PLANS - ELEVATION 6  
Project: WILLIAMSBURG GROUP  
DORCHESTER 4  
ESTATE HOME

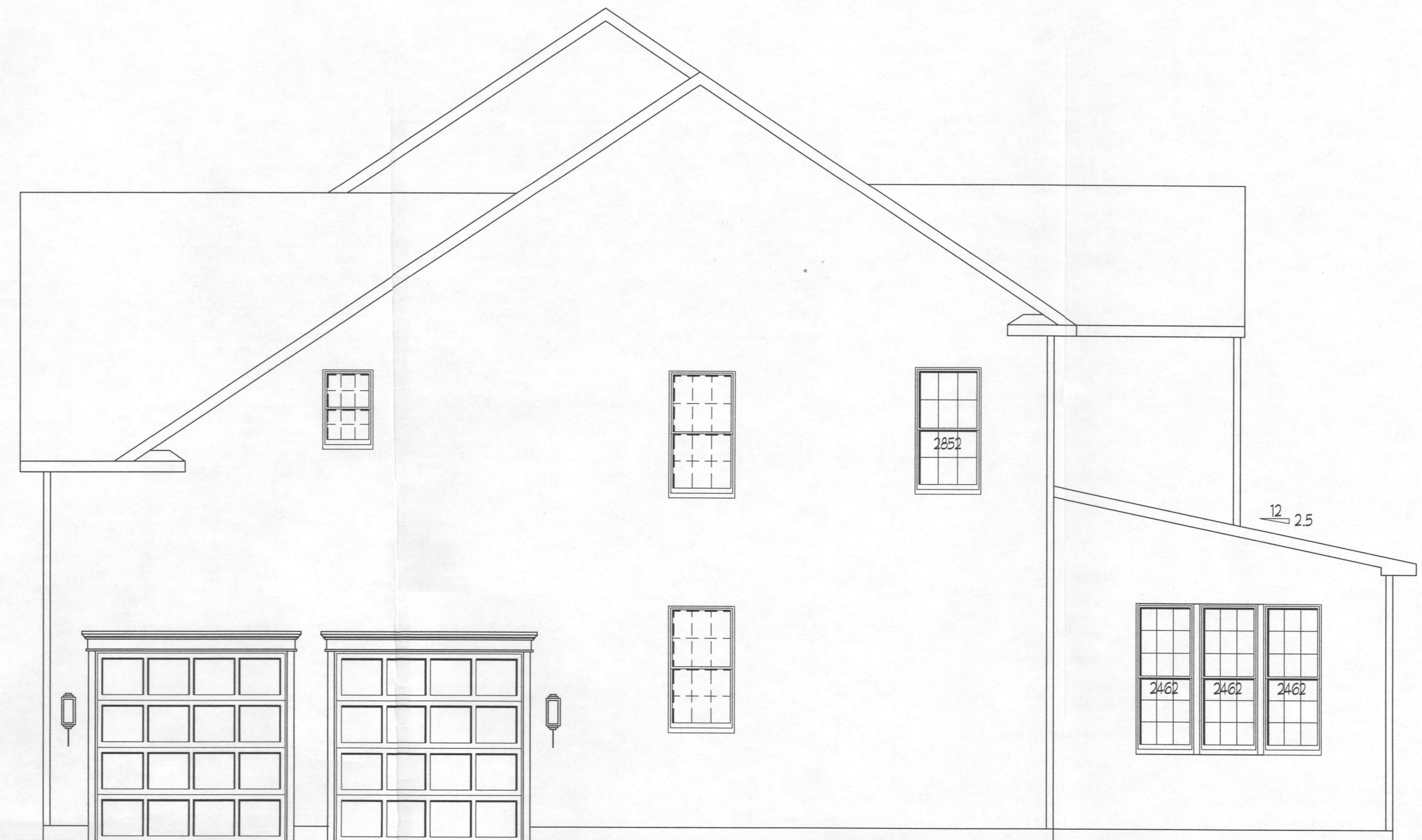
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Project No.



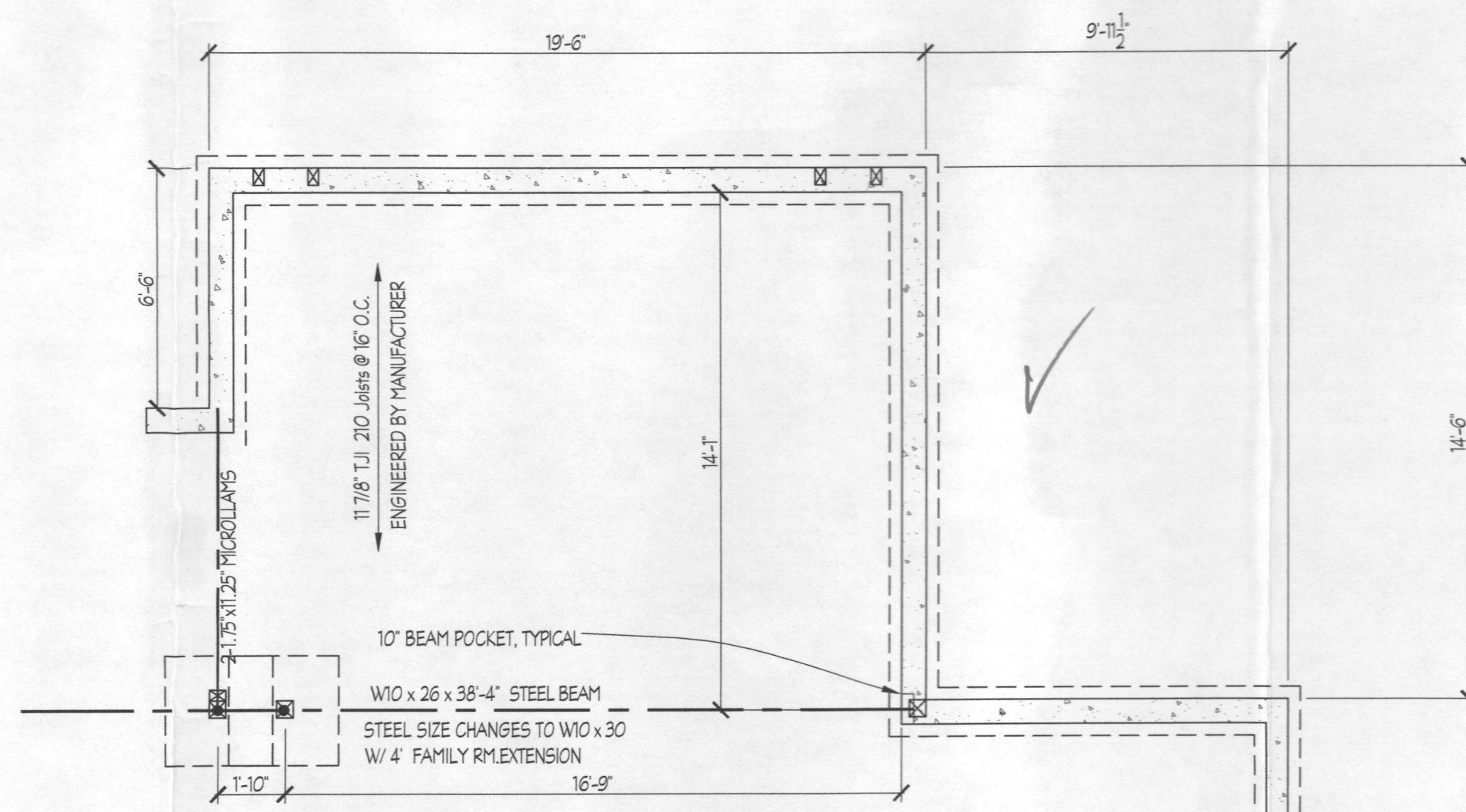




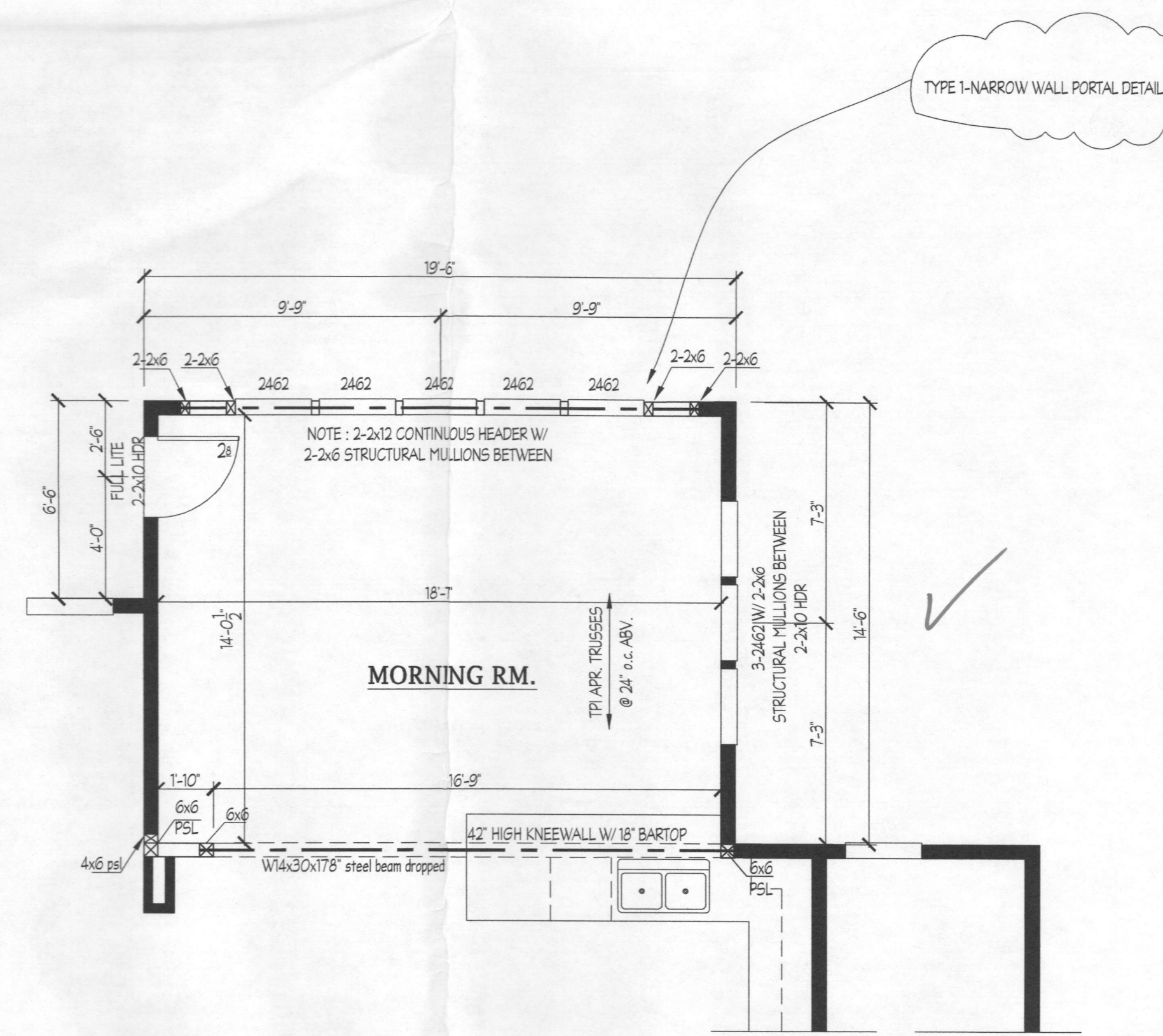
**REAR ELEVATION** - SHOWN W/ OPT. MORNING RM.  
SCALE - 1/4" = 1'-0"



**RIGHT SIDE ELEVATION** - SHOWN W/ OPT. MORNING RM.  
SCALE - 1/4" = 1'-0"



**FOUNDATION PLAN** - SCALE - 1/4" = 1'-0"



**FIRST FLOOR PLAN** - SCALE - 1/4" = 1'-0"

DATE:	REVISION:

Date: 11/16
Scale: NOTED
Drawn: TIM

Drawing: LARGE MORNING RM.
Project: WILLIAMSBURG GROUP DORCHESTER 4 ESTATE HOME

W23 D4
Project No.

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/New/SFD	B24004510	11/26/2024

Description of Work  
 SFD/ "DORCHESTER IV", 2 STORY, Full Basement, Basement = Partially Finished, 17R, 5FB, 1HB, 1FP, Intergral Garage, 4BR, N/A, ENERGY METHOD = null, null.

Online BP.  
 JG 12/10/24

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
6500	OLD HILLTOP	CT
Unit Type	Unit #	X Coordinate
--Select--		
City	State	Zip Code
HIGHLAND	MD	20777

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059959	0301	20.85	424300	424300	0	RURAL

Legal Description  
 LOT 3 20.85 A.[ ]6513 OLD HILLTOP CT[ ]CLARKSVILLE CROSSING

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
23	3	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405344298	CLARKSVILLE CROSSING					
Section	Area	Tax Map					
		34					
Grid	Zoning District	ADC Map					
34-23	RR-DEO	4933-G10					
SDP No.	Final Plan No.	WP File No.					
	ECP-13-077						
Record Plat No.	WS Contract No.	FDP No.		Primary			
25134-2513				Yes			
Owner Occupied	Year Built	Historic District					
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Historic District Registry No.	Stat Area	Flood Plain					
	5-04A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

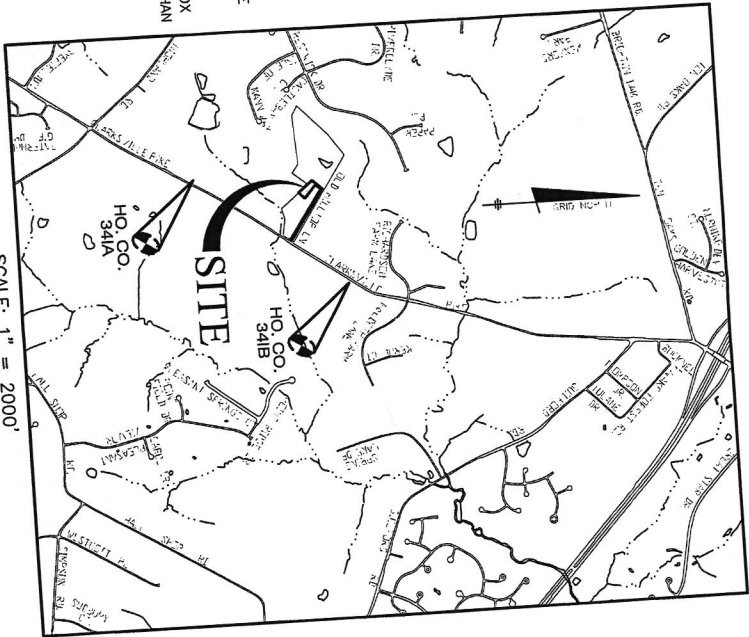
Search Reset Clear

Name \*  
 WILLIA  
 Address Line 1  
 5485 Harpers Farm Road, ST. 200  
 Address Line 2  
 Address Line 3  
 Mail City  
 Columbia  
 Mail State  
 MD  
 Mail Zip Code  
 21044  
 Phone  
 410-997-8800  
 Primary  
 Yes  
 E-mail



## GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR CLARKSVILLE CROSSING, PLAT NUMBER 26640-26643 REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-20-0272) HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC. AND IS ACCURATELY SHOWN.
3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
4. TOPOGRAPHY SHOWN WAS PREPARED BY BENCHMARK ENGINEERING, INC. DATED AUGUST, 2013, AND INCLUDES PROPOSED GRADING AS SHOWN ON THE MASS GRADING PLAN FOR LOTS 1-4 AS EXISTING CONDITIONS.
5. SEDIMENT AND EROSION CONTROLS WILL BE SUBMITTED BY HOWARD SOILS CONSERVATION DISTRICT AS A CUSTOM GRADING PLAN.
6. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED BUILDING PERMIT AND CUSTOM GRADING PLANS.
7. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
9. ANY ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
10. THE SEPTIC TANK WILL BE A 2000 GALLON TWO COMPARTMENT TANK.
11. THE MAXIMUM EARTH COVER OVER A TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
12. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS/OR SEPTIC SYSTEM HAVE BEEN SHOWN.
13. ANY FUTURE WELLS SHALL BE 10' FROM DRIVEWAY.
14. MICRO-BIORETENTION SWM FACILITIES WITHIN 100' OF A WELL SITE OR WELL BOX WILL BE LINED. MICRO-BIORETENTION FACILITIES ARE NOT ALLOWED CLOSER THAN 50' TO A WELL SITE OR WELL BOX.

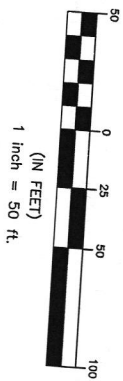


SCALE: 1" = 2000'  
ADC MAP 31; GRID C4

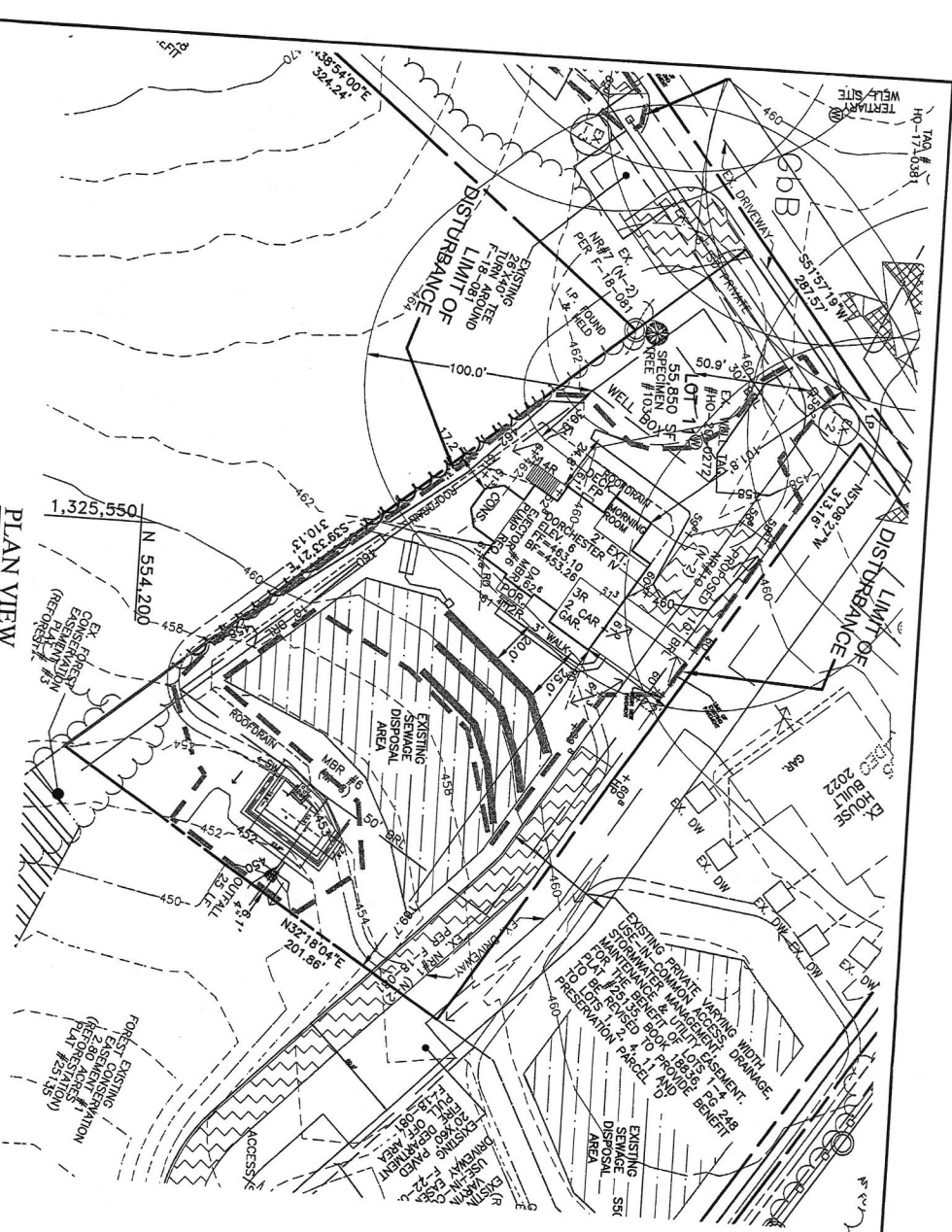
**BUILDER:**  
WILLIAMSBURG HOMES  
5485 HARPERS FARM ROAD  
COLUMBIA, MARYLAND 21044  
410-997-8800

**BENCHMARK**  
ENGINEERING, INC.  
3300 NORTH RIDGE ROAD SUITE 140  
ELICOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-6644  
WWW.BE-CIVILENGINEERING.COM

<b>PROJECT:</b> CLARKSVILLE CROSSING LOT 11	
<b>LOCATION:</b> TAX MAP: 34 - GRID: 23 - PARCEL: 301 6500 OLD HILLTOP CT. - TAX ID: 05-605088 ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND	
<b>TITLE:</b> BUILDING PERMIT PLAN	
<b>HOUSE TYPE:</b> DORCHESTER IV	<b>PROJECT NO.:</b> 2525
<b>DATE:</b> NOVEMBER, 2024	<b>DRAWING</b> 1 OF 2
<b>SCALE:</b> AS SHOWN	

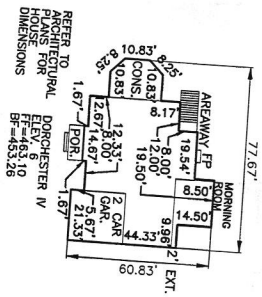


PLAN VIEW  
1" = 50'



BUILD PER:  
WILLIAMSBURG HOMES  
5485 HARRERS FARM ROAD  
COLUMBIA, MARYLAND 21044  
410-997-8800

BENCHMARK  
ENGINEERING, INC.  
3300 BLOOMINGDALE ROAD SUITE 140  
P 410-485-6106 M 410-485-6844  
WWW.BE-ENGINEERING.COM



PLAN VIEW  
1" = 50'



SECTION  
1" = 50'

PROJECT: CLARKSVILLE CROSSING LOT 11	
LOCATION:	TAX MAP: 34 - GRID: 23 - PARCEL: 301 6500 OLD HILLTOP CT. - TAX ID: 05-605088 ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND
TITLE:	BUILDING PERMIT PLAN
HOUSE TYPE:	DORCHESTER IV
DATE:	OCTOBER 17, 2024
PROJECT NO.:	2525
SCALE:	AS SHOWN
DRAWING NO.:	2
OF:	2