

RECEIVED

OCT 28 2022

Cancelled 2/17/26  
-H.O.

Health

PERMIT NUMBER: B 22054026

DATE ACCEPTED:



### RESIDENTIAL BUILDING PERMIT APPLICATION

LICENSES & PERMITS  
DIVISION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS  
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4  
www.howardcountymd.gov

**BUILDING SITE ADDRESS REQUIRED**

Street Address: **13415 Forsythe Road** Unit: \_\_\_\_\_  
 City: **Sykesville** State: **MD** Zip Code: **21784**  
 Subdivision/Village/Complex Name: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Lot: \_\_\_\_\_ Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grading Permit #: \_\_\_\_\_

**DESCRIPTION OF WORK REQUIRED**

Existing Use: **single family home** Proposed Use: **detached workshop & bathroom** Estimated Cost: **\$75.00**  
 Trade Work to Be Completed (Separate Permits Required):  Mechanical (HVACR)  Electrical  Plumbing  None  
**SFD/ construct 26'x14' workshop- not garage with storage room & bathroom 364sq ft**

**PROPERTY OWNER INFORMATION REQUIRED**

Owner(s) Name(s) (As it appears on tax records): **Elaine Barker** Primary Residence:  Yes  No  
 Owner's Street Address: **13415 Forsythe Road**  
 City: **Sykesville** State: **Maryland** Zip Code: **21784**  
 Phone: **(410) 489-4329** Email: \_\_\_\_\_

**APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION**

Business Name: **North Ridge Builders** Contact Name: **Arthur Baker**  
 Street Address: **1952 Andrew Court**  
 City: **Marriottsville** State: **Maryland** Zip Code: **21104**  
 Phone: **(410) 707-6762** Email: **rick@northridgebuilders.com**

**CONTRACTOR INFORMATION REQUIRED**

Business Name: **North Ridge Builders** License #: **89352**  
 Licensee's Name: **Arthur Baker**  
 Street Address: **1952 Andrew Court**  
 City: **Marriottsville** State: **Maryland** Zip Code: **21104**  
 Phone: **(410) 707-6762** Email: **rick@northridgebuilders.com**

**ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE**

Business Name: **GBL Architects** Name: **Greg Little**  
 Street Address: **po box 237**  
 City: **Finksburg** State: **Maryland** Zip Code: **21048**  
 Phone: **(410) 833-8320** Email: \_\_\_\_\_

**BUILDING CHARACTERISTICS REQUIRED**

Primary Structure:  SF Dwelling  SF Townhouse  SF Duplex  Mobile Home  Multi-Family Dwelling (MF\*) Condo:  Yes  No  
 Utilities:  Electric  Gas Water Supply:  Public  Private (Well) Sewage Disposal:  Public  Private (Septic)  
 Heating System:  Electric  Natural Gas  Propane  Other: \_\_\_\_\_ Roadside Tree Project:  No  Yes: # \_\_\_\_\_  
 Sprinkler System:  NFPA 13  NFPA 13R  NFPA 13D  None Fire Alarm System:  Yes  No  Voice Evac

**ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)**

Model Name & Options:  
 # of Bedrooms (SF): \_\_\_\_\_ # of efficiency units (MF\*): \_\_\_\_\_ # of 1 BR (MF\*): \_\_\_\_\_ # of 2 BR (MF\*): \_\_\_\_\_ # of 3 BR (MF\*): \_\_\_\_\_  
 # Rooms: \_\_\_\_\_ # Full Baths: \_\_\_\_\_ # Half Baths: \_\_\_\_\_ # Fireplaces: \_\_\_\_\_  
 Garage/Carport Info:  Attached Garage  Detached Garage  Integral Garage  Carport  None  
 Basement/Foundation Info:  Slab on Grade  Post & Pier  Unfinished Basement  Finished Basement  Full or  Partial  
 1st Fl Width: \_\_\_\_\_ 1st Fl Depth: \_\_\_\_\_ 2nd Fl Width: \_\_\_\_\_ 2nd Fl Depth: \_\_\_\_\_ Bsmt Width: \_\_\_\_\_ Bsmt Depth: \_\_\_\_\_  
 Energy Method:  Prescriptive  Performance  UA Alternative  ERI Gross Area: \_\_\_\_\_ sq ft Occupiable Area: \_\_\_\_\_ sq ft

**AGREEMENT/ DISCALIMER REQUIRED**

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE \_\_\_\_\_ DATE SIGNED \_\_\_\_\_

**FOR OFFICE USE ONLY** CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:  
 PR  DPZ  DED  Health  SHA  CID

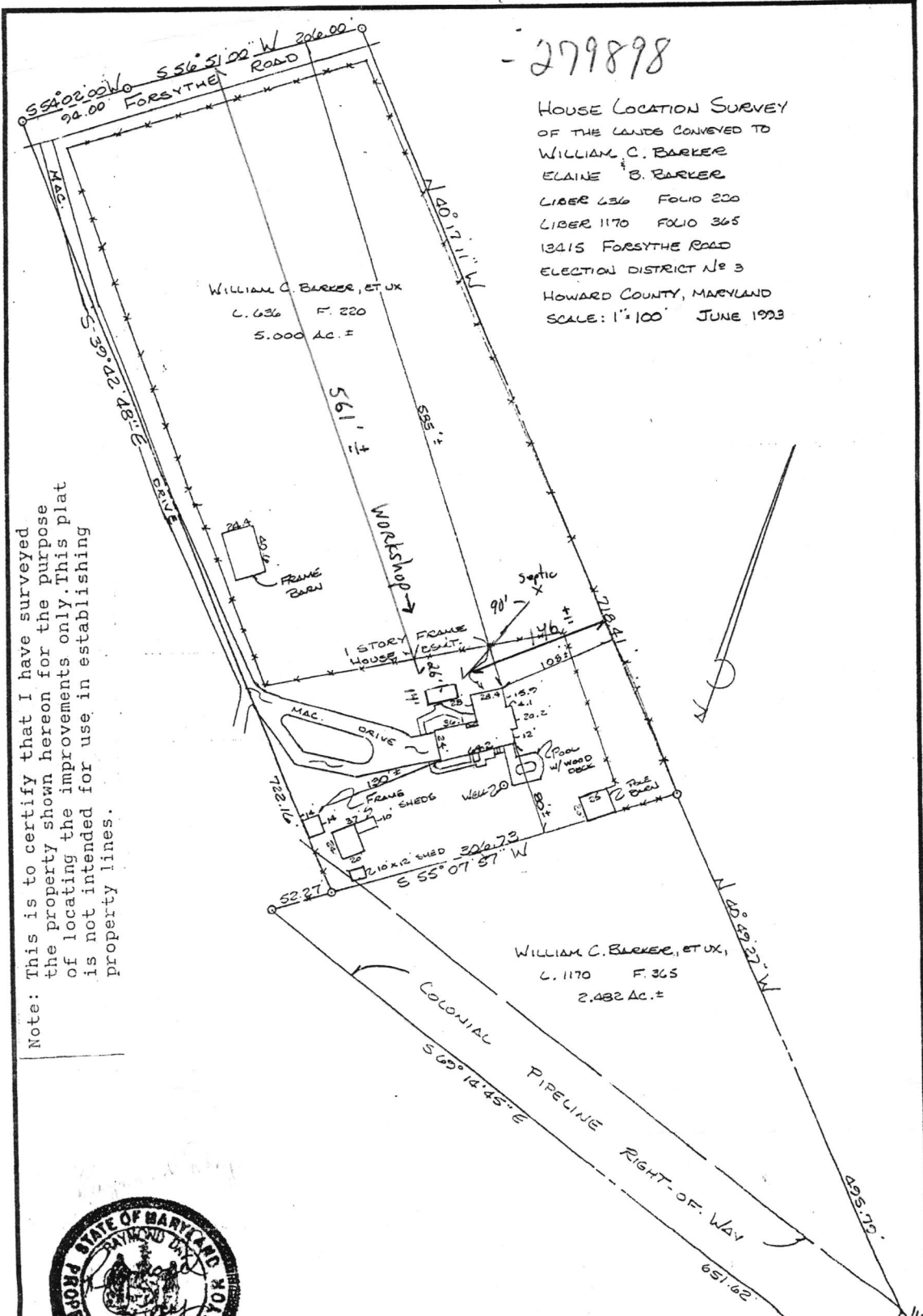
SUBMITTAL FEES: **\$25.00** PAYMENT: **will pay online** ACCEPTED BY: \_\_\_\_\_

Map Grid Parcel  
04 21 070

-279898

HOUSE LOCATION SURVEY  
OF THE LANDS CONVEYED TO  
WILLIAM C. BARKER  
ELAINE B. BARKER  
LIBER 636 FOLIO 220  
LIBER 1170 FOLIO 365  
13415 FORSYTHE ROAD  
ELECTION DISTRICT No 3  
HOWARD COUNTY, MARYLAND  
SCALE: 1"=100' JUNE 1993

Note: This is to certify that I have surveyed the property shown hereon for the purpose of locating the improvements only. This plat is not intended for use in establishing property lines.



6/21/93

Note: Property is not located within a flood hazard area according to national flood insurance program, flood insurance rate map, community panel number: 240044 0004 B

I CERTIFY THIS PLAT TO BE CORRECT; IT IS THE RESULT OF AN ACTUAL FIELD SURVEY, BASED ON DATA FOUND AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, AS REFERENCED HEREON.

LIBERTY SURVEY, INC.  
4140 RIDGE ROAD  
TAYLORSVILLE, MARYLAND

REFERENCE	JOB NO.
LIBER 0636 FOLIO 220	93-80
LIBER 1170 FOLIO 365	

410-875-0722

21157

## Oswald, Hank

---

**From:** Rick Baker <rick@eldersburgrenovations.com>  
**Sent:** Friday, February 3, 2023 4:46 PM  
**To:** Oswald, Hank  
**Cc:** Rick Baker; Rodney Jones; Elaine Barker  
**Subject:** Fwd: Please forward to Howard County

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,  
Please forward this to your supervisor. We would really appreciate an expedited waiver for this resident.  
Thank you  
Rick Baker  
Eldersburg Renovations,LLC  
2030 Liberty Road suite5  
Eldersburg, MD 21784  
443-398-8551

---

**From:** Elaine Barker <ElaineBBarker@hotmail.com>  
**Sent:** Friday, February 3, 2023 3:01:32 PM  
**To:** Rick Baker <rick@eldersburgrenovations.com>  
**Subject:** Please forward to Howard County

To whom it may concern (Howard County):

My husband and I have lived in Howard County since 1970 and have lived on Forsythe Rd. near Sykesville since 1975. Since the beginning of the pandemic, we have been teleworking from home and find that we need separate office space to work efficiently and participate in virtual meetings. However, we are one room short, and so my husband is having to work from the bathroom, while I work in the dining room. (This is really true!)

We decided last year that we really needed another suitable office space so initiated having an addition built. We have been waiting at least three months for our building permit to be approved but now find that we are being requested to have a perk test. Our current septic system works fine, we are not expecting to have any further people living with us, and we do not really need to have bathroom facilities in the new building, although it would be nice to not have to return to the house during a rain storm. The perk test really makes no sense and is an unnecessary and unacceptable expense. Could you please exempt us from this requirement and approve our permit so we can move forward with the construction soon?

Sincerely,  
Elaine and William C. Barker

---

**From:** Elaine Barker <[ElaineBBarker@hotmail.com](mailto:ElaineBBarker@hotmail.com)>

**Sent:** Friday, February 3, 2023 3:01:32 PM

**To:** Rick Baker <[rick@eldersburgrenovations.com](mailto:rick@eldersburgrenovations.com)>

**Subject:** Please forward to Howard County

To whom it may concern (Howard County):

My husband and I have lived in Howard County since 1970 and have lived on Forsythe Rd. near Sykesville since 1975. Since the beginning of the pandemic, we have been teleworking from home and find that we need separate office space to work efficiently and participate in virtual meetings. However, we are one room short, and so my husband is having to work from the bathroom, while I work in the dining room. (This is really true!)

We decided last year that we really needed another suitable office space so initiated having an addition built. We have been waiting at least three months for our building permit to be approved but now find that we are being requested to have a perk test. Our current septic system works fine, we are not expecting to have any further people living with us, and we do not really need to have bathroom facilities in the new building, although it would be nice to not have to return to the house during a rain storm. The perk test really makes no sense and is an unnecessary and unacceptable expense. Could you please exempt us from this requirement and approve our permit so we can move forward with the construction soon?

Sincerely,

Elaine and William C. Barker

## Oswald, Hank

---

**From:** Rick Baker <rick@eldersburgrenovations.com>  
**Sent:** Friday, February 3, 2023 4:46 PM  
**To:** Oswald, Hank  
**Cc:** Rick Baker; Rodney Jones; Elaine Barker  
**Subject:** Fwd: Please forward to Howard County

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

Please forward this to your supervisor. We would really appreciate an expedited waiver for this resident.

Thank you

Rick Baker

Eldersburg Renovations, LLC

2030 Liberty Road suite5

Eldersburg, MD 21784

443-398-8551

---

**From:** Elaine Barker <ElaineBBarker@hotmail.com>

**Sent:** Friday, February 3, 2023 3:01:32 PM

**To:** Rick Baker <rick@eldersburgrenovations.com>

**Subject:** Please forward to Howard County

To whom it may concern (Howard County):

My husband and I have lived in Howard County since 1970 and have lived on Forsythe Rd. near Sykesville since 1975. Since the beginning of the pandemic, we have been teleworking from home and find that we need separate office space to work efficiently and participate in virtual meetings. However, we are one room short, and so my husband is having to work from the bathroom, while I work in the dining room. (This is really true!)

We decided last year that we really needed another suitable office space so initiated having an addition built. We have been waiting at least three months for our building permit to be approved but now find that we are being requested to have a perk test. Our current septic system works fine, we are not expecting to have any further people living with us, and we do not really need to have bathroom facilities in the new building, although it would be nice to not have to return to the house during a rain storm. The perk test really makes no sense and is an unnecessary and unacceptable expense. Could you please exempt us from this requirement and approve our permit so we can move forward with the construction soon?

Sincerely,

Elaine and William C. Barker

- per our requirements - we  
can consider waiver if bldg  
has no plumbing and is less than  
250 sq ft. If over 250 + no  
plumbing, need PC. If over  
250 and plumbing, needs PC  
and eval of existing system

5/7/75  
this afternoon

5/8/75  
F. C. O. O. A. K.  
P. T.

# PERMIT

SEWAGE DISPOSAL SYSTEM

P 21458  
A 21338

MARYLAND STATE DEPARTMENT OF HEALTH

HOWARD COUNTY

INDEXED

ELLICOTT CITY  
DISTRICT 3rd

DATE 5/7/75

File

Bollinger Brothers IS PERMITTED TO INSTALL X ALTER  
ADDRESS 1345 Bollinger Road, Westminster, Md. PHONE 848-6527

A SEWAGE DISPOSAL SYSTEM LOCATED AT \_\_\_\_\_

SUBDIVISION \_\_\_\_\_ ROAD 13415 Forsythe Road LCT 4

PROPERTY OWNER William C. & Elaine B. Barker

ADDRESS 5409 Lightning View Road, Columbia, Md. Phone: 688-6015

SPECIFICATIONS 3 bedrooms

DRAIN FIELD \_\_\_\_\_ DEPTH \_\_\_\_\_ FEET, BOTTOM AREA \_\_\_\_\_ SQ. FT.

SEEPAGE PITS \_\_\_\_\_ ABSORBENT SIDE-WALL AREA \_\_\_\_\_ SQ. FT.

SEPTIC TANK CAPACITY 1000 GALLONS

FOR GARBAGE GRINDER, INCREASE DISPOSAL AREA 22% & TANK CAPACITY 50%.

DRY WELL AND TRENCH - 300 sq. ft. Maximum depth for inlet is 3 1/2 ft.  
Maximum depth for dry well is 11 1/2 ft. Locate dry well 80 ft. from left front  
corner of house as seen from Forsythe road. Trench to be 30 ft. long - 11 1/2 ft.  
deep - 3 ft. wide - 8 ft. of stone. Install trench off of dry well after a 5 ft.  
buffer. Dig trench on same contour. Call for inspection after trench is dug and  
before gravel is installed.

NOTE: ALL PIPE FROM HOUSE TO DISPOSAL AREA MUST BE CAST IRON.  
PERMIT VOID AFTER THREE YEARS.

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPES MUST BE 6 INCHES  
IN DIAMETER. CAST IRON, CONCRETE OR TERRA COTTA ACCEPTED.  
Robert V. Torre

PLANS APPROVED BY \_\_\_\_\_ DATE 5/6/75

FILL SEPTIC TANK AND DISTRIBUTION BOX WITH WATER BEFORE CALLING FOR AN INSPECTION. COVER NO WORK UNTIL INSPECTED AND APPROVED.

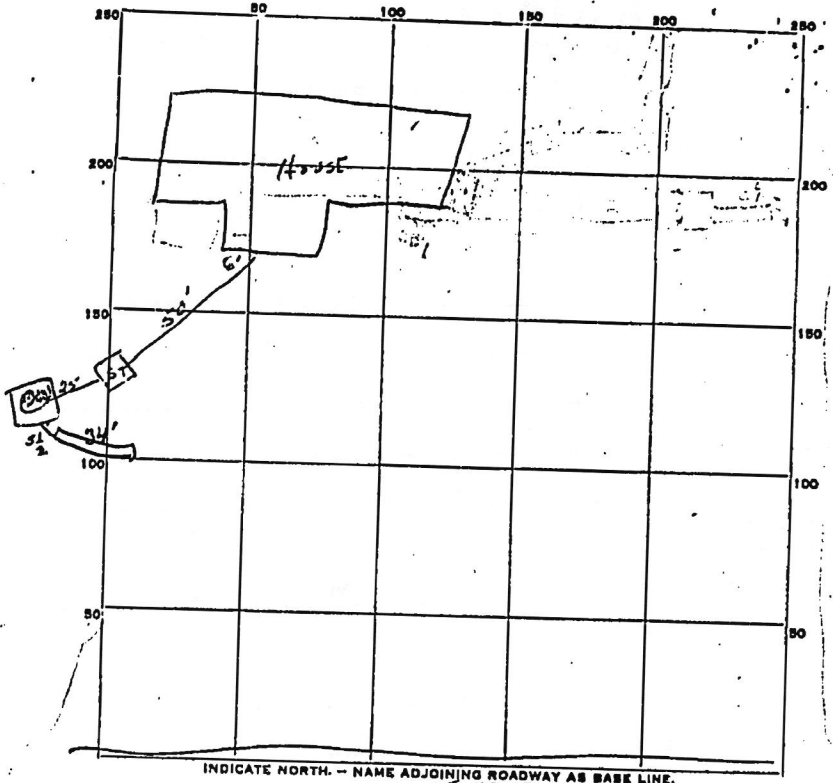
NEITHER THE HOWARD COUNTY COMMISSIONERS NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

BLDG. PERMIT SIGNED  
AND RETURNED 4/9/75  
Serial # 45277  
Tom Sked

BLDG. PERMIT SIGNED  
AND RETURNED 7/17/75  
Serial # 13101  
Tom

BLDG. PERMIT SIGNED  
AND RETURNED 4/25/75  
Serial # 45396

A 21338



INDICATE NORTH. - NAME ADJOINING ROADWAY AS BASE LINE.  
 FORSYTH

PERMIT CARD PRESENT

SEPTIC TANK, LEVEL OK CLEANOUTS OK ST+D.W

DISTRIBUTION BOX, LEVEL N/A

TRENCH FROM GRADE

TILE FIELD, DEPTH 11 1/2 FT. TRENCH WIDTH 3' FT.

GRAVEL DEPTH \_\_\_\_\_ IN. TOTAL LENGTH 34 FT.

NUMBER OF TRENCHES 1 TOTAL BOTTOM AREA \_\_\_\_\_

SEE PAGE PITS, INSIDE DIAMETER 54 1/2 FT. DEPTH BELOW INLET 8 FT.

5-77) ABSORBENT AREA 459 SQ. FT. 5' BUFFER 3 1/2' FROM GRADE

REMARKS OK TO INSTALL 8' OF GRAVEL IN 11 1/2' TRENCH FROM GRADE.  
CALL FOR FINAL BEFORE COVERING. W/ 5-7-75 OK TO BACK FILL OPTO  
BUFFER; CK LOCATION ON FINAL PL. OUT W/ 11/2

DATE SYSTEM APPROVED 5/1/75 INSPECTOR R. Tom

2/23/73  
9:30 A.M.

# APPLICATION

filed 21338  
17917

## SEWAGE DISPOSAL TESTING

STATE OF MARYLAND - DEPARTMENT OF HEALTH AND MENTAL HYGIENE  
HOWARD COUNTY HEALTH DEPARTMENT Septic Tank - 1250 gal. DISTRICT 3  
ENVIRONMENTAL HEALTH SERVICES Dry Well - 400 sq. ft. DATE 31 January 1973  
P. O. BOX 476, ELLICOTT CITY, MARYLAND 21043  
TELEPHONE: 465-5000, EXT. 336

*absorbent sidewall area to begin  
below the first 4 ft of non porous soil - maximum  
depth permitted for dry wells is 11 ft. below original grade.  
Locate dry well 165 ft. from rear property line and 138 ft.  
from right side line as seen from Forsythe Rd.*

TO: THE COUNTY HEALTH OFFICER  
ELLICOTT CITY, MARYLAND

I, HEREBY, APPLY FOR THE NECESSARY TEST IN ORDER TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE  
DISPOSAL SYSTEM.

PROPERTY OWNER William Curtis Barker & Elaine B. Barker

ADDRESS 5409 Lightning View Rd, Columbia PHONE work: 688-6015 (husband)  
688-8440 (wife)  
6076

PROPERTY LOCATION:

SUBDIVISION near Sykesville LOT NO. #4

ROAD AND DESCRIPTION fronting on the south side of Forsythe Rd. for 206 ft,  
with a depth of 718.41 ft. on the east, 722.16 ft. on the west & 306.78 ft.  
in back

SIZE OF LOT Square TYPE BLDG. 3-4 bedroom home  
NUMBER OF BEDROOMS

IF NOT SINGLE RESIDENCE DESCRIBE \_\_\_\_\_

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC  
FACILITIES BECOME AVAILABLE.

SIGNATURE OF APPLICANT Elaine B. Barker

APPROVED BY R. Lane FOR Dry Well DATE 3/5/73  
(KIND OF SYSTEM)

REJECTED BY \_\_\_\_\_ FOR \_\_\_\_\_ DATE \_\_\_\_\_  
(KIND OF SYSTEM)

HOLD PENDING FURTHER TESTS \_\_\_\_\_ DATE \_\_\_\_\_

REASONS FOR REJECTION OR HOLDING \_\_\_\_\_

BLDG. PERMIT SIGNED  
AND RETURNED 11/15/74

# THIS IS NOT A PERMIT

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Tuesday, February 21, 2023 9:27 AM  
**To:** Rick Baker  
**Cc:** Rodney Jones; Elaine Barker  
**Subject:** RE: Please forward to Howard County

Hi Mr. Baker:

The waiver request was discussed. For this office to consider the waiver, the building square footage must be less than 250 sq. ft., with a note regarding no plumbing. We will need a revised floor plan showing these details. Also, please submit a scaled site plan to accompany the floor plans.

Please let me know if you have any questions.

Regards,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

DISCLAIMER: This e-mail is intended only for the individual to whom it is addressed. It may be used only in accordance with applicable laws. If you are not the intended recipient, you are strictly prohibited from reading, disseminating, distributing, or copying this message. If you received this e-mail by mistake, please notify the sender and destroy this e-mail

---

**From:** Rick Baker <[rick@eldersburgrenovations.com](mailto:rick@eldersburgrenovations.com)>  
**Sent:** Friday, February 3, 2023 4:46 PM  
**To:** Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Cc:** Rick Baker <[rick@eldersburgrenovations.com](mailto:rick@eldersburgrenovations.com)>; Rodney Jones <[rod@eldersburgrenovations.com](mailto:rod@eldersburgrenovations.com)>; Elaine Barker <[ElaineBBarker@hotmail.com](mailto:ElaineBBarker@hotmail.com)>  
**Subject:** Fwd: Please forward to Howard County

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

Please forward this to your supervisor. We would really appreciate an expedited waiver for this resident.

Thank you

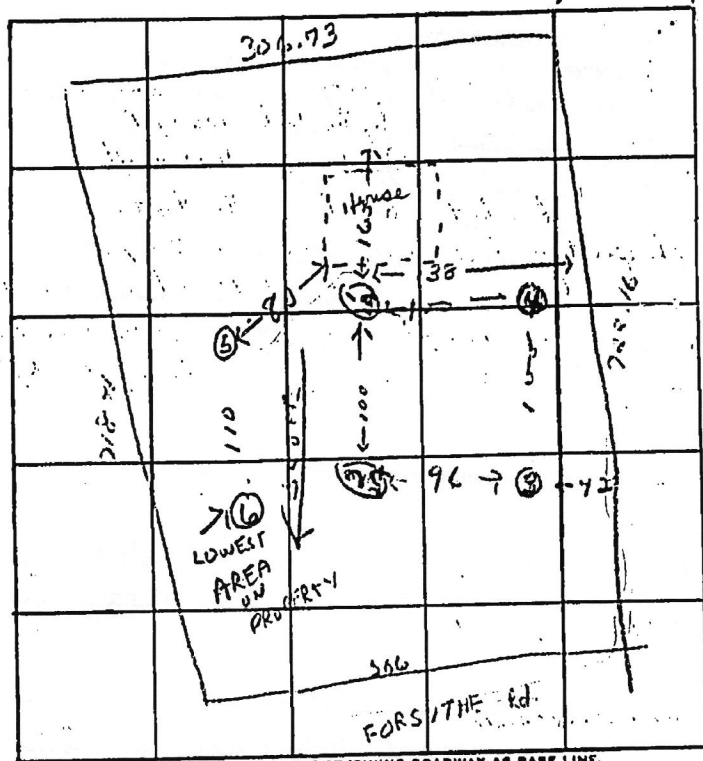
Rick Baker

Eldersburg Renovations,LLC

2030 Liberty Road suite5

Eldersburg, MD 21784

A 21338



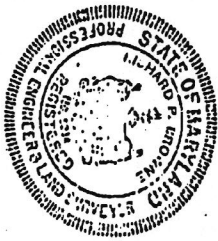
INDICATE NORTH. - NAME ADJOINING ROADWAY AS BASE LINE.

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
2/25/73	1	4 1/2'	11 14	11 18	11 18	11 25	2 min
	1A	4 1/2'	11 22	11 24	11 24	11 27	3 min
	2	10 1/2'	11 29	11 34	11 34	11 44	10 min
	2A	5'	11 32	11 35	11 35	11 42	1 min
	3	11'					
	4	Same as 3					
5/6/75	5	14 1/2'	9 57	10 09	10 09	10 29	20 min
	5A	2 1/2'	9 57	10 00	10 00	10 03	3 min
	6	12'	10 05	10 15	10 15	10 33	18 min
		Same as 4'					

REMARKS \_\_\_\_\_

TYPE OF SOIL \_\_\_\_\_

TESTED BY D. T. [unclear] ALSO PRESENT: \_\_\_\_\_



This is to certify that I have surveyed the property shown hereon recorded in Liber 636 Folio 220 among the Land Records of Howard County, Maryland for the purpose of locating the improvements thereon.

*Richard P. Browne*

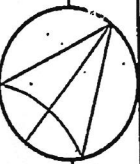
Richard P. Browne

No. 5238

PROJECT No. \_\_\_\_\_ W.O. No. \_\_\_\_\_

**RICHARD P. BROWNE ASSOCIATES**  
CONSULTING ENGINEERS, PLANNERS  
WAYNE, N.J. COLUMBIA, MD.

W.C. BOOK # 4 Pg. 63



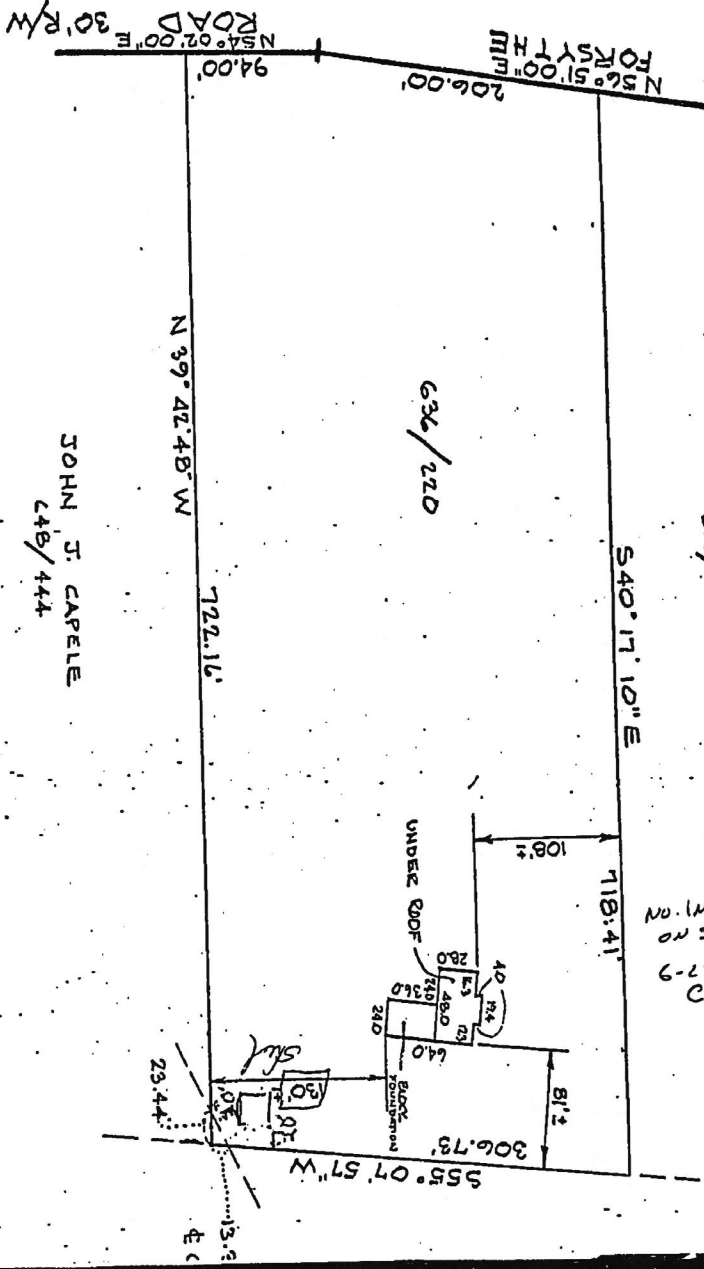
REFERENCE

MERIDIAN

SCALE: 1" = 100'

DRAWN C.B.M. CHECKED

MAP OF  
WILLIAM  
ELAINIE  
SHUTTELL  
HOWARD COUNTY  
MARYLAND



JOHN J. CAPELE  
448/444

636/220

HENRY L. MCKIBBIE  
613/280

NO. IMPACT  
ON SEPTIC  
6-25-88  
CWB

C 1 876.1

SEQUENCE NO. (WRA USE ONLY)

STATE OF MARYLAND WATER RESOURCES ADMINISTRATION TAWES STATE OFFICE BLDG., ANNAPOLIS, MD. 21401 WELL COMPLETION REPORT

THIS REPORT MUST BE SUBMITTED WITHIN 30 DAYS AFTER WELL COMPLETION

FILL IN THIS FORM COMPLETELY

COUNTY NUMBER 21338

DATE RECEIVED (WRA USE ONLY)

5/20/75 DATE WELL COMPLETED

DEPTH OF WELL 134'

22 (TO NEAREST FOOT) 20

PERMIT NO. FROM "PERMIT TO DRILL WELL" HG-13-1000

28 29 30 31 32 33 34 35 36 37

DRILLER'S IDENTIFICATION NO. 273

OWNER BARKER B. LAST NAME

ELAINE FIRST NAME

STREET OR RFD 13415 Forsythe Rd

POST OFFICE SYKESVILLE

WELL LOG STATE THE KIND OF FORMATIONS PENETRATED, THEIR COLOR, DEPTH, THICKNESS AND IF WATER BEARING

DESCRIPTION (USE ADDITIONAL SHEETS IF NECESSARY)	FEET		CHECK IF WATER BEARING
	FROM	TO	
TOP SOIL	0	2	
SHALE ROCK	2	21	
FLINT & GRAY STONE	21	134	

GROUTING RECORD

WELL HAS BEEN GROUTED (CIRCLE APPROPRIATE BOX) YES (Y) NO (N)

TYPE OF GROUTING MATERIAL (CIRCLE BOX) CEMENT (CM) BENTONITE CLAY (BC)

NO. OF BAGS 7 NO. OF POUNDS 658

GALLONS OF WATER 422

DEPTH OF GROUT SEAL (TO NEAREST FOOT) FROM 0 FT. TO 28 FT.

CASING RECORD

INSERT APPROPRIATE CODE BELOW

MAIN CASING TYPE ST NOMINAL DIAMETER TOP (MAIN) CASING (NEAREST INCH) 6 TOTAL DEPTH OF MAIN CASING (NEAREST FOOT) 31

OTHER CASING (IF USED)

DIAMETER (INCH) DEPTH (FEET) FROM TO

SCREEN RECORD

INSERT APPROPRIATE CODE BELOW

SCREEN TYPE OR OPEN HOLE ST BR HO PL OT

DEPTH (NEAREST WHOLE FOOT)

1 2 3 (SEQ. NO.) 8

1 110 28 134

CIRCLE APPROPRIATE BOXES

A WELL WAS ABANDONED AND SEALED WHEN THIS WELL WAS COMPLETED

E ELECTRIC LOG OBTAINED

P TEST WELL CONVERTED TO PRODUCTION WELL

I HEREBY CERTIFY THAT I HAVE COMPLIED WITH ALL CONDITIONS STATED ON THE ABOVE-CAPTIONED "PERMIT TO DRILL WELL", AND THAT INFORMATION CONTAINED IN THIS REPORT IS TRUE, ACCURATE, AND COMPLETE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

DRILLER'S NAME RALPH MAYNE (PLEASE PRINT) SIGNATURE

DIAMETER OF SCREEN 60 (NEAREST INCH) FROM 60 TO

GRAVEL PACK

IF WELL DRILLED WAS A FLOWING WELL CIRCLE BOX 68 F

WRA USE ONLY (NOT TO BE FILLED IN BY DRILLER)

TELESCOPE CASING LOG INDICATOR OTHER DATA AVAILABLE

PUMPING TEST

HOURS PUMPED (TO NEAREST HOUR) 2

PUMPING RATE (GALLONS PER MINUTE TO NEAREST GALLON) 10

METHOD USED TO MEASURE PUMPING RATE BANNER

WATER LEVEL (DISTANCE FROM LAND SURFACE) BEFORE PUMPING 30 (NEAREST FOOT)

WHEN PUMPING 0 (NEAREST FOOT)

TYPE OF PUMPED USED (CIRCLE APPROPRIATE BOX) BANNER

PUMP INSTALLED

TYPE OF PUMP (WRITE APPROPRIATE LETTER IN BOX - SEE ABOVE: A, C, J, P, R, S, T, O)

DRILLER WILL INSTALL PUMP (CIRCLE APPROPRIATE BOX) YES (Y) NO (N)

GALLONS PER MINUTE (TO NEAREST GALLON) 31 38

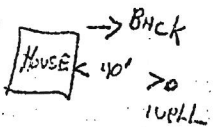
PUMP HORSE POWER 37 41

PUMP COLUMN LENGTH (NEAREST FOOT) 43 47

CASING HEIGHT (CIRCLE APPROPRIATE BOX AND ENTER CASING HEIGHT)

LAND SURFACE (NEAREST FOOT) 2

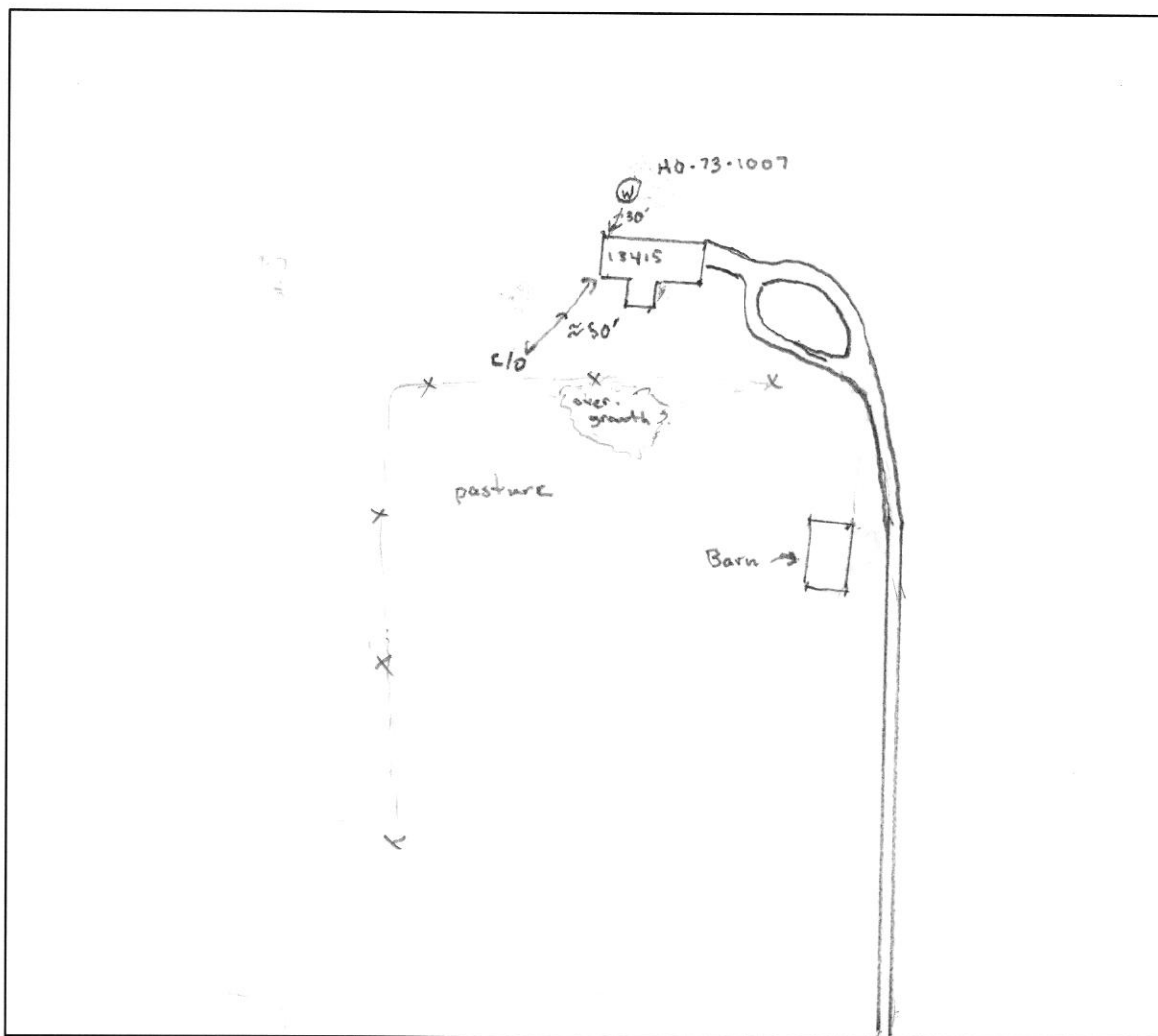
LOCATION OF WELL ON LOT SHOW PERMANENT STRUCTURE SUCH AS BUILDINGS, SEPTIC TANKS, AND/OR OTHER LAND MARKS AND INDICATE NOT LESS THAN TWO DISTANCES (MEASUREMENTS TO WELL).



**SITE INSPECTION SHEET**

OWNER: William & WF Baker PHONE #: \_\_\_\_\_  
ADDRESS: 13415 Forsythe Road CONTRACTOR: \_\_\_\_\_  
Sykesville, MD 21784 WELL TAG #: \_\_\_\_\_  
SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ COUNTY #: \_\_\_\_\_  
PROPOSAL: Detached office / work shop

**LOCATION DIAGRAM**



COMMENTS: No noted issues w/ the well or septic system. Owner states  
septic tank is pumped every two years.

DATE: 2/6/23 INSPECTOR: Hank Osunkind

Site Inspection – 2/6/23  
13415 Forsythe Road  
Sykesville, MD 21784



Well tag # HO-73-1007

Real Property Data Search (  
 Search Result for HOWARD COUNTY

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

Special Tax Recapture: None  
 Account Identifier:

District - 03 Account Number - 279898

Owner Name:

BARKER WILLIAM C & WF

Use: RESIDENTIAL  
 Principal Residence: YES  
 Deed Reference: /00636/ 00220

Mailing Address:

13415 FORSYTHE ROAD  
 SYKESVILLE MD 21784-0044

Premises Address:

13415 FORSYTHE RD  
 SYKESVILLE 21784-0000

Legal Description: 7.48247 A  
 13415 FORSYTHE RD  
 SYKESVILLE

Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No:  
 0004 0021 0070 3010101.14 0001 2022 Plat Ref:

Town: None

Primary Structure Built Above Grade Living Area Finished Basement Area Property Land Area County Use  
 1975 1,631 SF 650 SF 7.4800 AC

StoriesBasementType ExteriorQualityFull/Half BathGarage Last Notice of Major Improvements  
 1 YES STANDARD UNITFRAME/4 2 full/1 half 1 Attached

**Value Information**

	Base Value	Value As of 01/01/2022	Phase-in Assessments	
			As of 07/01/2022	As of 07/01/2023
Land:	258,600	274,800		
Improvements	213,000	230,700		
Total:	471,600	505,500	482,900	494,200
Preferential Land:	0	0		

**Transfer Information**

Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

**Exemption Information**

Partial Exempt Assessments:	Class	07/01/2022	07/01/2023
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00 0.00	0.00 0.00

Special Tax Recapture: None

**Homestead Application Information**

Homestead Application Status: Approved 05/28/2014

**Homeowners' Tax Credit Application Information**

Homeowners' Tax Credit Application Status: No Application Date:



To whom it may concern:

11-4-22

Changes to permit B22004026

13415 FORSYTHE RD

SYKESVILLE MD 21784

Originally planned to have a shower in the bathroom of this room, this is the official notice that we are deleting the shower from this plan.

Rick Baker

North Ridge Builders, LLC

1952 Andrew Court Marriottsville, MD 21104

410-707-6762

**RECEIVED**

NOV 07 2022

LICENSES & PERMITS  
DIVISION

B 22004026

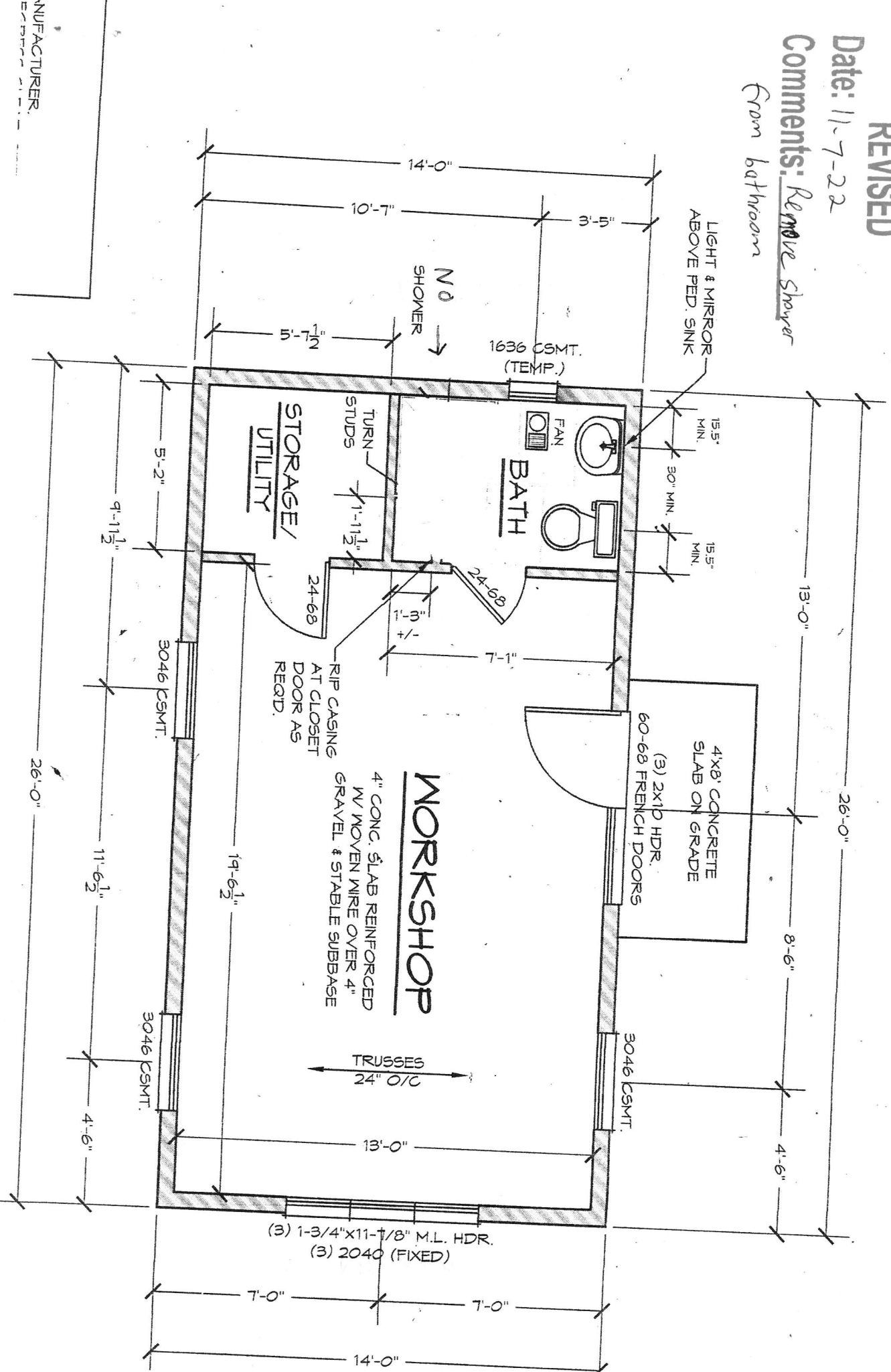
# FOUNDATION PLAN

SCALE: 1/4"=1'-0"

REVISED

Date: 11-7-22

Comments: Remove Shower  
From bathroom



MANUFACTURER

Comments: \_\_\_\_\_  
Date: \_\_\_\_\_  
**REVISED**

rick @ eldersberg renovations . com

NOV 09 2022  
HOCO Health Depart  
Environmental Health

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Thursday, November 3, 2022 1:39 PM  
**To:** rick@northridgebuilders.com  
**Subject:** B22004026\_13415 Forsythe Road  
**Attachments:** Building Permit Application Process.pdf; Percolation & Plan Requirements For Developed Lots.pdf; ENGINEERS\_2.4.2020.pdf

Dear Mr. Baker:

This office is in receipt of a building permit (B22004026) for a living space addition. Prior to the approval of a building permit application, the following needs to be completed:

- a. A percolation certification plan
- b. Percolation testing in order to establish a sewage disposal area (SDA)
- c. Septic system upgrade
- d. Well upgrade (TBD)
- e. Existing floor plans

I've attached information regarding our building permit process as well as information regarding perc testing & plan requirements for developed lots.

The perc test process starts with a perc test application, test plan and fee from an engineer. I've also attached a list of engineers for your convenience.

Should you have any question, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

DISCLAIMER: This e-mail is intended only for the individual to whom it is addressed. It may be used only in accordance with applicable laws. If you are not the intended recipient, you are strictly prohibited from reading, disseminating, distributing, or copying this message. If you received this e-mail by mistake, please notify the sender and destroy this e-mail

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Monday, November 28, 2022 11:02 AM  
**To:** rick@eldersburgrenovations.com  
**Subject:** B22004026\_13415 Forsythe Road  
**Attachments:** A21338\_P21458.pdf

Hi Rick:

Attached, please find a copy of the septic record for 13415 Forsythe Road. On 11.9, our office received a revised floor plan to delete the shower. Will there be a rough-in for a shower or bath tub?

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

DISCLAIMER: This e-mail is intended only for the individual to whom it is addressed. It may be used only in accordance with applicable laws. If you are not the intended recipient, you are strictly prohibited from reading, disseminating, distributing, or copying this message. If you received this e-mail by mistake, please notify the sender and destroy this e-mail

2/1/23. Rec'd v/m from Rick Baker about  
rev. FP to exclude bathroom altogether.

Returned call. Informed Mr. Baker that PC  
requirements would still apply. Suggested  
requesting a waiver based on new FP. (H.O.)

Spoke to <sup>v/o</sup>  
contractor/owner  
about perc techs/  
perc cert plan  
requirements.

GENERAL STRUCTURAL NOTES

- GENERAL
  - ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.
  - DESIGN LIVE LOADS:
    - ROOF.....40 PSF
    - FLOORS.....40 PSF
    - SLEEPING AREA.....30 PSF
- FOUNDATIONS
  - FOUNDINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL. 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.
- CAST IN PLACE CONCRETE
  - ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:
    - ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
    - ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
  - ALL CONCRETE EXCEPT AS NOTED SHALL BE (FC=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.
  - SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 6"x6" W1.4XW1.4 WWF OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.
- MASONRY
  - ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT, AND STEEL REINFORCEMENT) SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' (ACI 530-02/ASCE 5-02/TMS 402-02) AND 'SPECIFICATIONS FOR MASONRY STRUCTURES' (ACI 530-10/ASCE 5-10/TMS 602-10) IN ALL RESPECTS.
  - MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED. WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.
  - ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE 'S' MORTAR AS DESCRIBED IN ACI 530-02.
  - ALL GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476. SLUMP RANGE 8-11". PLACE GROUT IN 8'-0" MAXIMUM FOUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.
  - PROVIDE 8" DEPTH OF 100% SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X16" LONG 100% SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.
  - ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 4 GAGE TRUSS TYPE GALVANIZED DUR-O-WALL SPACED VERTICALLY AT 16" O.C. UNO. LAP ALL DUR-O-WALL 6" MINIMUM. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.
  - LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:
 

0'-0" TO 3'-0"	3-1/2" X 3-1/2" X 5/16"
3'-1" TO 5'-0"	4" X 3-1/2" X 5/16"
5'-1" TO 6'-0"	5" X 3-1/2" X 3/8"
6'-1" TO 8'-0"	6" X 3-1/2" X 3/8"

 ALL ANGLES SHALL HAVE THEIR SHORT LEGS OUTSTANDING AND 6" MINIMUM BEARING.
- STRUCTURAL STEEL
  - ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERRECTED IN ACCORDANCE WITH THE AISC MANUAL, AISC SPECIFICATION AND AISC CODE OF STANDARD PRACTICE.
  - ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDING AWS D1.1. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.
- WOOD
  - STRUCTURAL WOOD RAFTERS, JOISTS, BEAMS, AND STUDS SHALL BE HEM FIR #2 OR SPRUCE FINE FIR #2 SURFACED DRY AT A MAXIMUM OF 19% MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
  - WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERRECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1) AND COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HIB-01) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
  - WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 425 PSI WHEN MEMBERS BEAR ON STUD WALLS. PROVIDE MEMBERS OF ADEQUATE WIDTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.
  - ALL LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb=2600 psi, Fv=285 psi, E=1,900,000 psi, Fc=2510 psi (PARALLEL), Fc=1750 psi (PERPENDICULAR).
  - ALL DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.
  - PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.
  - ALL NAILS ARE TO BE COMMON WIRE NAILS. NAILING OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2018 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 6" O.C. STAGGERED.
  - PROVIDE BRIDGING SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER, OR TRUSS SPACES WHEN FRAMING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING (FLOOR, CEILING OR ROOF) TO BRIDGING AND NAIL BRIDGING EXTERIOR WALL. PLATE. PROVIDE ONE ROW OF BRIDGING BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKING OR A CONTINUOUS RM JOIST AT THE BEARING OF JOISTS, RAFTERS OR TRUSSES ON WOOD PLATES.
  - PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE:
 

0-3' OPENING	1 JACK STUD, 1 KING STUD
3'-1" - 6'-0" OPENING	2 JACK STUDS, 1 KING STUD
6'-1" - 9'-0" OPENING	2 JACK STUDS, 2 KING STUDS

 PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND WOOD BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDERS TRUSSES AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.
  - ALL POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES, SHALL BE BLOCKED SOLID FOR THE FULL LENGTH AND WIDTH OF POSTS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.
  - ALL FLUSH JOIST TO BEAM OR BEAM TO BEAM CONNECTIONS SHALL BE MADE WITH JOIST OR BEAM HANGERS TO SUPPORT THE LOAD CAPACITY INDICATED ON THE PLANS OR THE FULL CAPACITY OF THE JOIST OR BEAM. HANGERS SHALL BE PROVIDED BY SIMPSON STRONG TIE OR USF LUMBER CONNECTORS. THE SUPPLIER SHALL DESIGN ALL HANGERS FOR THE CAPACITY STATED. INSTALL ALL HANGERS IN STRICT CONFORMANCE TO THE MANUFACTURERS INSTRUCTIONS. FILL ALL NAIL OR BOLT HOLES USING THE SPECIFIED NAILS AND BOLTS ONLY.

2018 IECC CODE COMPLIANCE

- |           |  |
|-----------|--|
| R301.1    | CLIMATE ZONE 4   |
| R401.2    | COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS   |
| R402.1.1  | VAPOR RETARDER<br>WALL ASSEMBLIES IN THE THERMAL BUILDING ENVELOPE SHALL COMPLY WITH THE VAPOR RETARDER REQUIREMENTS OF SECTION R102.1 OF THE IRC CODE, 2018 EDITION   |
| R402.1.2  | ATTIC INSULATION: RAISED HEEL TRUSS:<br>R-19   |
| R402.1.2  | WOOD FRAME WALL:<br>R-20 OR R19-RS CONTINUOUS INSULATION   |
| R402.1.2  | BASEMENT WALL INSULATION:<br>R-19/R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT  |
| R402.1.2  | GRAVEL SPACE WALL INSULATION:<br>R-9/R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0"   |
| R402.1.2  | FLOOR INSULATION OVER UNCONDITIONED SPACE:<br>R-19 BATT INSULATION   |
| R402.1.2  | WINDOW U-VALUE / SHGC<br>38 (U-VALUE)<br>40 (SHGC)   |
| R402.2.10 | SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:<br>R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY  |
| R402.2.4  | ATTIC ACCESS:<br>ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49.  |
| R402.4    | BUILDING THERMAL ENVELOPE (AIR LEAKAGE):<br>EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2018 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL.   |
| R402.4.12 | BUILDING THERMAL ENVELOPE TIGHTNESS TEST:<br>BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 711 OR ASTM E 1827 (WITH BLOWER DOOR) AS A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). TESTING SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR.  |
| R402.4.2  | FIREPLACES:<br>NEW/REBURNING MASONRY FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 1217 (FACTORY BUILT FIREPLACE) AND UL 907 (MASONRY FIREPLACE)  |
| R402.4.4  | ROOMS CONTAINING FUEL BURNING APPLIANCES (WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE TO ENCLOSED IN A ROOM ISOLATED FROM THE THERMAL ENVELOPE.<br>EXCEPTION: DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC. |
| R402.4.5  | RECESSED LIGHTING:<br>RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.   |
| R403.1.1  | THERMOSTAT:<br>ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER IRC IECC SECTION R403.1.1.   |
| R403.1.2  | WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED, THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.   |
| R403.3.1  | MECHANICAL DUCT INSULATION:<br>SUPPLY AND RETURN DUCTS IN ATTIC R-9 MINIMUM, R-6 WHEN LESS THAN 3". SUPPLY AND RETURN DUCTS OUTSIDE OF CONDITIONED SPACE R-9 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.  |
| R403.3.2  | DUCT SEALING:<br>ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF THE IRC.<br><br>A DUCT TIGHTNESS TEST ('DUCT BLOWER' DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE.  |
| R403.6    | MECHANICAL VENTILATION:<br>OUTDOOR (MAKE UP AND EXHAUSTS) AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.   |
| R403.6.1  | WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1.  |
| R403.7    | EQUIPMENT SIZES SHALL COMPLY WITH R403.7.  |
| R404.1    | LIGHTING EQUIPMENT:<br>A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICACY LAMPS.   |

TABLE R501.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (In pounds per square foot)

USE	LIVE LOAD
UNINHABITABLE ATTICS W/O STORAGE. b	10
UNINHABITABLE ATTICS W/ LIMITED STORAGE. f, g	20
HABITABLE ATTICS & ATTICS SERVED W/ FIXED STAIRS.	30
BALCONIES (EXTERIOR) & DECKS. e	40
FIRE ESCAPES.	40
GUARDRAILS & HANDRAILS. d	200h
GUARDRAIL INFL COMPONENTS. f	50h
PASSENGER VEHICLE GARAGES. a	50a
ROOMS OTHER THAN SLEEPING ROOMS.	40
SLEEPING ROOMS.	30
STAIRS.	40c

- For S1: 1 pound per square foot = 0.0479 kPa, 1 square inch = 645 mm<sup>2</sup>, 1 pound = 4.45 N.
- Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-square-inch area.
  - Uninhabitable attics without storage are those where the maximum clear height between joists and rafters is less than 42 inches, or where there are not two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches high by 24 inches in width, or greater, within the plane of the trusses. This live load need not be assumed to act concurrently with any other live load requirements.
  - Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses.
  - A single concentrated load applied in any direction at any point along the top.
  - See Section R502.2.2 for decks attached to exterior walls.
  - Guard in-fill components (all those except the handrail), balusters and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.
  - Uninhabitable attics with limited storage are those where the maximum clear height between joists and rafters is 42 inches or greater, or where there are two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses. The live load need only be applied to those portions of the joists or truss bottom chords where all of the following conditions are met:
    - The attic area is accessible from an opening not less than 20 inches in width by 30 inches in length that is located where the clear height in the attic is a minimum of 30 inches.
    - The slopes of the joists or truss bottom chords are no greater than 2 inches vertical to 12 units horizontal.
    - Required insulation depth is less than the joist or truss bottom chord member depth. The remaining portions of the joists or truss bottom chords shall be designed for a uniformly distributed concurrent live load of not less than 10 lb/ft<sup>2</sup>. Glazing used in handrail assemblies and guards shall be designed with a safety factor of 4.
    - The safety factor shall be applied to each of the concentrated loads applied to the top of the rail, and to the load on the in-fill components. These loads shall be determined independent of one another, and loads are assumed not to occur with any other live load.

# ADDITION TO THE BARKER RESIDENCE 13415 FORSYTHE ROAD SYKESVILLE, MD. 21784 HOWARD COUNTY, MD.

ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

DESCRIPTION OF WORK:

364 SQUARE FOOT DETACHED WORKSHOP, FINISHED & CONDITIONED ON CONCRETE SLAB FOUNDATION

OVERALL DIMENSIONS OF ADDITION:  
14'-0" +/- WIDE X 26'-0" DEEP

DRAWING INDEX

SHEET #	SHEET DESCRIPTION
COVER	COVER SHEET / NOTES
2	ELEVATIONS, FLOOR PLANS, SECTIONS, WALL BRACING

GENERAL NOTES

- ALL PROPOSED INTERIOR NON-BEARING PARTITIONS TO BE 2x4 @ 16" O/C W/ SINGLE TOP PLATE U.N.O.
- ALL PROPOSED WINDOW ROUGH OPENING HEIGHTS TO BE SET @ 6'-8" ABOVE FINISHED FLOOR U.N.O.
- REFER TO FRAMING SUPPLIER'S LAYOUT FOR BRACING DETAILS & FRAMING INSTALLATION REQUIREMENTS (FOR NEW CONSTRUCTION)
- FRAMING SUPPLIER'S SHOP DRAWINGS SUPERSEDE PROPOSED FRAMING LAYOUT HEREIN SUGGESTED.
- PROVIDE ADEQUATE CLEARANCE AT PROPOSED PLUMBING STACKS AS REQ'D.

HATCH LEGEND:

- SHINGLES TO MATCH EXISTING HOUSE
- PROPOSED VINYL BOARD & BATTEN SIDING
- PROPOSED POURED CONCRETE FOUNDATION
- PROPOSED FRAME WALL

DETACHED WORKSHOP  
**THE BARKER RESIDENCE**  
 ELDERSBURG RENOVATIONS

FILE: ELDERSBURG RENOVATIONS - BARKER DETACHED WORKSHOP

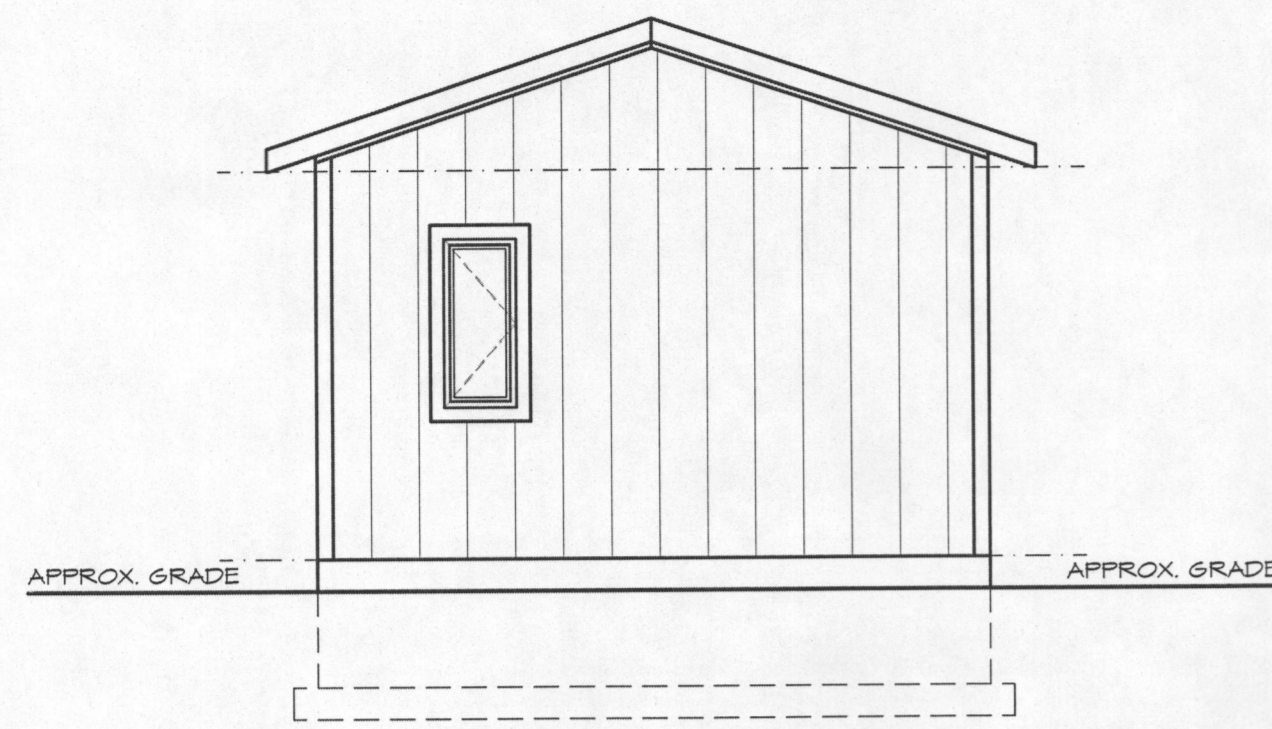
REVISED 9/21/2022

SCALE: 1/4"=1'-0"

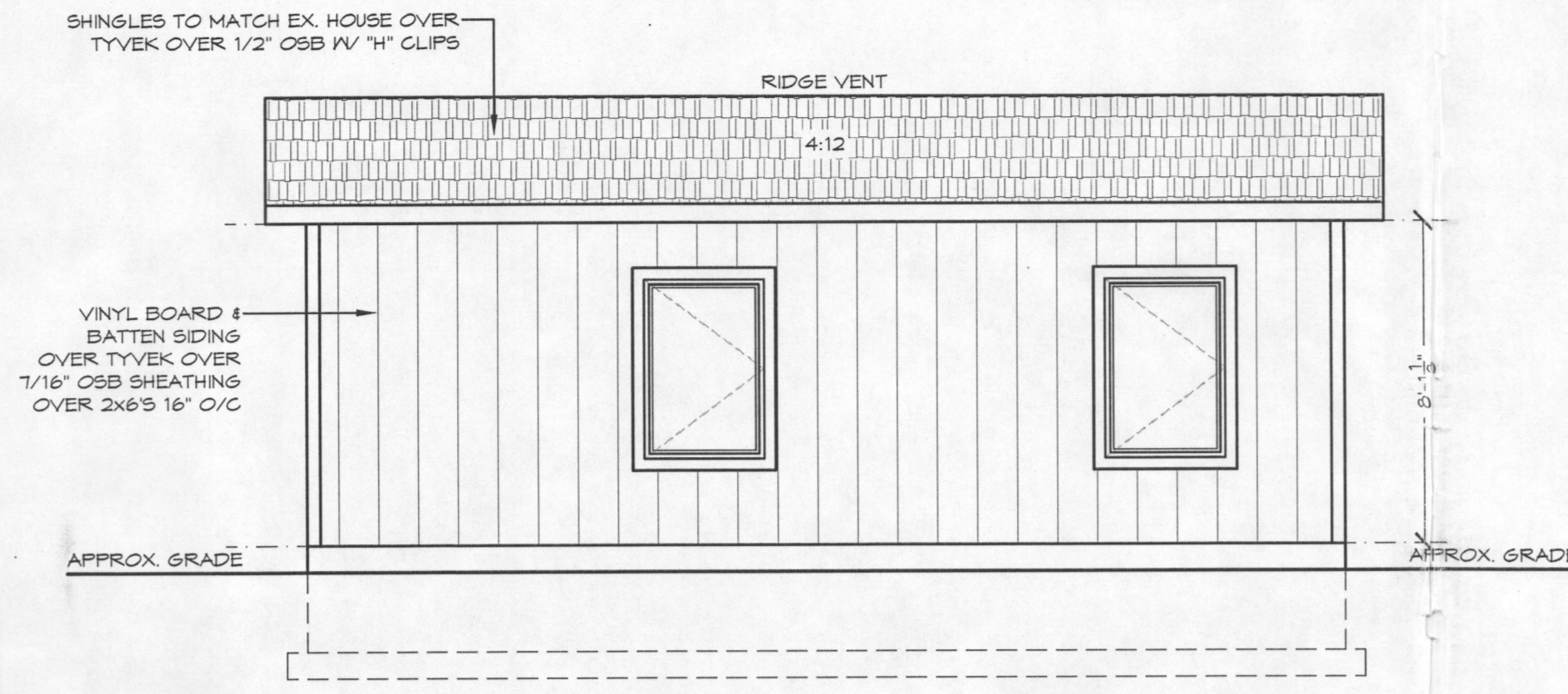
DATE: 9/20/22

SHEET NO.: 1

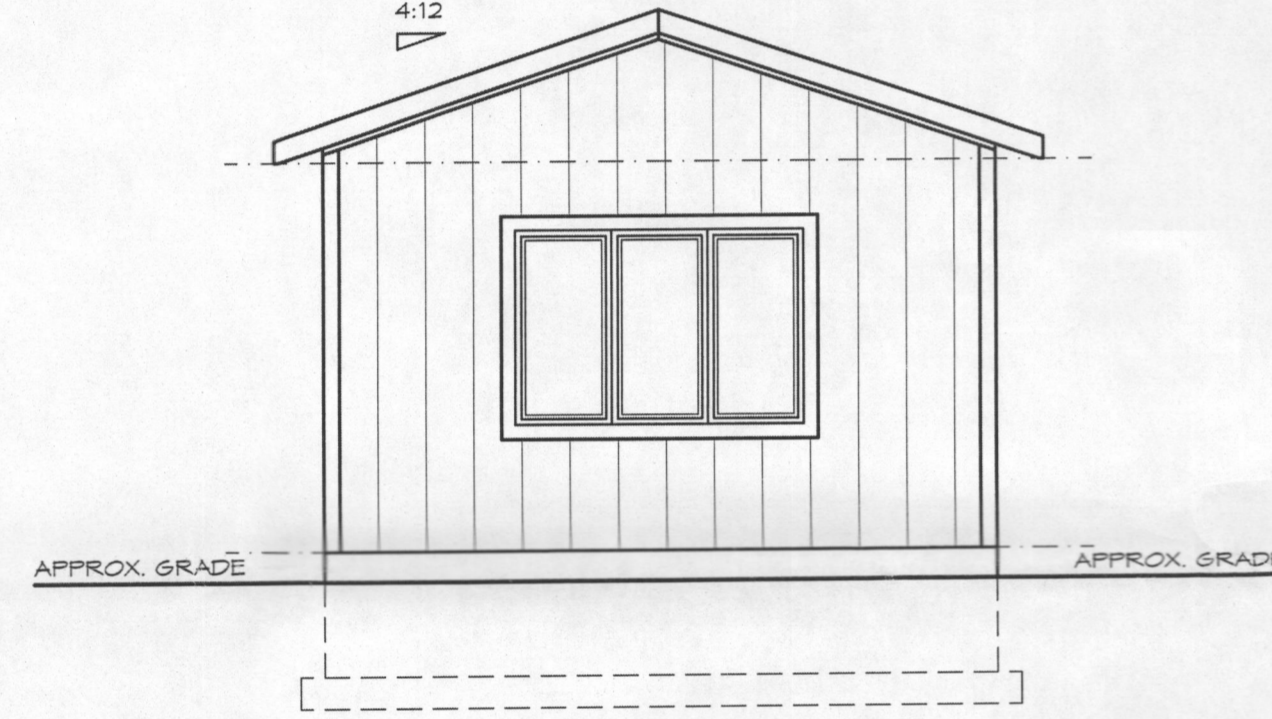
**GBL CUSTOM HOME DESIGN INC.**  
 PO BOX 237 FINNSBURG, MD 21048  
 PHONE 410-833-8320



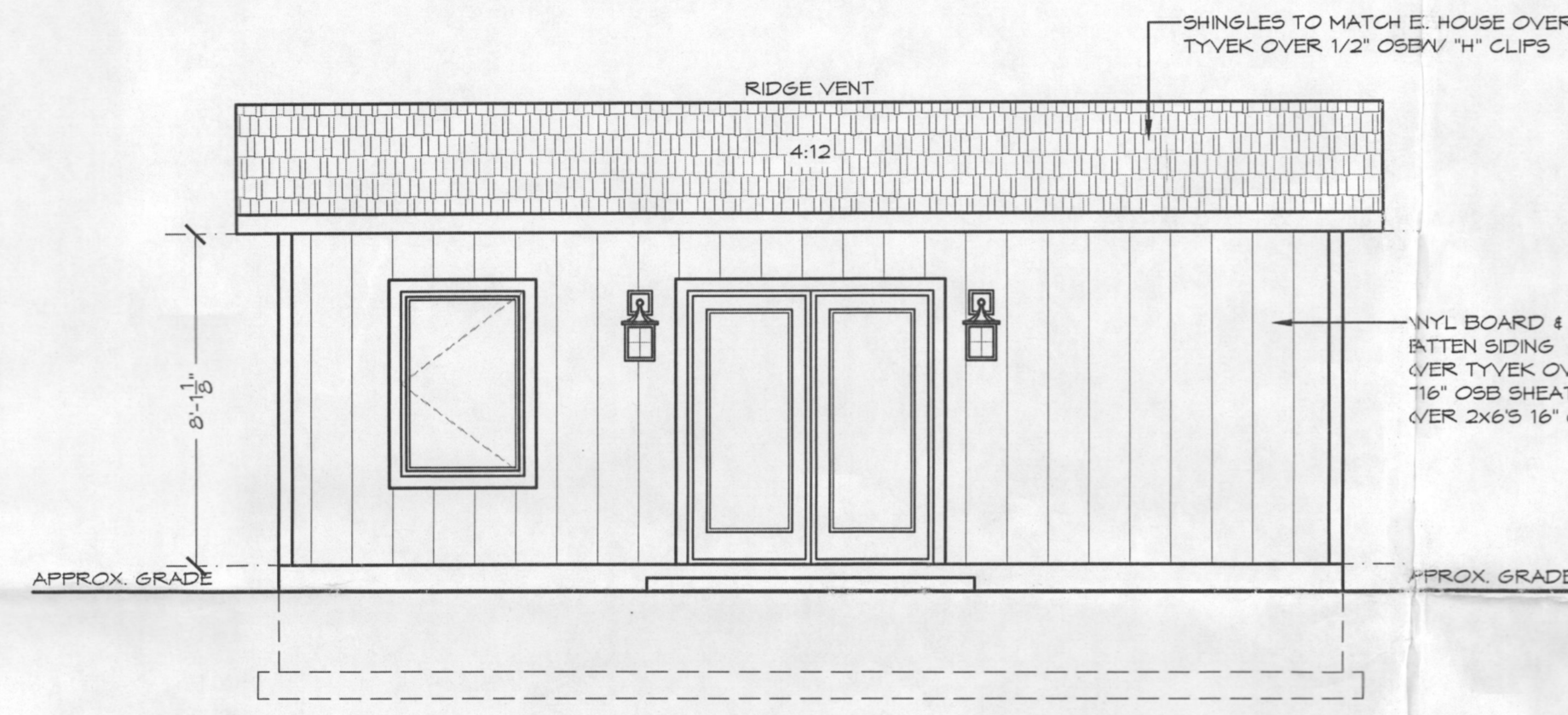
"LEFT SIDE" ELEVATION (EAST)  
SCALE: 1/4"=1'-0"



"FRONT" ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"

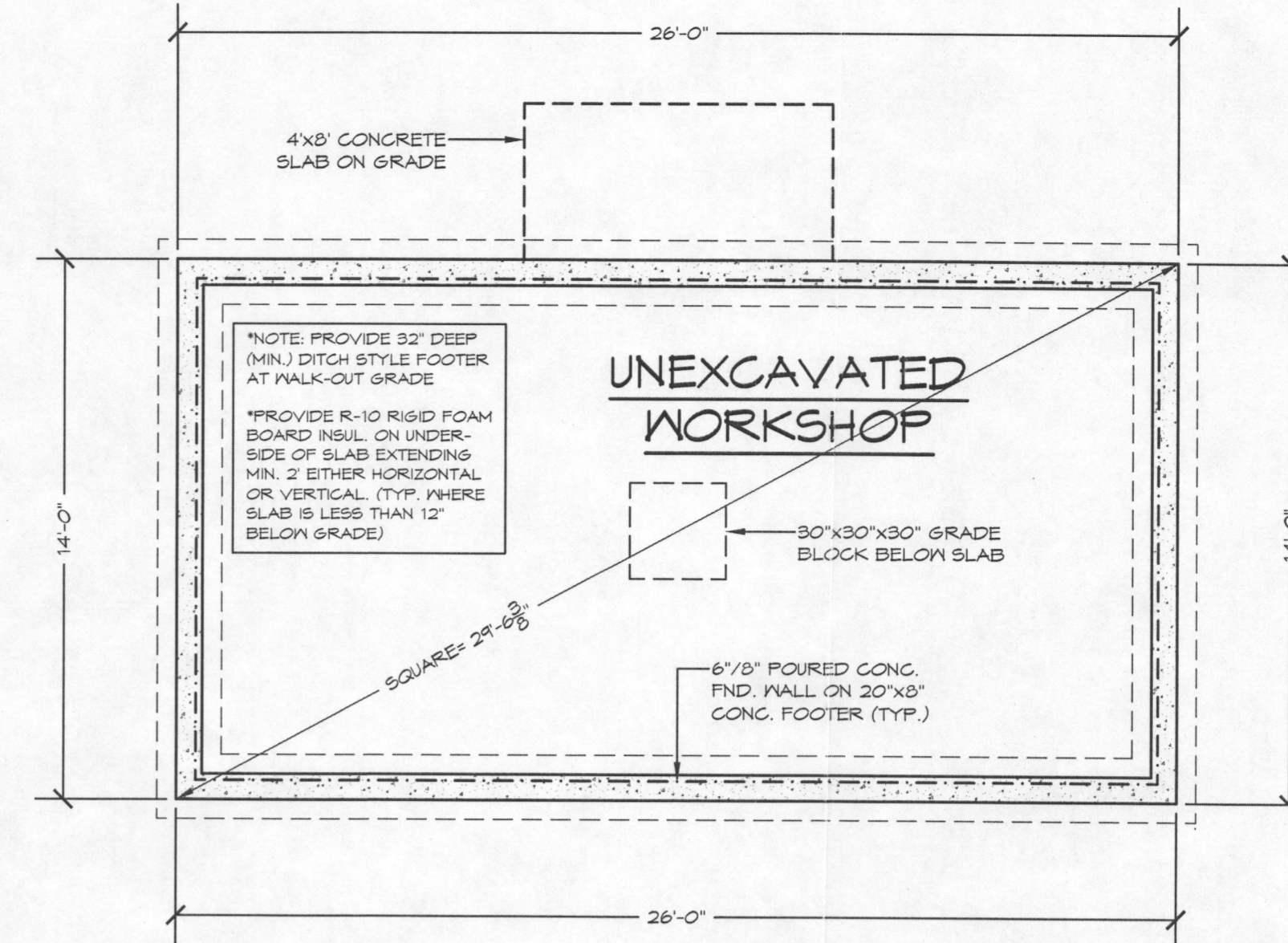


"RIGHT SIDE" ELEVATION (WEST)  
SCALE: 1/4"=1'-0"

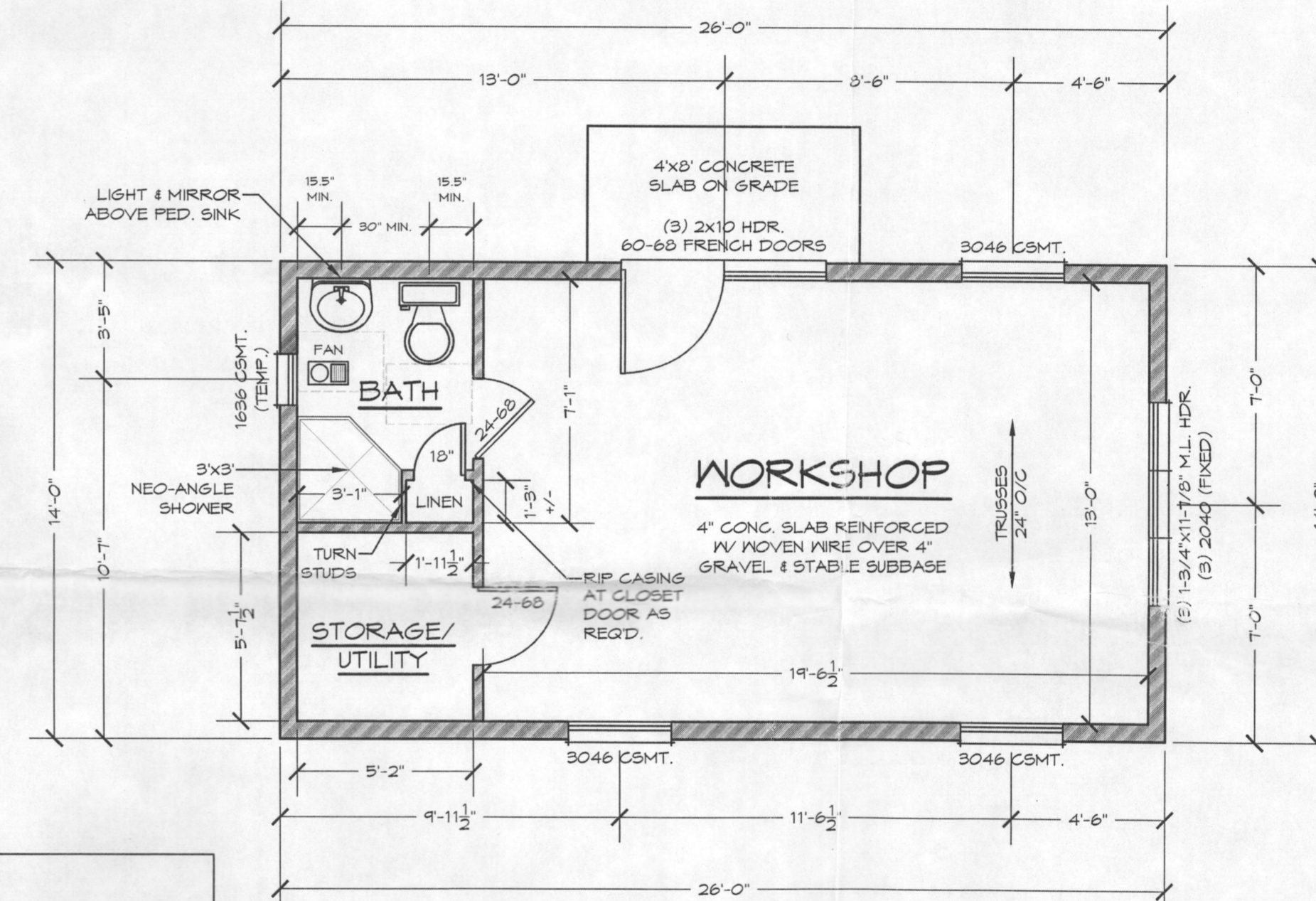


"REAR" ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"

\*NOTE:  
EXTERIOR STPS.  
MIN. TREAD= 11"  
MAX. RISER= 7"

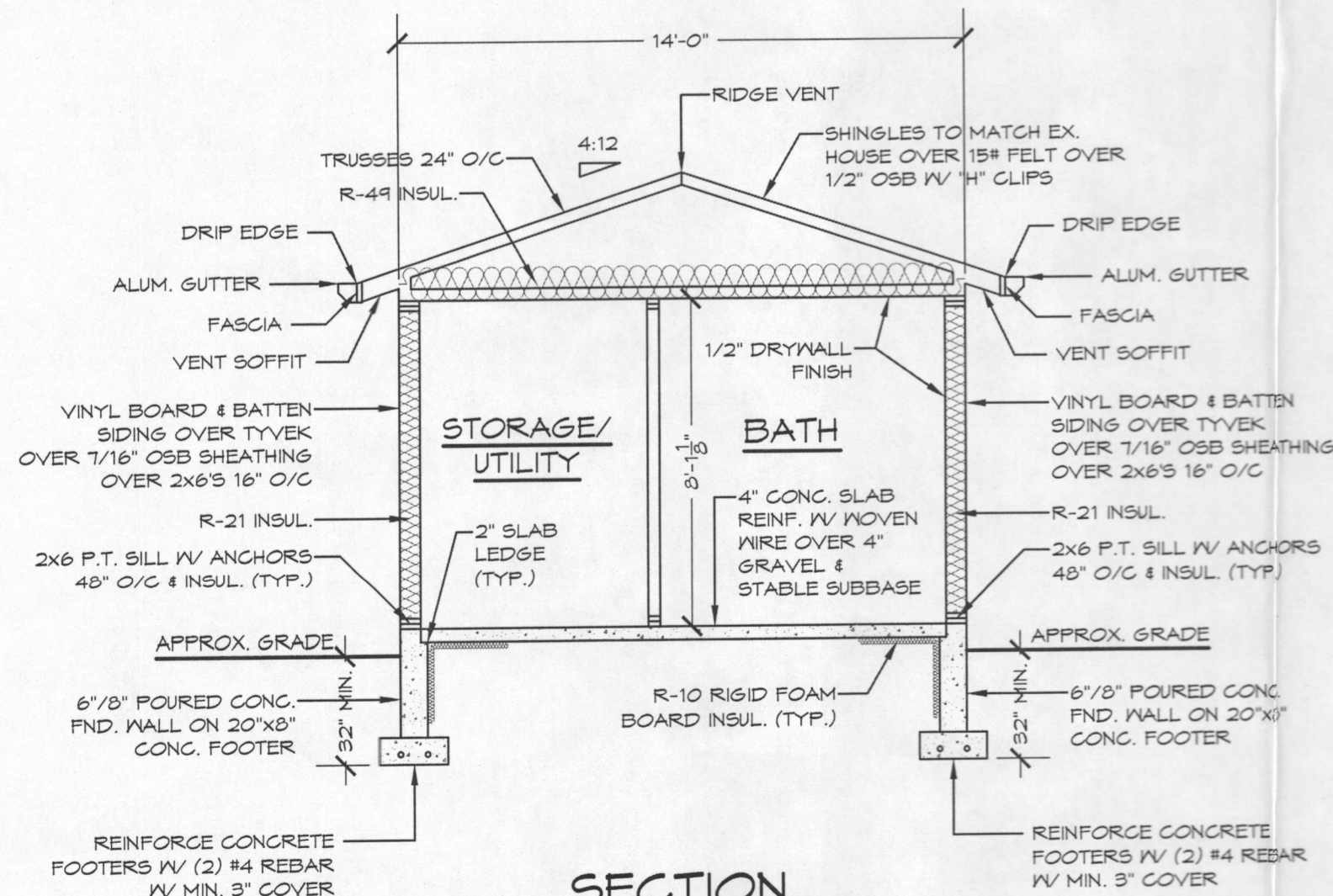


FOUNDATION PLAN  
SCALE: 1/4"=1'-0"

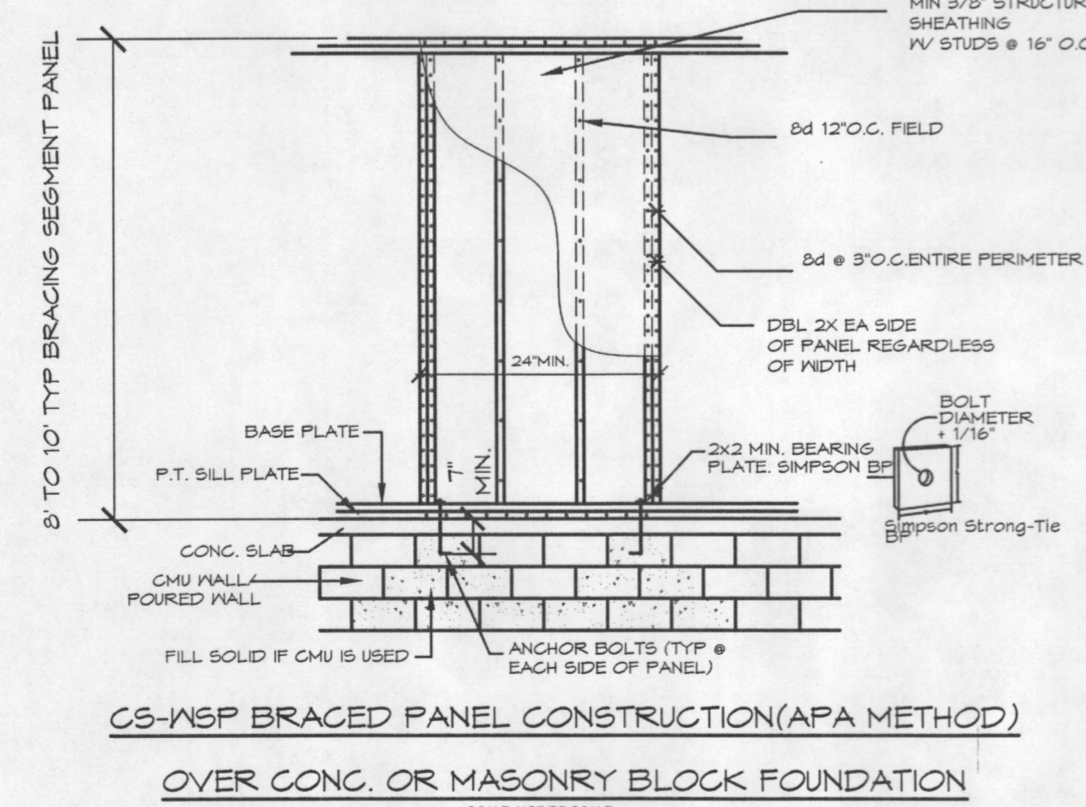


FIRST FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"

TRUSS DESIGN NOTE:  
TRUSS DESIGN SHOWN HEREON IS STRICTLY APPROXIMATE. TRUSSES ARE TO BE PRE-ENGINEERED AND CARRY TPI SEAL. ACTUAL TRUSS DESIGN MAY VARY.



SECTION  
SCALE: 1/4"=1'-0"



WALL BRACING DESIGN INFO:

LOCATION: HOWARD COUNTY, MARYLAND  
SEISMIC CATEGORY: B  
WIND SPEED: 90 MPH

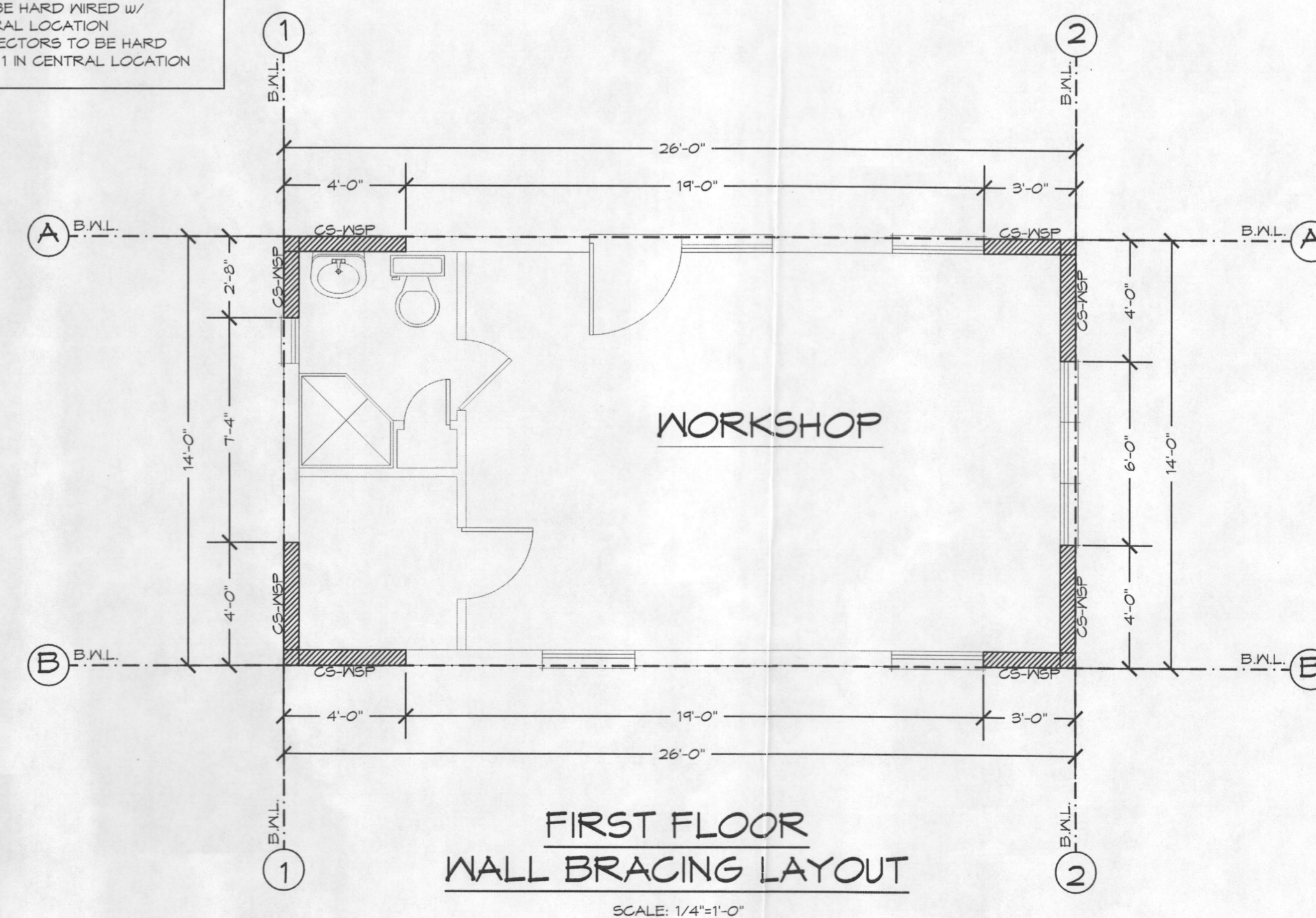
METHOD 3 (WOOD SHEATHING)/ CONTINUOUS SHEATHING METHOD 5 (GYPSUM BOARD)

\*THESE DRAWINGS ARE LIMITED TO IRC WALL BRACING REQUIREMENTS ONLY.

LEGEND:  
CS-WSP CONTINUOUS SHEATHING- WOOD STRUCTURAL PANEL (LENGTH)

R602.10.4 CONTINUOUS SHEATHING, BRACED WALL LINES WITH CONTINUOUS SHEATHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION. ALL BRACED WALL LINES ALONG EXTERIOR WALLS ON THE SAME STORY SHALL BE CONTINUOUSLY SHEATHED.

GENERAL NOTES:  
-VERIFY WINDOW SIZES W/ MANUFACTURER. SIZES MEET OR EXCEED EGRESS CLEAR OPENING AREA OF 5.7 SQ.FT. CLEAR OPENING WIDTH OF 20" & CLEAR OPENING HEIGHT OF 24" (WHERE REQUIRED).  
-FINAL GRADE SHOWN HEREON IS STRICTLY APPROXIMATE. CONTRACTOR TO FIELD VERIFY.  
-PROVIDE SMOKE DETECTORS TO BE HARD WIRED W/ BATTERY BACKUP. 1 IN CENTRAL LOCATION  
-PROVIDE CARBON MONOXIDE DETECTORS TO BE HARD WIRED W/ BATTERY BACKUP. 1 IN CENTRAL LOCATION



FIRST FLOOR WALL BRACING LAYOUT  
SCALE: 1/4"=1'-0"

DETACHED WORKSHOP  
THE BARKER RESIDENCE  
ELDERSBURG RENOVATIONS

FILE: ELDERSBURG RENOVATIONS - BARKER DETACHED WORKSHOP

SCALE: 1/4"=1'-0"  
DATE: 6/2022  
SHEET NO.: 2

GBL CUSTOM HOME DESIGN INC.  
PO BOX 237 FINNKSBURG, MD 21048  
PHONE 410-833-8320