

Record Detail \* (This section is required.)

<b>Permit Type</b>	<b>Permit Number</b>	<b>Opened Date</b>
Building/Residential/Garage/Detached	B26000456	02/16/2026

**Description of Work**  
 SFD/ CONSTRUCT 25 X 37 (1.5) STORY (2) CAR DETACHED GARAGE, W/ GARAGE BASEMENT AND 8' X 19' SIDE PORCH, 1 STORY, Full Basement, 2R, 0FB, 0HB, 0FP, OTHER STRUCTURE = Detached Garage, 0BR, PORCH/DECK = N/A, ENERGY METHOD = N/A,

Online BP.  
 3/12/26

[check spelling](#)

Address \* (This section is required.)

<b>Search</b>	<b>Reset</b>	<b>Clear</b>	<b>Get Parcel &amp; Owner</b>
<b>Street #</b>	<b>Street Name</b>	<b>Street Type</b>	
13169	FOLLY QUARTER	RD	
<b>Unit Type</b>	<b>Unit #</b>	<b>X Coordinate</b>	<b>Y Coordinate</b>
--Select--		-76.97097	39.2586
<b>City</b>	<b>State</b>	<b>Zip Code</b>	<b>Primary</b>
ELLCOTT CITY	MD	21042	Yes

Parcel \* (This section is required.)

<b>Search</b>	<b>Reset</b>	<b>Clear</b>	<b>Get Address &amp; Owner</b>			
<b>GIS ID *</b>	<b>Parcel</b>	<b>Parcel Area</b>	<b>Land Value</b>	<b>Improved Value</b>	<b>Exemption Value</b>	<b>Plan Area</b>
892210	535	4.38	298700	885800	587100	RURAL

**Legal Description**  
 IMPSLOT 2 4.386 A[ ]13169 FOLLY QUARTER RD[ ]BUCKSKIN WOODS S 1

[check spelling](#)

<b>Block</b>	<b>Lot</b>	<b>Census Tract</b>	<b>Council Dist</b>	<b>Inspection Dist</b>	<b>Supervisor Dist</b>	<b>Map #</b>	<b>DAP Zone</b>
	2	605101	5				
<b>Plan Area</b>	<b>State Tax Id</b>	<b>Subdivision Name</b>					
	1405399351	BUCKSKIN WOODS SECTIO					
<b>Section</b>	<b>Area</b>	<b>Tax Map</b>					
		22					
<b>Grid</b>	<b>Zoning District</b>	<b>ADC Map</b>					
22-15	RR-DEO	4813-E9					
<b>SDP No.</b>	<b>Final Plan No.</b>	<b>WP File No.</b>					
<b>Record Plat No.</b>	<b>WS Contract No.</b>	<b>FDP No.</b>	<b>Primary</b>				
6693			Yes				
<b>Owner Occupied</b>	<b>Year Built</b>	<b>Historic District</b>					
<input type="radio"/> Yes <input type="radio"/> No	1996	<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Historic District Registry No.</b>	<b>Stat Area</b>	<b>Flood Plain</b>					
	5-02A	<input checked="" type="radio"/> Yes <input type="radio"/> No					
<b>Building No</b>							

Owner (This section is not required.)

<b>Search</b>	<b>Reset</b>	<b>Clear</b>
<b>Name *</b>		
SCHNE		
<b>Address Line 1</b>		
13169 FOLLY QUARTER RD		
<b>Address Line 2</b>		
<b>Address Line 3</b>		
<b>Mail City</b>		
ELLCOTT CITY		
<b>Mail State</b>		
MD		
<b>Mail Zip Code</b>		
21042		
<b>Phone</b>		
443-250-4704		
<b>Primary</b>		
Yes		
<b>E-mail</b>		

Approved Septic System Plan  
 Howard County Health Department  
 DBernard 3-25-26  
 Signature Date

Cell Number      Fax Number

**Professionals** (This section is not required.)

**License # \***  
08050138103

**License Type \***  
MHIC Co  
Primary  
Yes

**Business Name**  
WAVERLY HOME IMPROVEMENT LLC

**First Name**      **Middle Name**      **Last Name**  
ADDISON           BOND

**Address Line 1**  
13528 AUTUMN CREST DR S

**Address Line 2**

**City**      **State**      **ZIP Code**  
MT AIRY      MD      21771-0000

**Phone 1**      **Phone 2**      **Fax**  
4437423968

**E-mail**  
AEBOND90@GMAIL.COM

**Applicant** (This section is not required.)

**Search**      **As Owner**      **As Lic. Prof**      **As Contact**

**Type \***  
Applicant

**Relationship**  
Applicant  
Primary  
No

**First Name**      **MI**      **Last Name**  
Addison      Ewing      Bond

**Full Name**  
Addison Ewing Bond

**Organization Name**  
Waverly Home Improvement LLC

**Street Address**  
13528 Autumn Crest Dr S

**Address Line 2**

**City**      **State**      **Zip Code**  
Mt Airy      MD      21771

**Phone**      **Cell**      **Fax**  
443-742-3968

**E-mail \***  
waverlyhomeimprovement@gmail.com

**Contact** (This section is not required.)

**Search**      **As Owner**      **As Lic. Prof**      **As Contact**

**Type**  
Contact

**Relationship**  
Licensed Professional

**Primary**  
Yes

**First Name**      **MI**      **Last Name**  
Addison      Ewing      Bond

**Full Name**  
Addison Ewing Bond

**Organization Name**  
Waverly Home Improvement LLC

**Street Address**  
13528 Autumn Crest Dr S

**Address Line 2**

**City**      **State**      **Zip Code**  
Mt Airy      MD      21771

**Phone**      **Cell**      **Fax**  
443-742-3968

**E-mail**  
waverlyhomeimprovement@gmail.com

**Addtl Info**

**Est Construction Cost \***      **Housing Units \***      **Number of Buildings \***      **Public Owned**  
225000      0      0      No

**Construction Type**  
438 - Additions of Residential Garages and Carports

**RESIDENTIAL ADDITION INFORMATION**

**RESIDENTIAL ADDITION INFORMATION**

**Capital Project-No Fee \***

Yes  No

**Capital Project Number**

(Text)

**Fee Exempt \***

Yes  No

**Roadside Tree Project Permit**

Yes  No

**Roadside Tree Pr**

No of Stories \* 1 (Text) Foundation \* Full Basement Basement \* N/A No of Rooms \* 2 (Text) Full Baths \* 0 (Number) Ha 0

SFD/ CONSTRUCT 25 X 37 (1.5) STORY (2) CAR DETACHED GARAGE, W/ GARAGE BASEMENT AND 8' X 19' SIDE PORCH

check spelling

Other Structure \* Detached Garage Bedrooms \* 0 (Number) Porch Deck \* N/A No of Fireplaces \* 0 (Number) Type of Fireplace --Select--
W & S Fees Paid Water \* Private Sewage \* Private Utilities \* Electric Heating System \* Electric Sprinkler System \* None
1st Floor Width FT (Number) 1st Floor Depth FT (Number) 2nd Floor Width FT (Number) 2nd Floor Depth FT (Number) Basement Width FT (Number) Basement Depth FT (Number) Height FT (Number)
Total Square Footage \* 1400 SQFT (Number) Occupiable Square Footage \* 0 SQFT (Number) Affordable Housing Funding \* N/A Foundation Measurement (Text)
Walls (Text) Roof (Text) Change In Use Change In Use Grading Permit No Grading Permit No Senior Housing Senior Housing MIHU Outside Downtown Columbia MIHU Outside Downtown Columbia
Additional Description Info (Text) Change In Use Change In Use Grading Permit No Grading Permit No Senior Housing Senior Housing MIHU Outside Downtown Columbia MIHU Outside Downtown Columbia
Additional Description Info (Text) Change In Use Change In Use Grading Permit No Grading Permit No Senior Housing Senior Housing MIHU Outside Downtown Columbia MIHU Outside Downtown Columbia

Expiration Date 9/8/2026

MIHU Required Units (Num)

check spelling

GREEN INFORMATION

Goal Level --Select-- Actual Level --Select-- Leed Registration Number (Text) Date of Leed Certification

STORM WATER MANAGEMENT

Green Roofs A1 Permeable Pavements A2 Reinforced Turf A3 Disconnection of Rooftop Runoff N1
Sheetflow to Conservation Areas N3 Rainwater Harvesting M1 Submerged Gravel Wetlands M2 Landscape Infiltrator
Dry Wells M5 Micro Bioretention M6 Rain Gardens M7 Swales M8
PSWM Certification Received in CID on

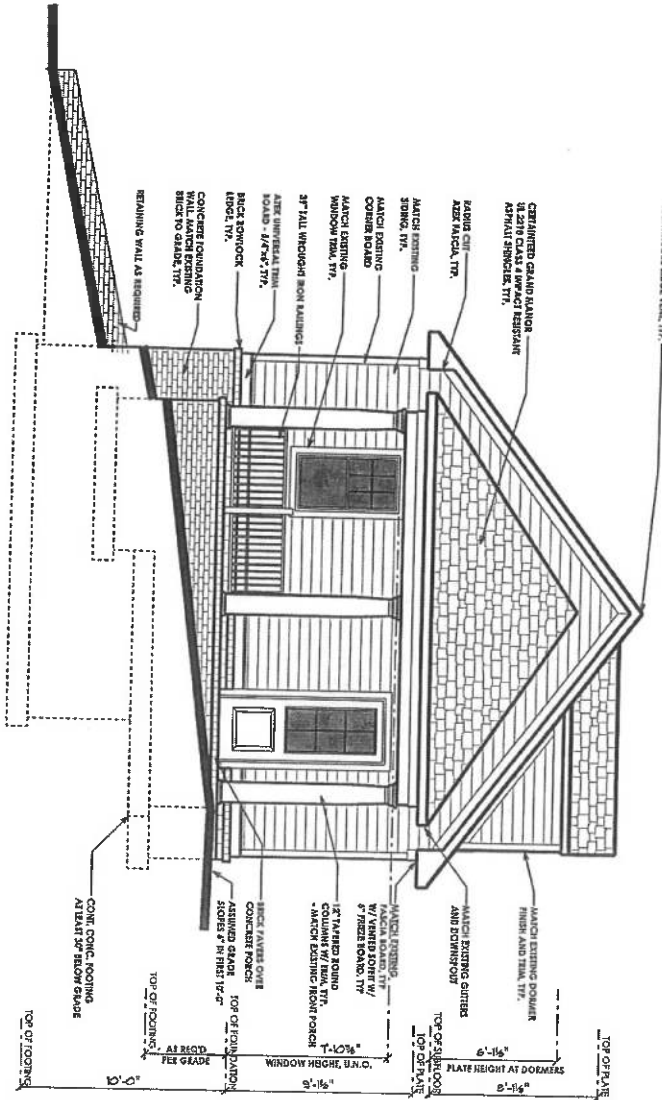
Submit Cancel



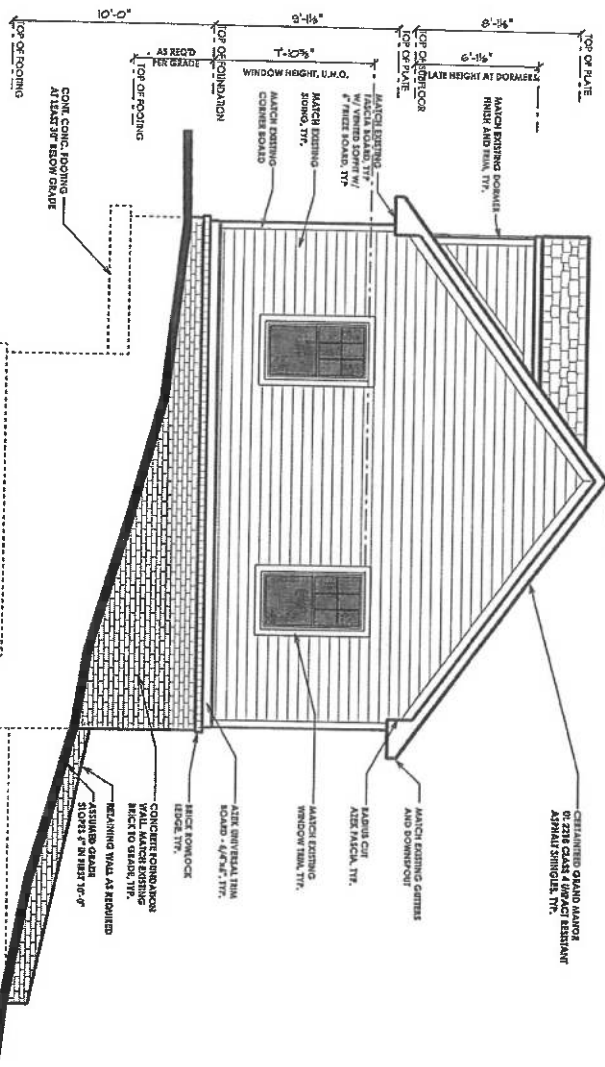




CONCRETE BRIDGE WALL, TYP.



# LEFT ELEVATION



# RIGHT ELEVATION



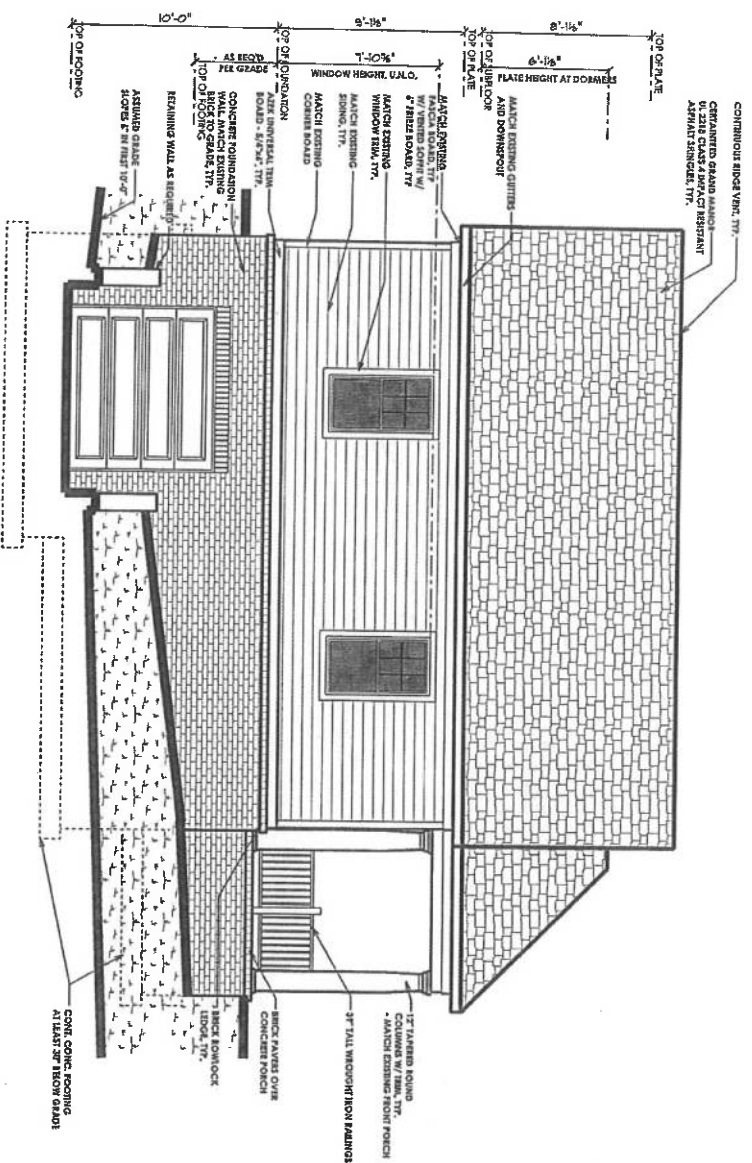
**JONATHAN RIVERA ARCHITECT**  
 1. I hereby certify that I have designed the above described project and that I am a duly licensed and registered architect in the State of Maryland.  
 2. I have prepared the drawings and specifications for the project described under the terms of the contract.  
 3. I have not been suspended or debarred from practicing architecture in the State of Maryland.  
 Issued on: 11/15/2023  
 Expiration Date: 11/15/2025

**PROPOSED ADDITION**  
**SCHNEIDER RESIDENCE**  
 131481 Kelly Center Road,  
 Elkton City, Maryland 21042

**ARCHITECT**  
 Jonathan Rivera AIA, NCARB  
 Jonathan Rivera, Maryland  
 443.232.5745  
 jrivera@jonrivera.com

**ISSUE DATE**  
 11/20/23

**SCALE** 1/4" = 1'-0"  
**ELEVATIONS**



REAR ELEVATION



**JONATHAN RIVIRA**  
 OF 26-575  
 EXP. 01/27/2024

**PROFESSIONAL CERTIFICATION**  
 I have prepared these documents by me, and that I am a duly licensed and duly bonded professional architect in the state of the State of Maryland.  
 License Number: 61149  
 Expiration Date: 4/30/2024

**PROPOSED ADDITION**

**SCHNEIDER RESIDENCE**  
 13167 Fox Quaker Road  
 Beltsville, Maryland 21054

**ARCHITECT**  
 Jonathan Rivira, AIA, NCARB  
 Howard County, Maryland  
 443.234.5743  
 jrivira@schneiderres.com

**ISSUE DATE**

1/2024	ISSUE
	REVISION

**SCALE:** 1/4" = 1'-0"  
**ELEVATIONS**

**1.03**  
 PRINT DATE:  
 Thursday, January 27, 2024



**PROFESSIONAL CERTIFICATION**  
I, Jonathan Rivira, a duly Licensed Professional Engineer in the State of Maryland, certify that these documents were prepared or supervised by me or under my direct supervision and I am a duly Licensed Professional Engineer in the State of Maryland. My License Number is 114578. My expiration date is 6/30/2023.

**NOTES:**  
1. ALL FOUNDATION WALLS SHALL BE CONCRETE WITH REINFORCEMENT PER SOLE & GRADE. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD ON THE INTERIOR AND 1/2" GYP BOARD ON THE EXTERIOR.  
2. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD ON THE INTERIOR AND 1/2" GYP BOARD ON THE EXTERIOR.  
3. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD ON THE INTERIOR AND 1/2" GYP BOARD ON THE EXTERIOR.

**PROPOSED ADDITION**

**SCHNEIDER RESIDENCE**

13147 Peay Quarter Road,  
Blaston City, Maryland 21042

**ARCHITECT**  
JONATHAN RIVIRA, AIA, NCARB  
Howard County, Maryland  
443.224.5745  
jr@jonathandrivira.com

**ISSUE DATE**

1-21-23
PERMIT SET

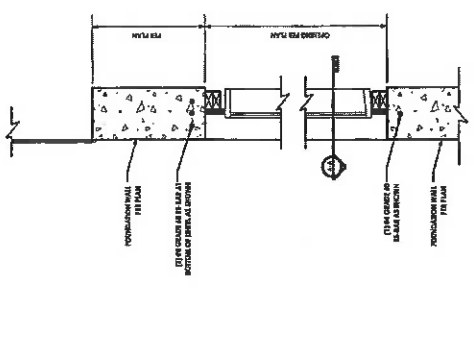
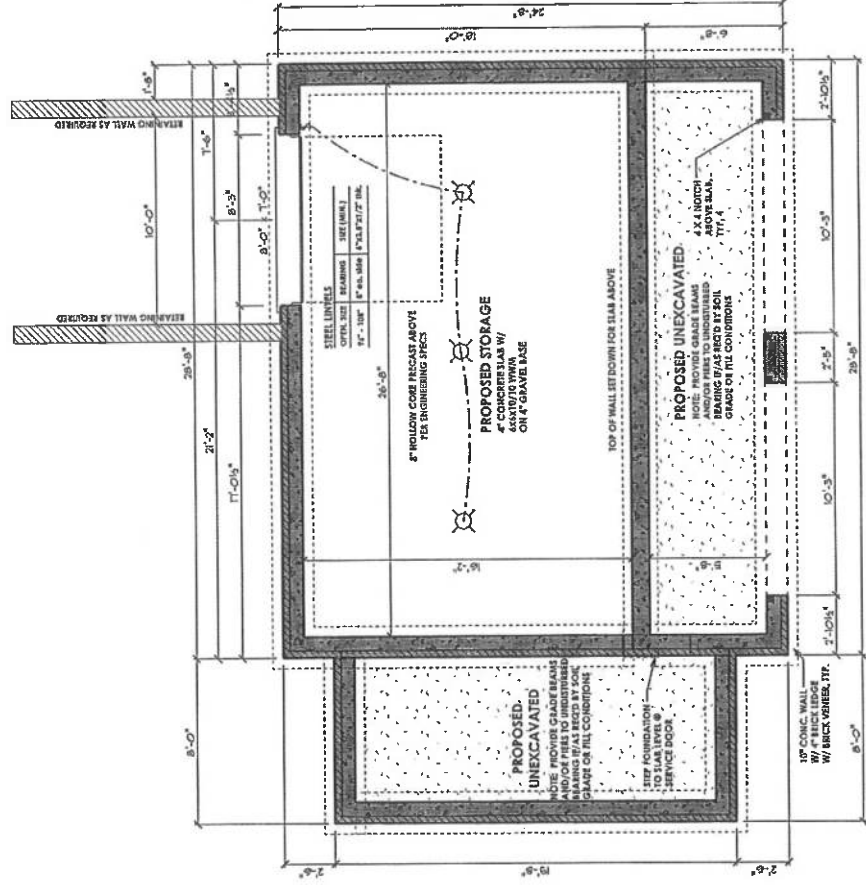
**SCALE: 1/4" = 1'-0"**  
**FOUNDATION**  
**2.01**  
PRINT DATE: Tuesday, January 27, 2023

**FOUNDATION NOTES**

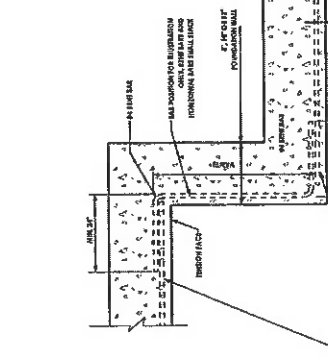
- 1) SEE PERMIT SOIL BEARING CAPACITY ASSIGNED.
- 2) REBAR, JOIST, HANGERS & BRACES TO BE SET BY #22'S OR #30'S BY TYPICAL B.M.O.
- 3) ALL LOCATIONS FOR B.M.O., SUMP PUMPS, ROUGH-INS, SUMP/A.P. AND OTHER PENETRATIONS SHALL BE SET TO GROUND LEVEL OR AS SPECIFIED BY SUBMITTER ON THE PERMITS.
- 4) FOUNDATION WALL WITH REINFORCERS BACK-LOGGED EXCEEDS 12" HIGH SHALL BE SPACED AT 2' O.C. WITH EACH END OF ALL SILL PLATE PIECES.
- 5) REFER TO WALL SECTION FOR FOUNDATION WALL DETAIL.

**TYPICAL GARAGE FOUNDATION WALL**

MIN. 12" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOLE & GRADE) WITH 12" OAK CONTINUOUS FOOTING.

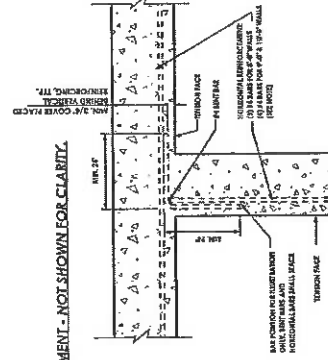


**CONCRETE HEADER AT FOUNDATION OPENING**



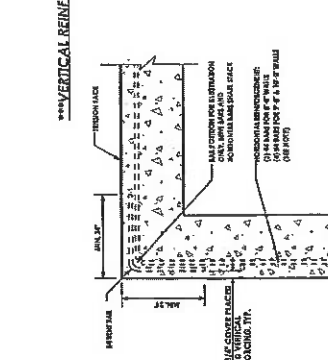
**TYPICAL REINFORCING AT "T" INTERSECTIONS - UNO**

NOTE: FOR ALL WALLS, REBAR SHALL BE PLACED OVER THE REBAR OF THE WALL AS SHOWN AT TYPICAL.



**TYPICAL REINFORCING AT "T" INTERSECTIONS - UNO**

NOTE: FOR ALL WALLS, REBAR SHALL BE PLACED OVER THE REBAR OF THE WALL AS SHOWN AT TYPICAL.



**TYPICAL CORNER REINFORCING UNO**

NOTE: FOR ALL WALLS, REBAR SHALL BE PLACED OVER THE REBAR OF THE WALL AS SHOWN AT TYPICAL.



**TYPICAL REINFORCING AT "T" INTERSECTIONS - UNO**

NOTE: FOR ALL WALLS, REBAR SHALL BE PLACED OVER THE REBAR OF THE WALL AS SHOWN AT TYPICAL.



**TYPICAL REINFORCING AT "T" INTERSECTIONS - UNO**

NOTE: FOR ALL WALLS, REBAR SHALL BE PLACED OVER THE REBAR OF THE WALL AS SHOWN AT TYPICAL.









**PROFESSIONAL CERTIFICATION**  
Jonathan Rivera is duly licensed and authorized to practice architecture in the State of Maryland. License Number 12404. Expiration Date: 6/30/2026.

**DESIGNER**  
Jonathan Rivera  
13148 16th Quarter Road,  
Ellicott City, Maryland 21042

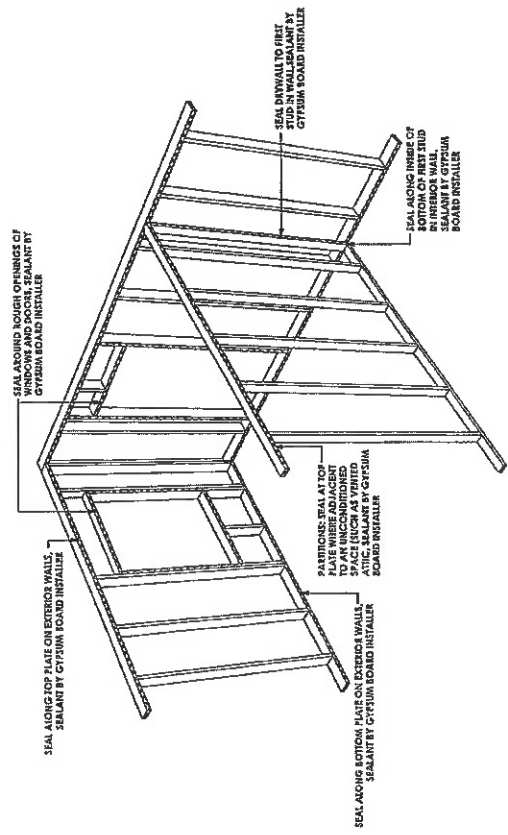
**PROPOSED ADDITION**

**SCHNEIDER RESIDENCE**  
13148 16th Quarter Road,  
Ellicott City, Maryland 21042

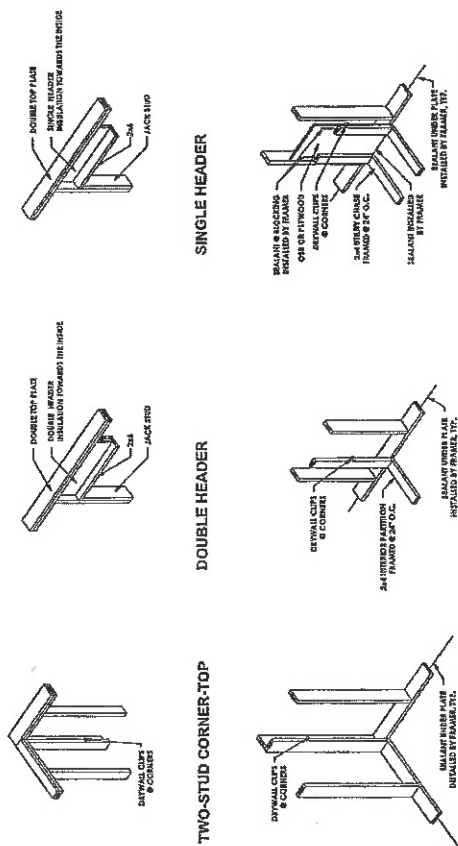
**ARCHITECT**  
Jonathan Rivera AIA, NCARB  
Howard County, Maryland  
443.244.5245  
jrivera@jonathandrivera.com

ISSUE DATE	
1	1.10.24
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
SCALE: N.T.S.	

**NOTE: ALL LOAD BEARING STUD WALLS TO BE DOUBLE TOP PLATE PER WALL SECTIONS**



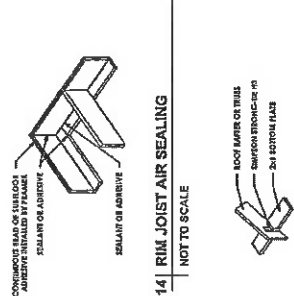
**AIR BARRIER AT WALLS AND CEILING PERSPECTIVE**



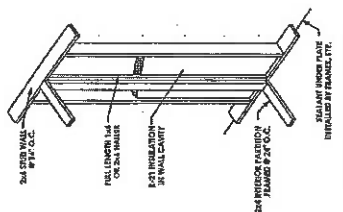
AIR SEALING @ MECH CHASE

BOTTOM PLATE @ PARTITION

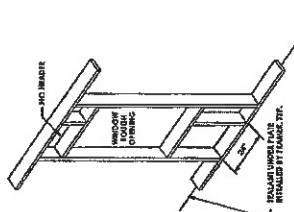
TWO-STUD CORNER-BOTTOM



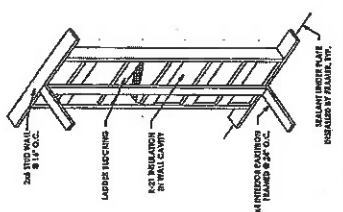
**ROOF WALL FRAMING CONNECTION**



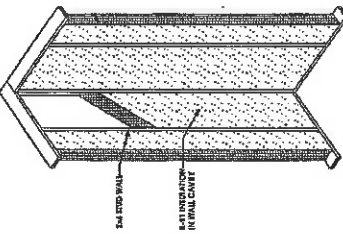
NAILER @ PARTITION



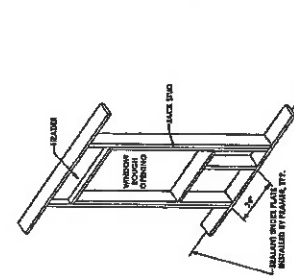
**NON-LOAD BEARING WALL OPENING 15**



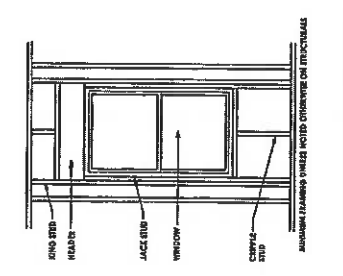
LADDER FRAMING @ PARTITION



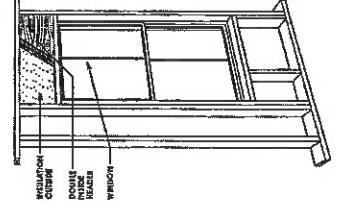
TWO-STUD CORNER-INSULATION



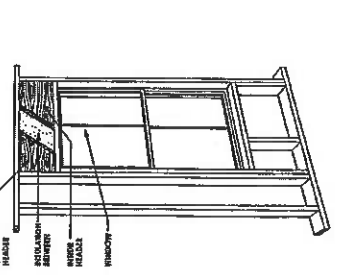
**LOAD BEARING WALL OPENING**



WINDOW FRAMING ELEVATION



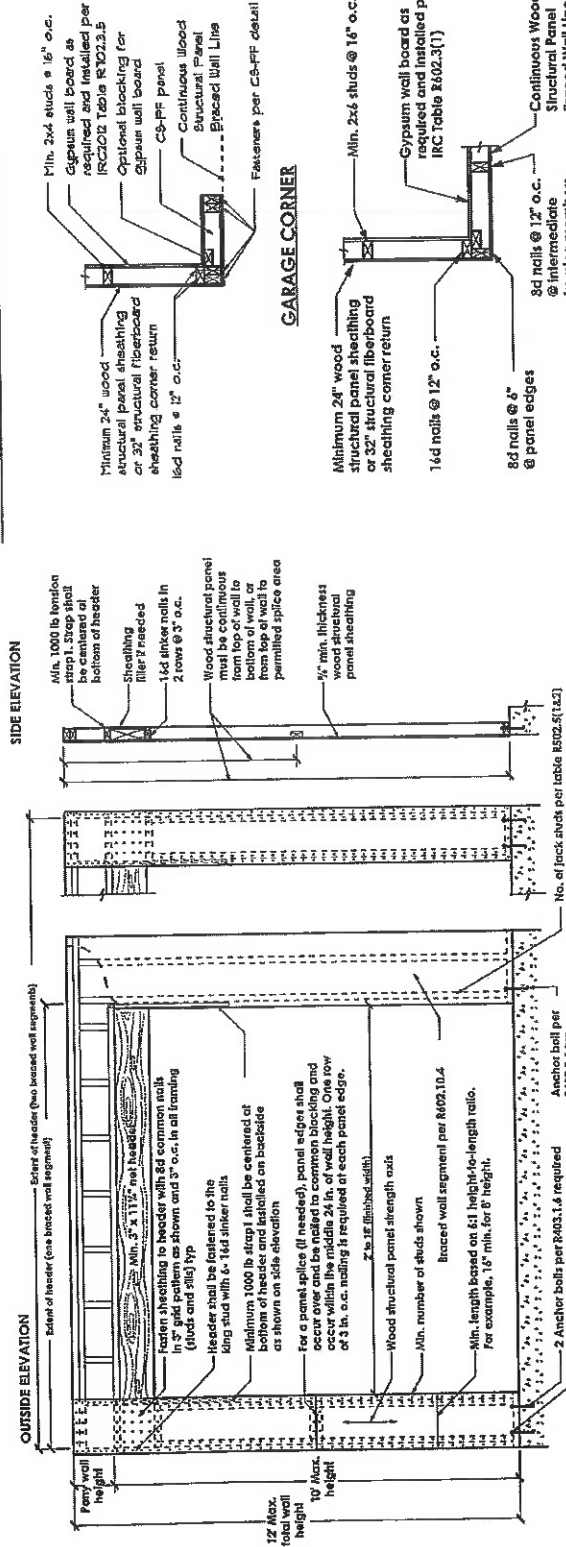
HEADER INSULATION OUTSIDE



HEADER INSULATION BETWEEN



# EXTERIOR CORNER WALL DETAILS

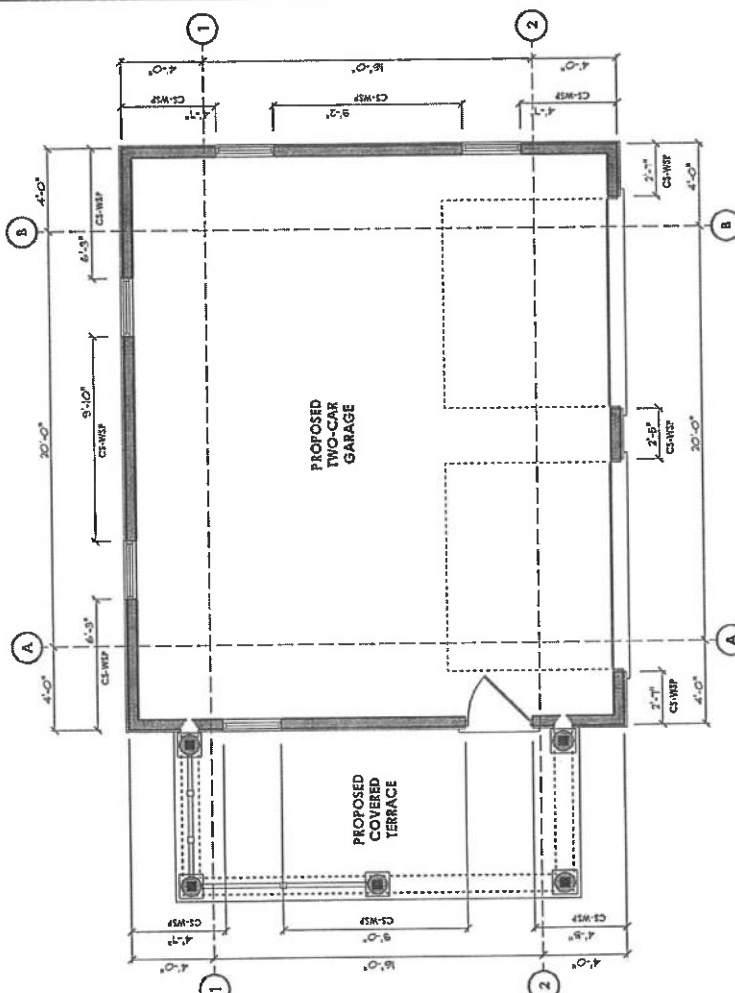


## OVER CONCRETE OR MASONRY BLOCK FOUNDATION

- ALL DESIGNATED EXTERIOR BRACED WALLS SHALL BE A MINIMUM 7/16" PANEL SHEATHING ATTACHED TO FRAMING WITH 6D COMMON NAILS AT 12" O.C. FRAMING SHALL BE 2" X 12" FINISHED WIDTH AND SHALL BE FASTENED TO JOIST OR SOLID WOOD BLOCKING WITH (2) 16D NAILS AT 12" O.C. MIN. JOIST TO PLATE OR SILL Bt @ 6" O.C. TO BRAL.
- ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER DETAIL
- ALL DESIGNATED INTERIOR BRACED WALLS SHALL BE MIN 1/2" MINIMUM THICKNESS WITH 6D COMMON NAIL FRAMING WITH NUMBER AND TYPE & O.A.W. SCREWS AT 7" O.C.
- DESIGNATED MASONRY WALL BRACING SHALL BE CONSTRUCTED IN ACCORDANCE WITH BRACED WALL DETAIL.
- TENSION HOLD DOWN STRAP OF R403 - 02.
- (SIMPSON CM124 STRAP W/ 15-16d NAILS EACH END)

### FIRST FLOOR CALCULATIONS

BRACED WALL LINE	WALL PANEL TYPE	NET REQUIRED WALL BRACING FT.	ACTUAL PROVIDED WALL BRACING FT.
A	CS-WRP	5.25'	14.00'
B	CS-WRP	5.25'	14.35'
1	CS-WRP	5.37'	22.37'
2	CS-WRP	5.37'	4.88'



**ISSUE DATE**

12/23/24

**SCALE:** 1/4" = 1'-0"

**BRACING DETAILS**

# 3.51

PRINT DATE: Wednesday, January 23, 2024

**PROPOSED ADDITION**

**SCHNEIDER RESIDENCE**

12149 Folly Quarter Road,  
Ellicott City, Maryland 21042

**ARCHITECT**

JONATHAN RIVERA, AIA, NCARB

Howard County, Maryland

441.224.5743

jr@jonathandriverr.com



**PROFESSIONAL CERTIFICATION**

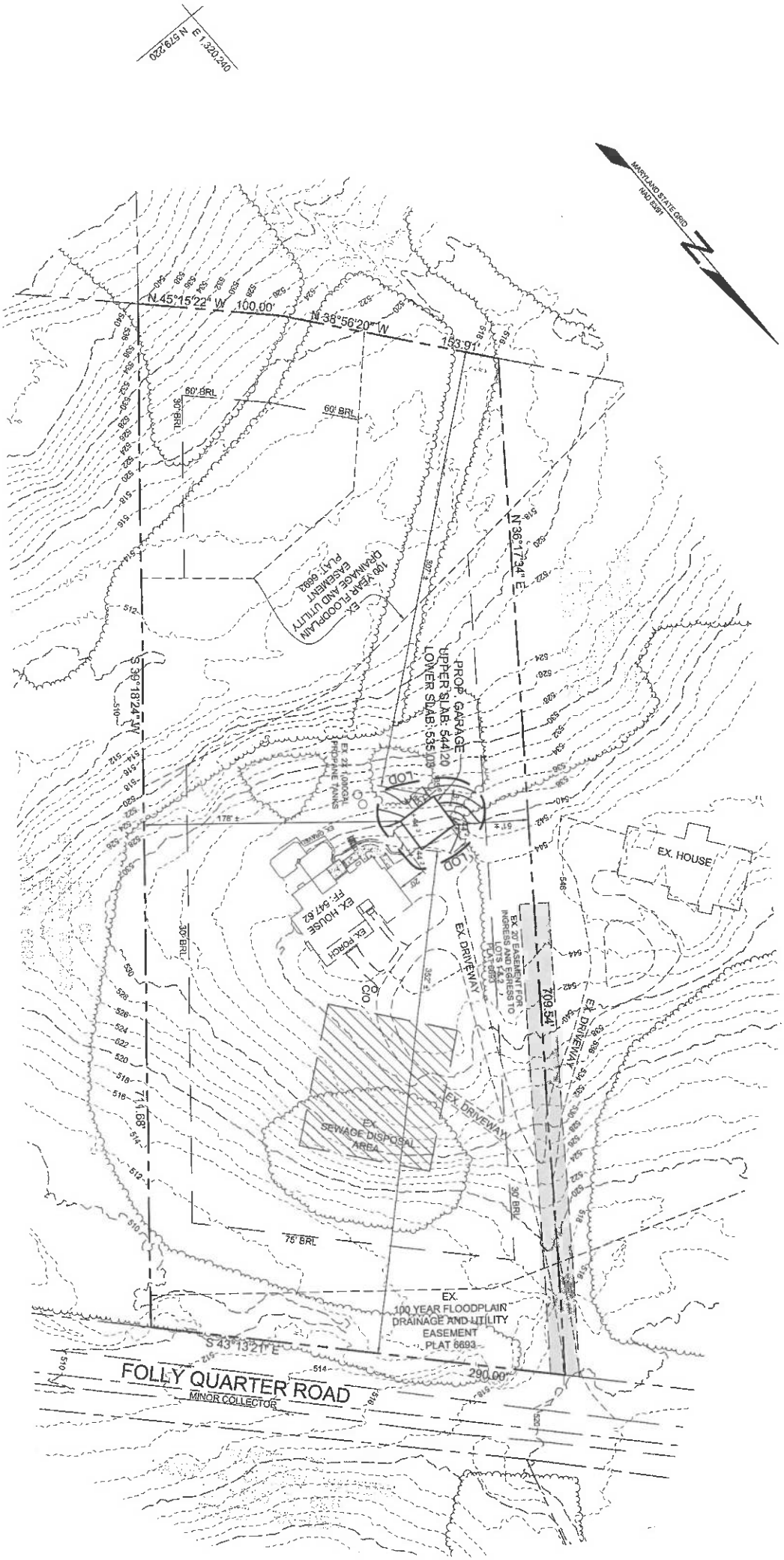
I, Jonathan Rivera, AIA, NCARB, License Number 114279, State of Maryland, certify that these documents were prepared or approved by me or under my direct supervision and that I am a duly licensed professional architect under the laws of the State of Maryland.

License Number 114279

Expiration Date 12/31/2024



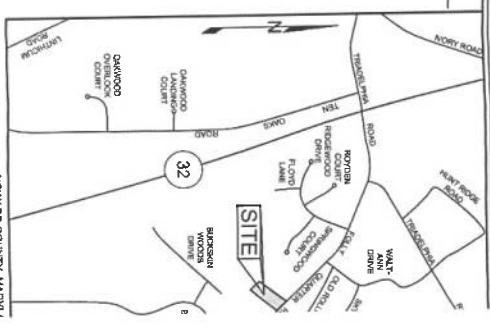




**LEGEND**

EXISTING CONTOUR (GIS)	
EXISTING CONTOUR (FIELD RUN)	
PROPOSED CONTOUR	
EXISTING SPOT ELEVATION	
PROPOSED SPOT ELEVATION	
DIRECTION OF FLOW	
EXISTING TREELINE	
WALK-OUT BASEMENT	

- GENERAL NOTES**
- SUBJECT PROPERTY ZONED R-10 PER 1006/2013 COMPREHENSIVE ZONING PL.
  - TOTAL AREA OF PROPERTY = 4.58 AC±
  - LIMIT OF DISTURBANCE = 3,487.10 SF
  - PLAT REFERENCE: 6693
  - PROPERTY ADDRESS: 13169 FOLLY QUARTER ROAD
  - INFORMATION SHOWN HEREON IS BASED ON RECORD PLAT 6693 & HOWARD CO RECORDS.
  - THE TOPOGRAPHY SHOWN WITHIN THE DEVELOPMENT AREA IS BASED ON A TOPOGRAPHIC SURVEY CONDUCTED BY SILL ENGINEERING GROUP, LLC IN JANUARY 2014. TOPOGRAPHY DEVELOPMENT AREAS SHOWN WITHIN THE MINIMUM OWNERSHIP WIDTH AND REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WMDA, AND THE WELL SERVICING THE PROPERTY IS LOCATED ON LOT 1 PER HOWARD COUNTY RECORDS.



**PLOT PLAN**

**SCHNEIDER PROPERTY**

13169 FOLLY QUARTER ROAD

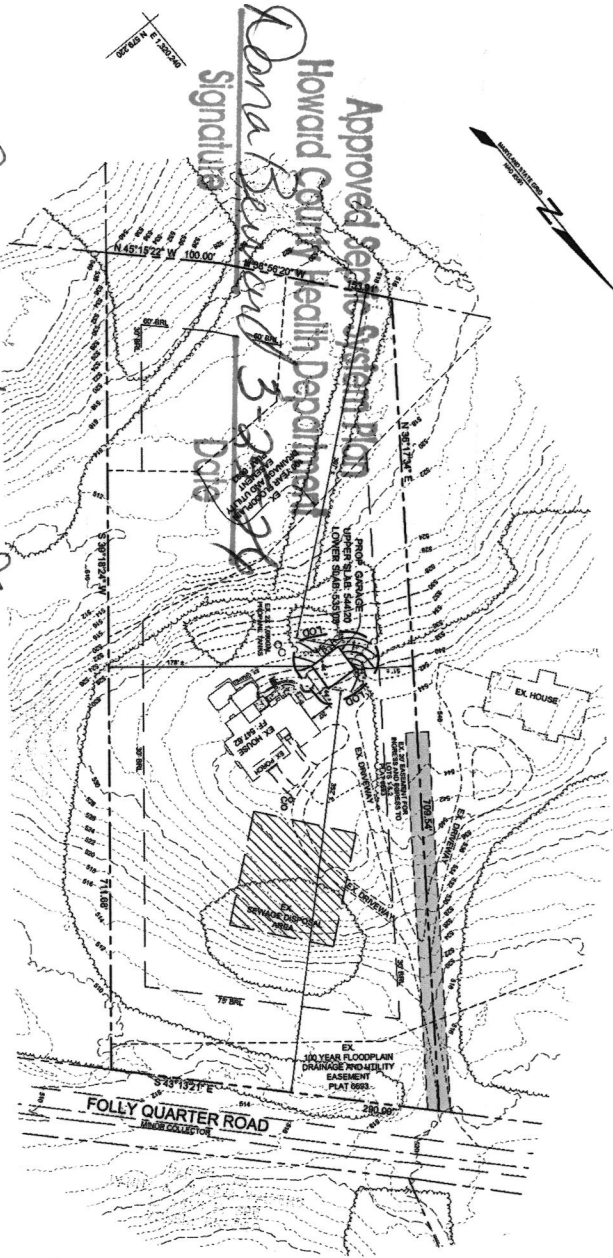
TAX MAP 22 GRID Z2  
9TH ELECTION DISTRICT

SILL

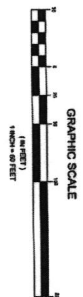
HOWARD COUNTY, MARYLAND

1-35) Double 1-35

Approved Septic System Plan  
 Howard County Health Department  
*Carla Beutzel*  
 Signature  
 Date 3-28-24



Approved as shown  
 NTS - however Storage does not impact Septic or well area. Well is on Lot #1 Proposed is on Lot #2 Storage does not have any BR or Bathroom.



OWNER/DEVELOPER  
 SCHNEIDER PROPERTY  
 13189 FOLLY QUARTER ROAD  
 HOWARD COUNTY, MARYLAND

**PLOT PLAN**  
 SCHNEIDER PROPERTY  
 13189 FOLLY QUARTER ROAD  
 HOWARD COUNTY, MARYLAND

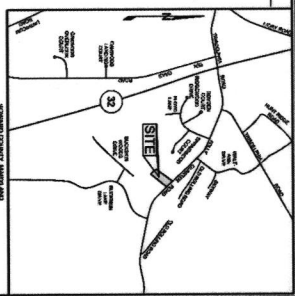
TAX MAP 22 GRID 22  
 0718 ELECTION DISTRICT

**SILL ENGINEERING GROUP, LLC**  
 13170 Rockledge Road, Suite 200  
 Columbia, MD 21046  
 Phone: 410.326.5295  
 Fax: 410.326.5296  
 Email: info@silleng.com  
 License No. 15417  
 State of Maryland

DATE: 3/28/24  
 SHEET # 1 OF 1

**LEGEND**

EXISTING CONTIGUOUS PLOT	---
PROPOSED CONTIGUOUS PLOT	---
EXISTING SEPTIC SYSTEM	---
PROPOSED SEPTIC SYSTEM	---
EXISTING DRIVEWAY	---
PROPOSED DRIVEWAY	---
EXISTING FENCE	---
PROPOSED FENCE	---
EXISTING UTILITY	---
PROPOSED UTILITY	---
EXISTING FLOODPLAIN	---
PROPOSED FLOODPLAIN	---
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
EXISTING WALL/OUT FENCEMENT	---
PROPOSED WALL/OUT FENCEMENT	---



- GENERAL NOTES**
1. THE SEPTIC SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE SEPTIC SYSTEM ACT, TITLE 27, SUBTITLE 10, OF THE MARYLAND CODE.
  2. THE SEPTIC SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT.
  3. THE SEPTIC SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT FOR A PERIOD OF 150 YEARS.
  4. THE SEPTIC SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT FOR A PERIOD OF 150 YEARS.
  5. THE SEPTIC SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT FOR A PERIOD OF 150 YEARS.
  6. THE SEPTIC SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT FOR A PERIOD OF 150 YEARS.
  7. THE SEPTIC SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT FOR A PERIOD OF 150 YEARS.
  8. THE SEPTIC SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT FOR A PERIOD OF 150 YEARS.
  9. THE SEPTIC SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT FOR A PERIOD OF 150 YEARS.
  10. THE SEPTIC SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT FOR A PERIOD OF 150 YEARS.

# 2024 IECC CODE COMPLIANCE

R301.1 Climate zone 4A

**R401.2 Compliance Method, Mandatory and Prescriptive Provisions**  
**R402.1.1 Vapor Retarder:** Wall assemblies in the building thermal envelope shall comply with vapor retarder requirements of Section R702.7 of the International Residential Code, 2015 Edition.  
**R402.1.2 Attic Insulation/Raised Heel Trusses:** R-49 R-38

**R402.1.2 Wood Frame Wall:** R-30

**R402.1.2 Basement Wall Insulation:** R-13/R-10 Full Faced Continuous, uninterrupted Batts Full Height

**R402.1.2 Crawl Space Wall Insulation:** R-13/R-10 Full faced Continuous Batts Full Height extending from floor above to finishgrade level and then vertically or horizontally an additional 2'-0".

**R402.1.2 Floor Insulation over Unconditioned Space:** R-19 batt insulation.

**R402.1.2 Window U-Value/SHGC:** .35 (U-Value)/.40 (SHGC)

**R402.10 Slab on Grade Floors Less Than 12" Below Grade:** R-10 Rigid Foam Board Under Slab Extending Either 2'-0" Horizontally or 2'-0" Vertically

**R402.2.4 Attic Access:** Attic access scuttle will be weathertight and insulated R-49

**R402.4 Building Thermal Envelope (air leakage):** Exterior walls and penetrations will be sealed per this section of the 2015 IECC with caulk, gaskets, weathertightening or an air barrier of suitable material. Sealing methods between dissimilar materials shall allow sealing for differential expansion and contraction.

**R402.4.1.2 Building Thermal Envelope Tightness Test:** Building envelope shall be tested and verified as having an air leakage rate of not exceeding 3 air changes per hour. Testing shall be conducted in accordance with ASTM E779 or ASTM E 1827 with (blower door) at a pressure of 0.2 inches w.g. (50 Pascals). Testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the building inspector. 7/15

**R402.4.2 Fireplaces:** New wood burning fireplaces will have tight-fitting fire dampers or doors, and outdoor combustion air. Fireplace doors shall be listed and labeled in accordance with UL 1721 (factory built fireplace) and UL 907 (masonry fireplace).

**R402.4.4 Rooms containing fuel-burning appliances:** where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air shall be located outside the building thermal envelope or enclosed in a room isolated from the thermal envelope. Exceptions: 1. Direct vent appliances with both intake and exhaust pipes installed/continuous to the outside. 2. Fireplaces and stoves complying with Section R402.4.2 and Section R1008 of the IRC.

**R402.4.5 Recessed Lighting:** Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage.

**R403.1.1 Thermostat:** All dwelling units will have at least (1) programmable thermostat for each separate heating and cooling system per 2015 IECC Section 403.1.1.

**R403.1.2 Where a heat pump system having supplementary electric resistance heat is used:** the thermostat shall prevent the supplementary heat from coming on when heat pump can meet heating load.

**R403.3.1 Mechanical Duct Insulation:** Supply and Return Ducts in Attic R-8 minimum, R-6 when less than 3 inches. Supply and Return Ducts outside or conditioned spaces R-4 minimum. All other ducts except those located completely inside the building thermal envelope R-6 minimum. Ducts located under concrete slabs must be R-6 minimum.

**R403.3.2 Duct Sealing:** All ducts of handlers, filter boxes will be sealed. Joints and seams will comply with section M1.601.4.1 of the IRC. A duct tightness test ("Duct blaster" duct tightness test) will be performed on all homes and shall be verified by either a post construction test or a rough-in test. Duct tightness test is not required if the air handler and all ducts are located within the conditioned space.

**R403.4 Mechanical Ventilation:** Outdoor (make-up and exhaust) air ducts to be provided with automatic or gravity damper that close when the ventilation system is not operating.

**R403.4.1 Whole-house mechanical ventilation system fan efficiency:** to comply with TABLE R403.4.1.

**R403.7 Equipment Sizing shall comply with R403.7.**

**R403.1 Lighting Equipment:** A minimum of 75% of all lamps (lights) must be high-efficiency lamps. This contractor also responsible for generating Certificate of Compliance and affixing to electrical panel or within 6 feet of the electrical panel and be readily visible.

## GENERAL NOTES

- All work shall comply to applicable local codes.
- All construction shall be classified as and comply to either of the following:
  - .. One Group 4 under the 2021 International Residential Code & Howard County Code
  - .. All work shall comply to International Energy Conservation Code, 2007 ed.
  - .. IECC CODE COMPLIANCE NOTES
- These plans and notes are the property and sole responsibility of JBArchitecture, LLC. Use of these plans without the written consent of JBArchitecture, LLC is prohibited.
- These plans are subject to modification as necessary to meet code requirements and/or local mechanical/plumbing installation or permitting requirements. The Contractor and the Owner reserves the right to make any changes, in any amount, at any time, without notice, and the Contractor shall be responsible for obtaining all necessary permits and approvals.
- The Sub-Contractor shall prepare and complete all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper determination.
- These plans are not to be scaled for construction purposes. When dimensions and notes supersede of scaled references.
- In the event certain portions of Construction are not fully shown on the drawings, that construction shall be of the same character as the similar conditions shown on the notes or notes.
- All integrated garage in dwelling units shall be separated from all adjacent living space with the separation as required by local code.
- Field verify All dimensions
- Field verify All dimensions

## GENERAL FRAMING NOTES

- Posts of four joints under walls above, that are framed parallel to floor framing unless noted otherwise on the plans.
- Provide solid 2x10 blocking to be located between floor joists where posts from above, carrying attached wooden framed floor joists, blocking is the only way to tie the system with joists in carrying capacity.
- Provide adequate clearance @ plumbing stacks on req.
- All dimensions must be verified in the field by the contractor before start of construction, any discrepancies on the plans, or specifications, must be reported to the architect or engineer prior to the start of construction.
- Any deviation from these plans that will require changes to the structural members shall be brought to the attention of the architect immediately.

## DESIGN CRITERIA

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - Table 301.2 (1)

GROUND SNOW LOAD (lbs./sq.ft.)	50
DESIGN WIND SPEED	115 m.p.h.
SEISMIC CONDITION BY ZONE	A
SUBJECT TO DAMAGE	WEATHERING
	SEVERE
	FOOT LINE DEPTH
	30
	TERMINI
	MODERATE TO HEAVY
	DECAY
WINTER DESIGN TEMP. FOR HEAT FACILITIES	20'
RADIANT RESISTANT CONSTRUCTION REQ.	
FLOOD ZONE	

## CODE INFORMATION

ALL WORK SHALL COMPLY WITH INTERNATIONAL CODES W/ LOCAL AMENDMENTS

2024 International Residential Code
2021 Existing Building Code
2024 Energy Conservation Code
2024 National Fuel Gas Code
2024 International Plumbing Code
2024 International Mechanical Code
2023 National Electrical Code
2021 NFPA 101 Life Safety Code

## ITEMS OF PARTICULAR NOTE

- Contractor, sub-contractor or supplier shall verify all job conditions and measurements prior to commencing any work or design materials. Discrepancies between dimensions shown on drawings and actual field conditions should be brought to the Architect and Owner immediately for clarification prior to proceeding with work. These plans are not to be scaled for construction purposes. Written dimensions and notes supersede all scaled references. If there are any conflicts, discrepancies or ambiguity with dimensioning the Contractor shall notify the Architect immediately for clarification. Field verify All proposed dimensions
- As a matter of record, JBArchitecture, LLC shall not be responsible for construction means and methods or omissions by the contractor, sub-contractor or any other persons performing work in accordance with these drawings.
- On this Project, the Contractor shall have sole supervision over, and exclusive responsibility for, demolition and temporary construction, construction means, methods, techniques, sequences, procedures, safety precautions and safety programs in connection with all demolition and construction work; and protection of persons and property during construction until final completion is obtained. Services performed by Architect or its consultants during construction, if any, are intended to promote the good that, in general, the construction work, when fully completed, will be consistent with the design intent reflected in the permit or construction drawings. Means and methods responsibility always shall be the exclusive responsibility of the Contractor and Contractor shall separately engage specialty engineers or other consultants as required to fulfill this responsibility.

## DRAWING LIST

0.01	COVER SHEET
0.02	GENERAL INFO
1.01	ELEVATIONS
1.02	ELEVATIONS
1.03	ELEVATIONS
2.01	FOUNDATION PLAN
3.01	FIRST FLOOR PLAN
3.02	SECOND FLOOR PLAN
3.03	DETAILS
3.51	BRACING-FIRST FLOOR PLAN
3.53	BRACING-DETAILS
4.01	SECTIONS

## AREA INFO

FLOOR	SQUARE FOOTAGE
GARAGE	672 sq. ft.
STORAGE	431 sq. ft.
TERRACE	151 sq. ft.

## DESIGN - LIVE LOADS

RECOMMENDED MINIMUMS:

- Ground Snow Load	50 psf
- Roof Live Load	30 psf
- Sleeping Floors	30 psf
- Living Floors	40 psf
- Exterior Decks	40 psf
- Stairs	40 psf
- Garage Slabs	40 psf
- Wind Load	18 psf
- Groundfalls	200' at any point in any direction.

(or as per local code)

**JONATHAN RIVERA**  
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 JBArchitecture.com



**PROPOSED ADDITION**  
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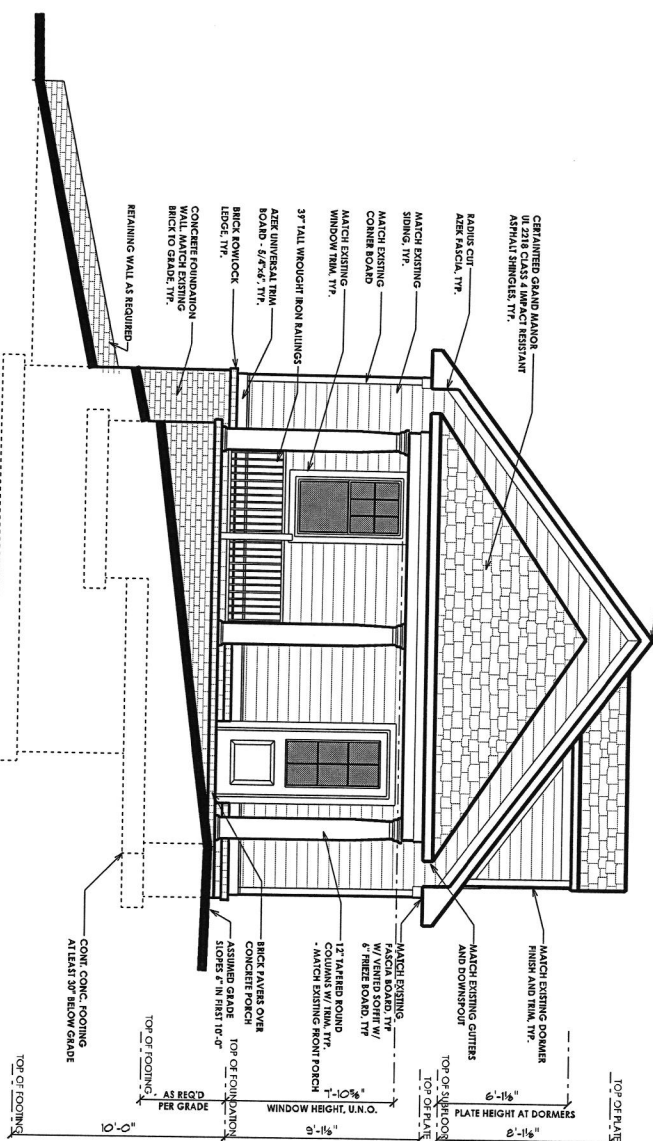
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 jrivera@jbaarchitecture.com

**COVER SHEET**  
 SCALE: N/A  
**0.01**  
 PRINT DATE: Tuesday, January 27, 2024

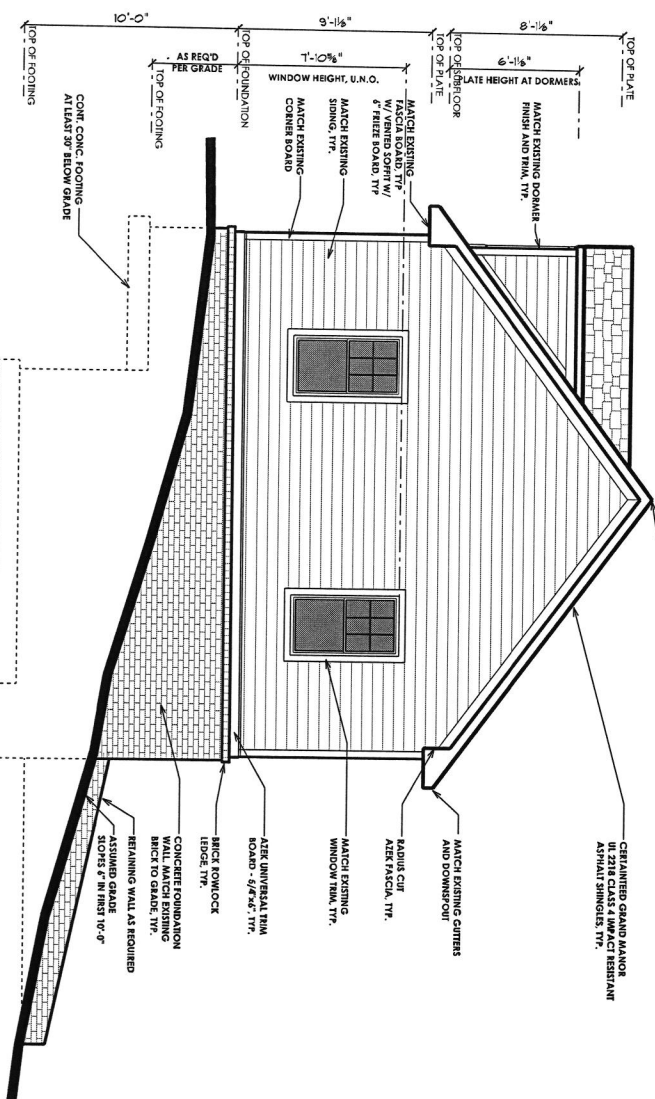




CONTINUOUS ROOF VENT, TYP.



# LEFT ELEVATION



# RIGHT ELEVATION

**JONATHAN RIVERA**  
 ARCHITECT  
 1149 216 5715  
 JONATHANRIVERA.COM



**PROFESSIONAL CERTIFICATION**  
 I have prepared or approved by me, and that I am a duly licensed professional architect in the State of Maryland, of the License Number 114678, Expired Date 6/30/2028.

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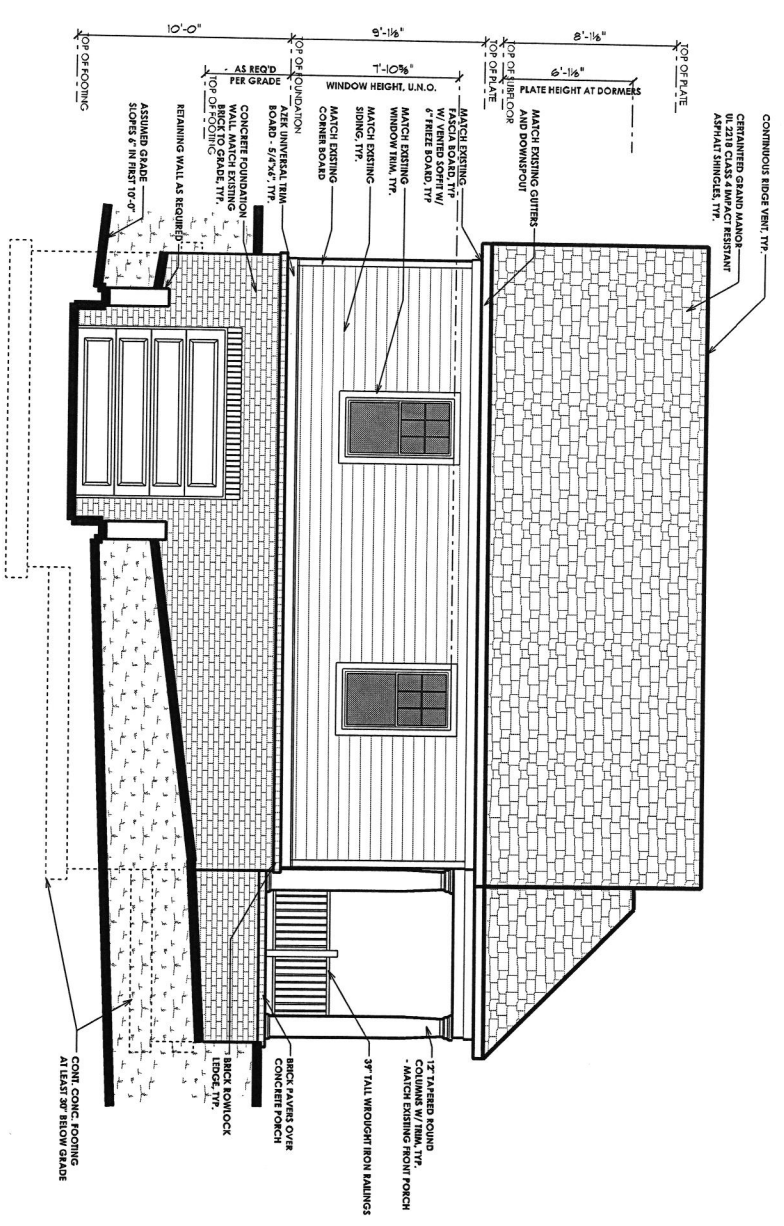
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 Beloit City, Maryland 21042

**ARCHITECT**  
 Jonathan Rivera AIA, NCARB  
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 jrivera@jonathandrivera.com

**ISSUE DATE**

NO.	DATE	REVISION
1	1.21.24	ISSUE SET

**SCALE:** 1/4" = 1'-0"  
**ELEVATIONS**  
**1.02**  
 PRINT DATE: Tuesday, January 27, 2024



**REAR ELEVATION**



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I certify that these documents were prepared or approved by me, and that I am a duly architect under the laws of the State of Maryland.  
License Number 81468  
Expiration Date 01/29/2028

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**ARCHITECT**  
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**ISSUE DATE**

NO.	DATE	REVISION
1	1-27-28	FINAL SET

**SCALE:** 1/4" = 1'-0"  
**ELEVATIONS**



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 I certify that these documents  
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 person under my direct supervision  
 and control, and that I am a  
 duly licensed professional  
 architect under the laws of the  
 State of Maryland.  
 License Number: 14478  
 Expiration Date: 6/30/2025

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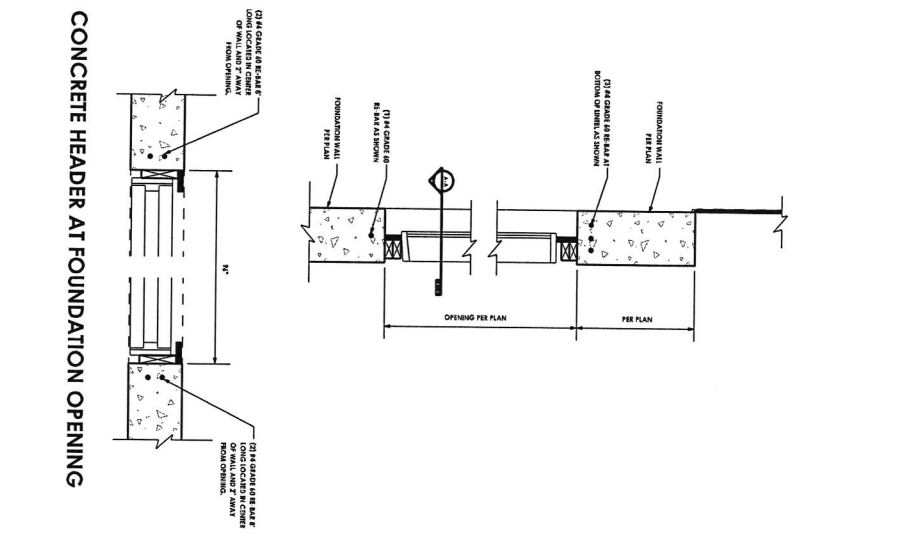
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**SCHNEIDER  
 RESIDENCE**

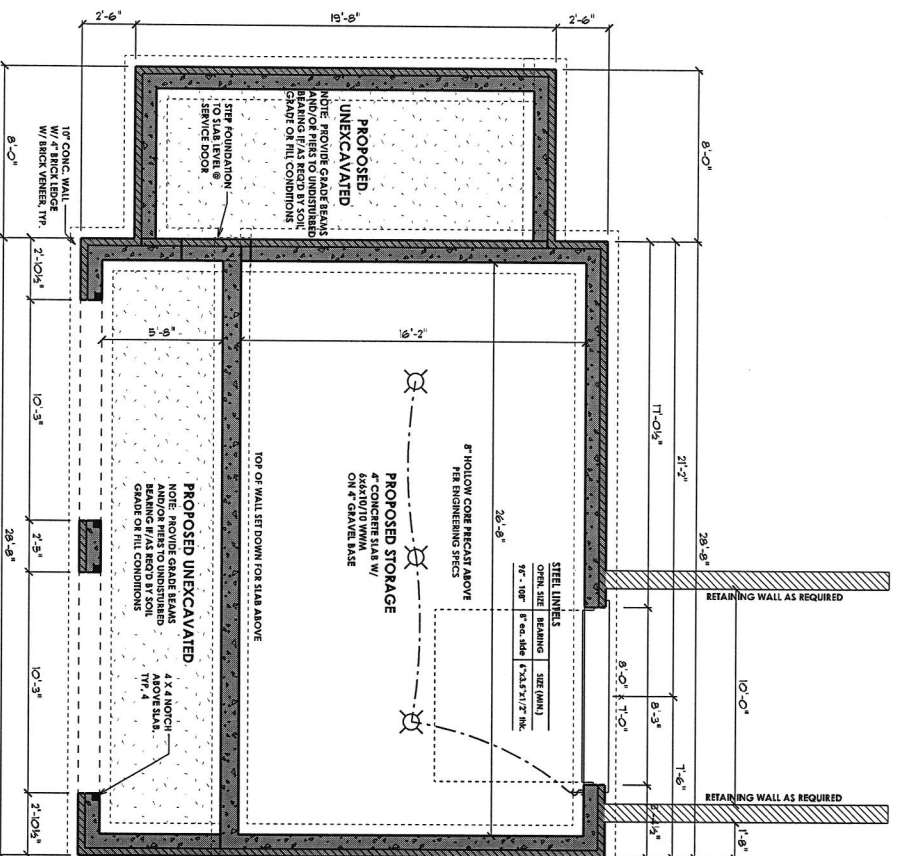
13169 Tolly Quaker Road  
 Ellicott City, Maryland 21042

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**2.01**  
 FOUNDATION  
 SCALE: 1/4" = 1'-0"  
 DATE: 1/27/25  
 DRAWN BY: RMM/ST  
 CHECKED BY: JRR  
 DATE: Thursday, January 27, 2025



**CONCRETE HEADER AT FOUNDATION OPENING**

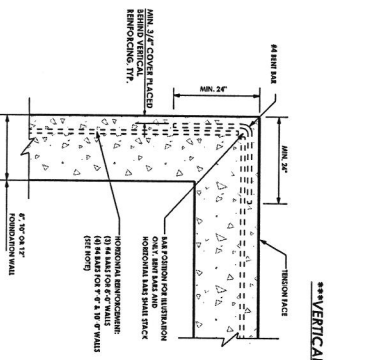


**FOUNDATION NOTES**

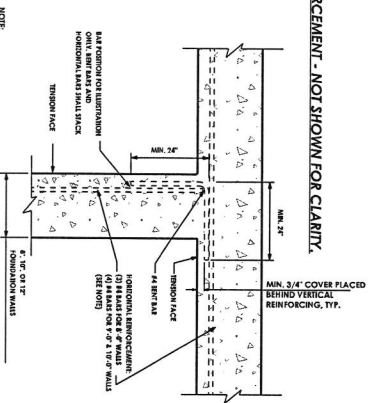
- 1) 1500 P.S.F. MIN. SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SP4 @ 1/2\"/>

**TYPICAL GARAGE FOUNDATION WALL**

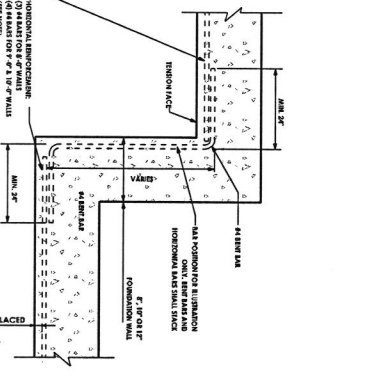
MIN. 1/2\"/>



**TYPICAL CORNER REINFORCING UNO**



**TYPICAL REINFORCING AT \"T\" INTERSECTIONS - UNO**



**TYPICAL REINFORCING AT \"Z\" INTERSECTIONS - UNO**

**ISSUE DATE**

NO.	DATE	DESCRIPTION
1	1-27-25	PERMIT SET

**SCALE:** 1/4" = 1'-0"

**FOUNDATION**

### Material Properties

Concrete Strength:	6,000 psi
Prestress Strand:	ASTM A416 Low Relax 1/2" x 270 ksi
Rebar:	ASTM A615 fy = 60 ksi
Rebar (weldable):	ASTM A305 fy = 60 ksi
Steel Embeds:	ASTM A572 or A992 fy = 50 ksi
Boccella Hollow Core Plank	UL 1957 Fire Rating (2 HR)

BOCCELLA PRECAST LLC  
 Present Hollowcore Plank Design Cals  
 REF: A-1.00

Job Name: Schneider Residence  
 Job No: 25999  
 Plank Location: 1st/Garage Floor  
 Shop Draw No: PC101  
 Date: 1/20/26  
 Engr: DW

Convert DL & LL to equivalent LL to check against load tables:  
 Note: 8" plank self-wgt (62 psf) already included in load table  
 2" concrete topping self-wgt (23 psf) already included in load table  
 Add 23 psf for additional sloped concrete topping  
 Total 8"sg topping LL = 4'

$$Equiv. LL = \left(\frac{1.2}{1.6}\right) (-25 \cdot w_{pl} + 25 \cdot w_{pl}) + 100 \cdot w_{pl} = 138 \text{ psf} \quad @ \text{1st/Garage Floor}$$

PLK SCS18 with 1st/Garage Floor Loading

8"-T Plank Series = HCR804-T  
 Design Span = 16'-2" dt span  
 Load table gives 343 psf > 138 psf OK

Check Deflections from Load Table:  
 $d = 0.24 \text{ in} - 0.14 \text{ in} = 0.10 \text{ in}$

No deflection at max load capacity & meet L560

$$L_{span} = \frac{-(-16 \cdot d + 2 \cdot h)}{360} = -0.34 \text{ in}$$

BOCCELLA PRECAST LLC  
 Present Hollowcore Plank Design Cals  
 REF: A-1.01

Job Name: Schneider Residence  
 Job No: 25999  
 Plank Location: 1st/Garage Floor  
 Shop Draw No: PC101  
 Date: 1/20/26  
 Engr: DW

Check 3.0 kip concentrated wheel load on 8" plank + 2" concrete topping:  
 $q_{pl} = 8.5 \cdot h_{pl} >> 3.0 \text{ kip OK}$

### RECOMMENDED CONCENTRATED WORKING LOAD LIMITS FOR SPAACRETE WITH STRUCTURAL COMPOSITE TOPPING

Depth, Inches:	4"-2"	6"-2"	8"-2"	10"-2"	12"-2"	16"-2"
Single Point Load	5.9	10.3	12.7	15.9	19.2	26.8
Even Double Point Load Spaced = 0.0L	4.0	6.8	8.5	10.6	12.9	19.3
Even Double Point Load Spaced = 1'	3.0	5.1	6.3	7.9	9.6	14.4

- NOTE:
- Values are based on a factor of safety of 2 and a factor of 0.8.
  - Values for 4", 6", 10", 12" and 16" planks are based on a factor of safety of 2.
  - Reduction in allowable load is allowed for double point loads spaced between 1' and 0.5L, equal.
  - Topping is 4000 psi at 28 days with E = 3000 ksi.
  - Slab width will affect load limits; consult your local producer regarding other sections.
  - Maximum recommended bearing area under a concentrated load is 4" x 4".

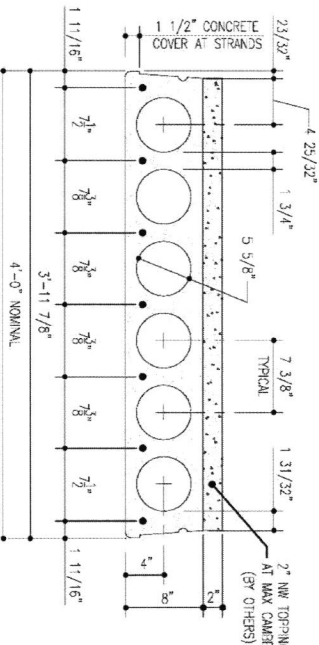
### Design Codes & Standards

CODE / STANDARD	EDITION
Maryland State Code	2021
IBC	2021
ASCE 7	2016
ACI 318	2019
PCI Design Handbook	8th
AISC Steel Construction Specification	360-16

### Project Design Loads

DEAD LOADS:	8" Cella-Core plank	62 psf
	2" concrete topping (composite)	25 psf
	2" add'l concrete topping (non-composite)	25 psf
	SDL @ Garage Floor	25 psf
	LIVE LOADS:	
	1st/Garage Floor	100 psf

### 8" + T CELLA-CORE TECHNICAL DATA SHEET



### LOAD TABLE OF ALLOWABLE SUPERIMPOSED LOADS IN LBS. PER SQ.FT.

STANDARD	STRAND	AREA sq. in.	K-LL	CLEAR SPAN IN FEET											
				7-1/2'	8'	8 1/2'	9'	9 1/2'	10'	10 1/2'	11'	11 1/2'	12'	12 1/2'	
5'-1/2" $\phi$	117	0.765	117	174	185	197	210	224	239	255	272	290	310	331	354
7'-1/2" $\phi$	157	1.07	157	238	254	271	290	311	334	359	385	413	443	475	510

Values below lower heavy line indicate web shear controls. Values are determined based on long term camber as less than "0" with no superimposed loads.

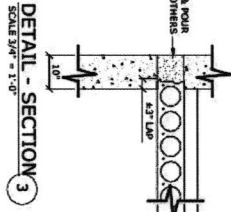
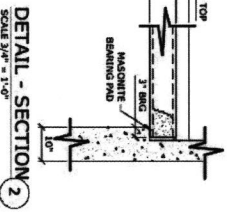
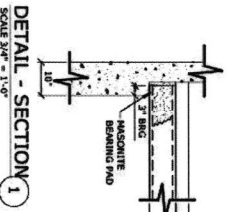
### MATERIAL PROPERTIES

Net Area:	299 in <sup>2</sup>	Strength of Concrete (f <sub>c</sub> ):	6000 psi
Moment of Inertia:	3168 in <sup>4</sup>	Strength at Release (f <sub>r</sub> ):	3580 psi
Centroid from Slab Bottom:	5.27 in	Unit weight of Concrete:	150 pcf
Section Modulus, Top:	875 in <sup>3</sup>	Ultimate Steel Strength:	270 ksi
Section Modulus, Bottom:	607 in <sup>3</sup>	Strand Yielding Stress:	175.5 ksi
Web Width:	12.94 in	Low Relaxation:	1707 N/mm <sup>2</sup>
V/S Ratio:	2.13 in	Grout Joint Requirements:	
Self Weight:	62.25 = 87 psf	* Self weights based on grouted section	

These tables are for general design with uniform loading only. Final design by Boccella engineering will depend on local codes and standards, site openings, non-uniform loads, and project specific requirements.

### LOAD TABLE - 8" + T CELLA-CORE TECHNICAL DATA SHEET

Table with multiple columns for different load types and span lengths. Includes values for dead load, live load, and total load in lbs per sq ft.



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 jonrivera@schneider.com



**PROFESSIONAL CERTIFICATION**  
 I, Jonathan Rivera, P.E., License No. 11878, State of Maryland, certify that these documents were prepared or approved by me or under my direct supervision and control, and that I am a duly licensed professional engineer in the State of Maryland.  
 Date of Certification: 1/20/26  
 Expiration Date: 4/30/2026

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**ISSUE DATE**

1/23/24	PERMIT SET
1/23/24	FOUNDATION

SCALE: 1/4" = 1'-0"  
**2.02**  
 PRINT DATE: January, January 27, 2024





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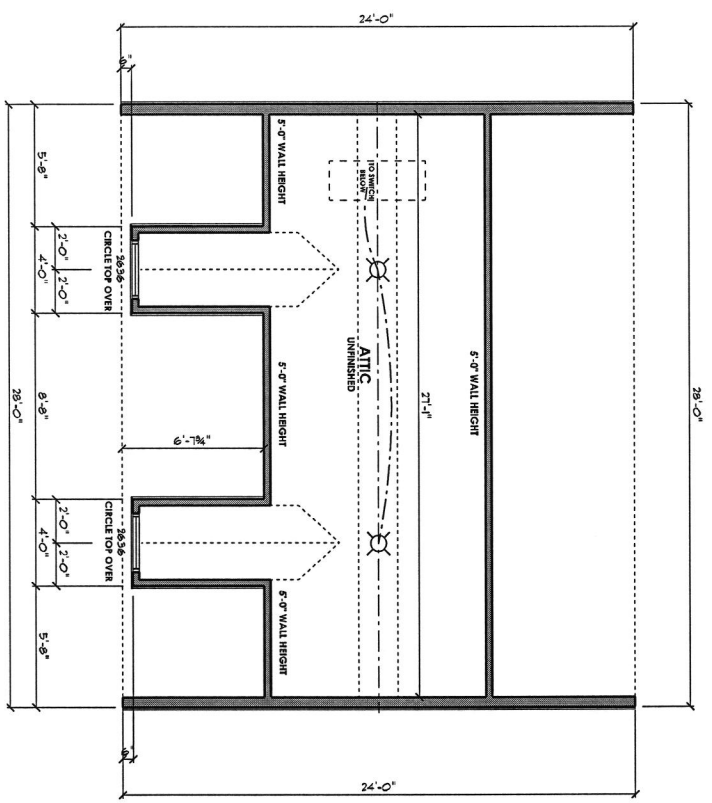
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 jrivera@jonathanrivera.com

**ISSUE DATE**

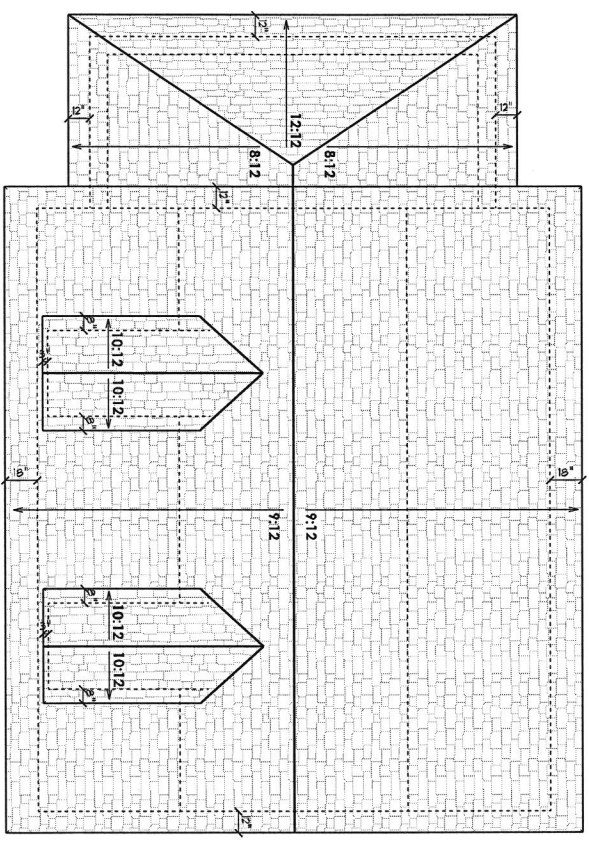
NO.	DATE	REVISION
1	1-27-24	REMARK

**SCALE:** 1/4" = 1'-0"  
**SECOND FLOOR**

**3.02**  
 PRINT DATE:  
 Tuesday, January 22, 2024



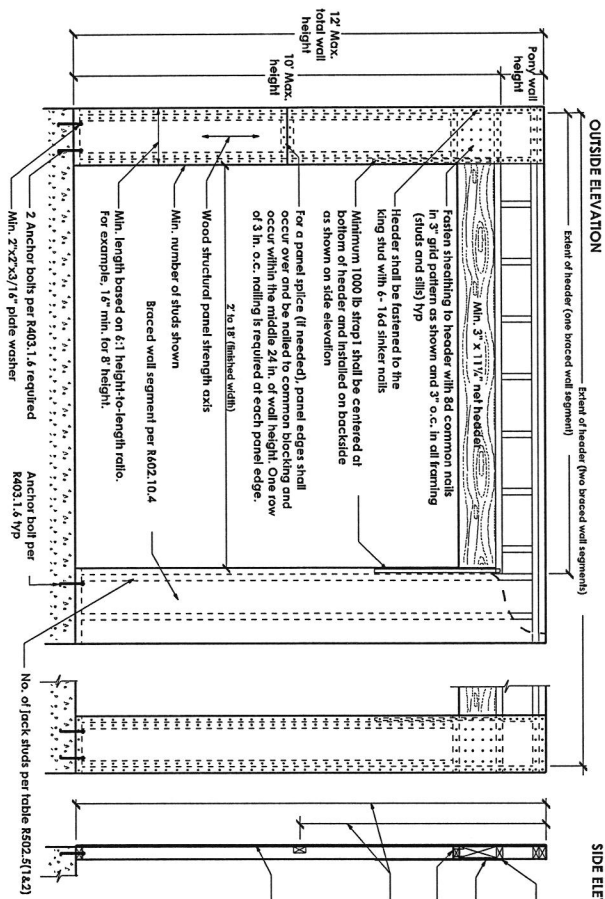
**ATTIC PLAN**



**ROOF PLAN**



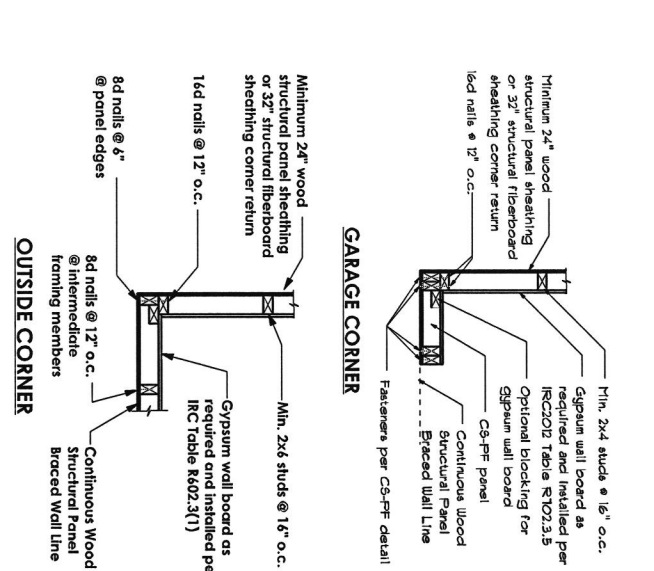
OUTSIDE ELEVATION



SIDE ELEVATION



EXTERIOR CORNER WALL DETAILS



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**PROPOSED ADDITION**  
 SCHNEIDER RESIDENCE  
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 jrivera@jonathandrivera.com

**PROFESSIONAL CERTIFICATION**  
 I, Jonathan Rivera, do hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Architect in the State of Illinois. License Number: #14478. Expiration Date: 6/30/2024.

**ARCHITECT**  
 Jonathan Rivera, AIA, NCARB  
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 414.228.5745  
 jrivera@jonathandrivera.com

**ISSUE DATE**  
 1-30-24

**SCALE:**  
 1/4" = 1'-0"

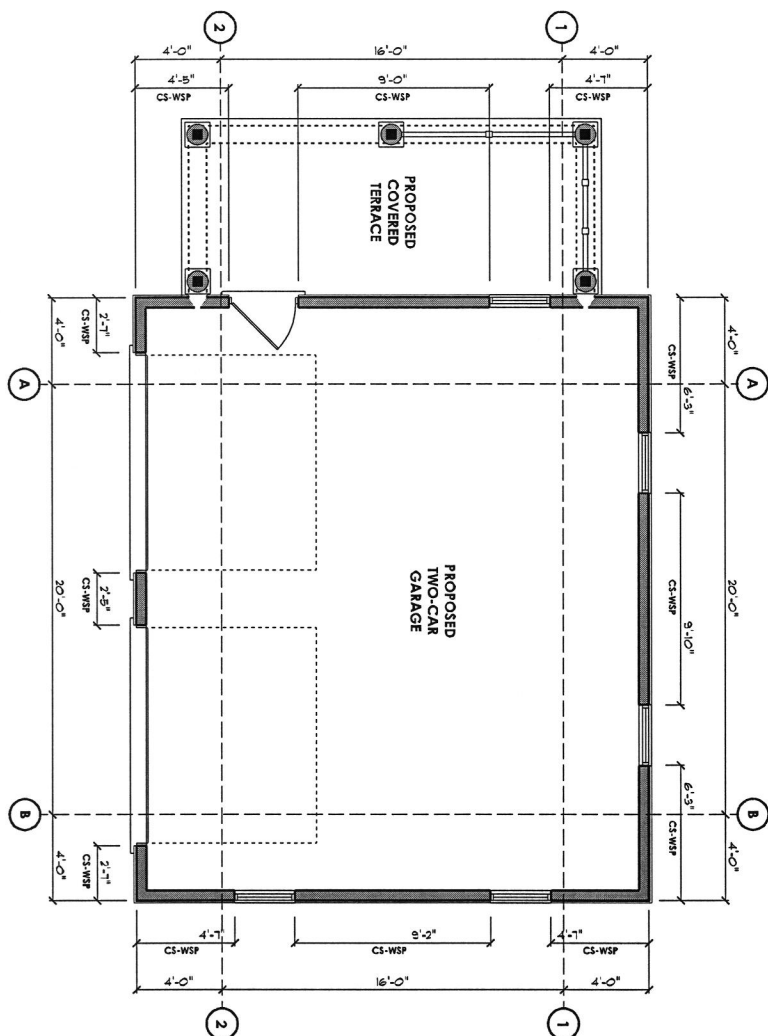
**BRACING DETAILS**

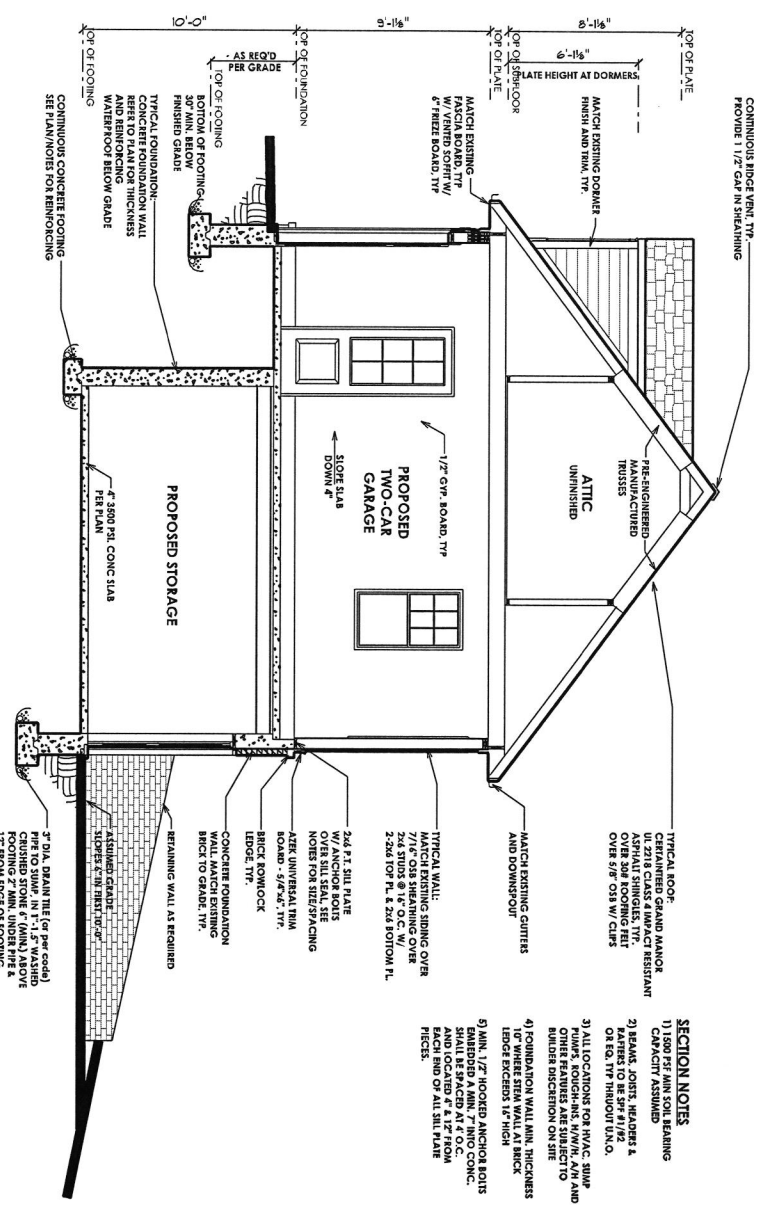
**3.51**  
 PRINT DATE:  
 Tuesday, January 27, 2026

- ALL DESIGNATED EXTERIOR BRACED WALLS SHALL BE A MINIMUM 7/16" PANEL SHEATHING ATTACHED TO FRAMING WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND INTERMEDIATE FRAMING MEMBERS. ALL PANELS SHALL BE FASTENED TO JOIST OR SOLID WOOD BLOCKING WITH (3) 1d NAILS AT 12" O.C. MIN. JOIST TO PLATE OR 3/16" @ 6" O.C. TO BEVAL.
- ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER DETAIL.
- ALL DESIGNATED INTERIOR BRACED WALLS SHALL BE MIN 1/2" GYPSUM BOARD APPLIED TO BOTH FACES OF FRAMING WITH ADHESIVE AND TYPE 5 OR W SCREWS AT 7" O.C.
- DESIGNATED NARROW WALL BRACING SHALL BE CONSTRUCTED IN ACCORDANCE WITH BRACED WALL DETAILS.
- TENSION HOLD DOWN STRAP @ BOU# - 6x.
- (SIMPSON CMST14 STRAP W/ 1/2"-1d NAILS EACH END)

FIRST FLOOR CALCULATIONS

BRACED WALL LINE	WALL TYPE	NFT REQUIRED WALL BRACING FT.	ACTUAL PROVIDED WALL BRACING FT.
A	CS-WSP	5.25'	18.88'
B	CS-WSP	5.25'	18.33'
1	CS-WSP	3.37'	22.33'
2	CS-WSP	5.37'	4.58'





### SECTION A-A

- SECTION NOTES**
- 1) 1500 PSF MIN. SOIL BEARING CAPACITY ASSUMED
  - 2) BEAMS, JOISTS, HEADERS & BATTENS TO BE SFR #1/2 ON EQ. TYP. HORIZONTAL DIMS.
  - 3) ALL LOCATIONS FOR HVAC, SWIM PUMPS, ROUGH-IN W/WH, AM, AND OTHER MECHANICAL TO BE DETERMINED BY BUILDER DISCRETION ON SITE
  - 4) FOUNDATION WALL MIN. THICKNESS 12" HIGH
  - 5) MIN. 1/2" HORIZONTAL ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. AND SPACED AT 4' O.C. AND LOC'D AT 1/2" FROM FACE OF WALL

2x4 P.L. SILL PLATE W/ ANCHOR BOLTS FOR FOUNDATION WALL. SEE NOTES FOR SIZING/SPACING

7/16" OSB SHEATHING OVER 2x6@12" O.C. 2x6@12" O.C. 2x6 BOTTOM FL.

TYPICAL WALL: MATCH EXISTING SIDING OVER

MATCH EXISTING GUTTERS AND DOWNPOUT

PRE-ENGINEERED MANUFACTURED TRUSSES

ATTIC UNFINISHED

PROPOSED TWO-CAR GARAGE

1/2" GYP. BOARD, TYP

SLOPE SLAB DOWN 4"

PROPOSED STORAGE

4" CONC. SLAB

CONCRETE FOUNDATION WALL MATCH EXISTING BRICK TO GRADE, TYP.

BRICK KNOCK-OUT EDGE, TYP.

4" UNFINISHED CONC. SLAB

RETAINING WALL AS REQUIRED

ASSUMED GRADE: 1.5' BELOW FINISH 1/2" O.C.

3" DIA. DRAIN TILE (1' per catch) CRUSHED STONE 4" (MIN.) ABOVE 1/2" FROM ROCK ON FOOTING W/ 1/2" FILTER SANDWICH OVER.

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**PERMISSION TO CONSTRUCT**

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Jonathan Rivera Architect  
At Risk! Reserved

**PERSONAL CERTIFICATION**

I, the undersigned, certify that I am a duly licensed professional architect in the State of Maryland, License Number 014478, and that I am a duly licensed professional engineer in the State of Maryland, License Number 014478, and that I am the Designer of the above described project.

**ISSUE DATE**

1.27.24

REVISION SET

**SCALE: 1/8" = 1'-0"**

**SECTIONS**

4.01

**PRINT DATE:**  
Tuesday, January 27, 2024