

Approved 3/11/2025
RAC

Record Detail (This section is required.)

Permit Type Building/Residential/Garage/Attached Permit Number B25000456 Opened Date 02/04/2025

Description of Work SFD/ CONSTRUCT 24' X 36' (3) STORY GARAGE, 1 STORY, Slab on Grade, OR, 0FB, 0HB, 0FP, OTHER STRUCTURE = 3 Car Attached, 0BR, PORCH/DECK = N/A, ENERGY METHOD = N/A,

Online BP assigned
to RSF. 2/26/25

check spelling

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 13730 Street Name BARBERRY Street Type WAY

Unit Type -Select- Unit # X Coordinate -76.99088 Y Coordinate 39.33932

City SYKESVILLE State MD Zip Code 21784 Primary Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
831450	304	1.02	200200	452500	184700	RURAL

Legal Description LOT15 1.026AR []13730 BARBERRY WAY []WESTCLIFFE MANOR

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	15	605601	5				

Plan Area State Tax Id 1404338928 Subdivision Name

Section Area Tax Map 9

Grid Zoning District RC-DEO ADC Map 4693-B6

SDP No. Final Plan No. WP File No.

Record Plat No. 3897 WS Contract No. FDP No. Primary Yes

Owner Occupied Year Built 1980 Historic District Yes No

Historic District Registry No. Stat Area 4-03 Flood Plain Yes No

Building No

Owner (This section is not required.)

Search Reset Clear

Name MCQUI

Address Line 1 13730 BARBERRY WAY

Address Line 2

Address Line 3

Mail City SYKESVILLE

Mail State MD

Mail Zip Code 21784

Phone 443-864-3057

Primary Yes

E-mail

Cell Number 443-864-3057 Fax Number

Professionals (This section is not required.)

License # 08010105336 Business Name WT CONSTRUCTION DC LLC
License Type MHIC Ind Primary Yes
First Name JEFFREY Middle Name Last Name MCQUEEN
Address Line 1 13730 BARBERRY WAY Address Line 2
City SYKESVILLE State MD ZIP Code 21784-0000
Phone 1 2027040884 Phone 2 Fax
E-mail BRYCE@WTCONSTRUCTIONDC.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Applicant Relationship Applicant Primary No
First Name JOHN MI Last Name KOWALSKI
Full Name JOHN KOWALSKI
Organization Name JDK Design
Street Address 19801 MUNCASTER RD Address Line 2
City DERWOOD State MD Zip Code 20855
Phone 301-977-3652 Cell Fax
E-mail JDK007@COMCAST.NET

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City DERWOOD State MD Zip Code 20855
Phone 301-977-3652 Cell Fax
E-mail JDK007@COMCAST.NET

Addtl Info

Est Construction Cost 30000 Housing Units 0 Number of Buildings 0 Public Owned No
Construction Type 434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee Capital Project Number Fee Exempt Roadside Tree Project Permit Roadside Tree Pr
Yes No (Text) Yes No Yes No

No. of Stories 1 (Text) Foundation Slab on Grade Basement N/A No of Rooms 0 (Text) Full Baths 0 (Number) Ha 0

Model SFD/ CONSTRUCT 24' X 36' (3) STORY GARAGE check spelling

Other Structure 3 Car Attached Bedrooms 0 (Number) Porch Deck N/A No of Fireplaces 0 (Number) Type of Fireplace --Select-- W & S Fees Paid Water Private Sewage Private Utilities Electric Heating System Electric Sprinkler System None 1st Floor Width FT (Number) 1st Floor Depth FT (Number) 2nd Floor Width FT (Number) 2nd Floor Depth FT (Number) Basement Width FT (Number) Basement Depth FT (Number) Height FT (Number) Total Square Footage 839 SQFT (Number) Occupiable Square Footage 0 SQFT (Number) Affordable Housing Funding N/A Foundation Measurement (Text) Walls (Text) Roof (Text) Change In Use Change In Use Grading Permit No Grading Permit No Senior Housing Senior Housing MIHU Outside Downtown Columbia MIHU Outside Downtown Columbia

Additional Description Info Expiration Date 8/25/2025 MIHU Required Units (Num) check spelling

GREEN INFORMATION

Goal Level --Select-- Actual Level --Select-- Leed Registration Number (Text) Date of Leed Certification

STORM WATER MANAGEMENT

Green Roofs A1 Green Roofs A1 Permeable Pavements A2 Permeable Pavements A2 Reinforced Turf A3 Reinforced Turf A3 Disconnection of Rooftop Runoff N1 Disconnection of Rooftop Runoff N1 Sheetflow to Conservation Areas N3 Sheetflow to Conservation Areas N3 Rainwater Harvesting M1 Rainwater Harvesting M1 Submerged Gravel Wetlands M2 Submerged Gravel Wetlands M2 Landscape Infiltration Landscape Infiltration Dry Wells M5 Dry Wells M5 Micro Bioretention M6 Micro Bioretention M6 Rain Gardens M7 Rain Gardens M7 Swales M8 Swales M8 PSWM Certification Received in CID on

Submit Cancel

ADDITION TO RESIDENCE

Residential Construction Design Permits									
Subject To Permits/Plan									
Permit	Area	Minimum	Maximum	Permit	Area	Minimum	Maximum	Permit	Area
10-100	100 sq ft	100 sq ft	100 sq ft	10-100	100 sq ft	100 sq ft	100 sq ft	10-100	100 sq ft

STRUCTURAL CRITERIA			
LOADS (PSF)	LIVE	DEAD	TOTAL
FLOOR-LIVING	40	10	50
BEDROOM	30	10	40
ADD FOR UNWEIGHTED	20	10	30
ROOF	20	10	30
CERAMIC JOISTS	10	10	20

BUILDING CODE COMPLIANCE

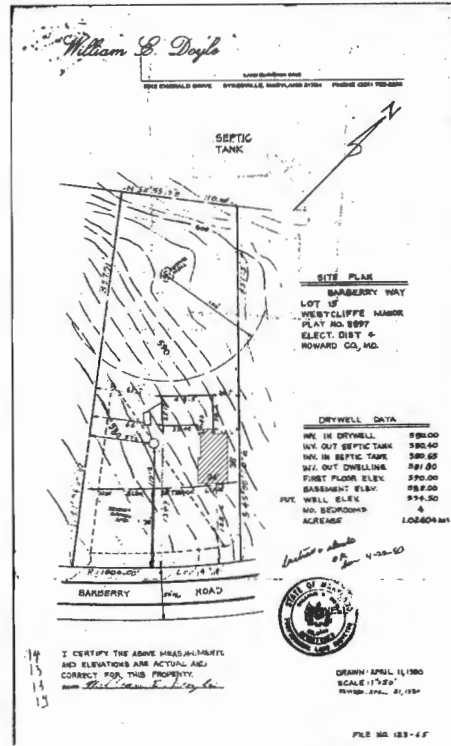
1. THE PLANS FOR THIS ADDITION HAVE BEEN PREPARED IN COMPLIANCE WITH THE LATEST EDITION OF THE IRC 2018 BUILDING CODE
2. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DATA AND LOADS FOR THE STRUCTURAL DESIGN BUILDING CODE WITH THE OWNER

GENERAL NOTES:

1. All Contractors shall be licensed and bonded for work in Howard County.
2. Construction work shall conform to all applicable building codes for Howard County, Maryland, including International Residential Code 2021.
3. Contractor shall be responsible for obtaining all necessary building permits. Architectural and Structural drawings will be provided.
4. All dimensions are to face of finish, unless otherwise noted.
5. Contractor shall verify all field conditions prior to construction. The Contractor shall check, coordinate and verify all dimensions and construction details before starting any construction. Written dimensions on the drawing shall have precedence over scaled dimensions. The contractor shall not scale dimensions from any drawing or detail. If a dimension is not provided, the contractor shall notify the J.D.K. Design for clarification.
6. Contractor shall keep the construction site in an orderly manner and provide daily clean-up of construction debris.
7. All contractors working or contracted to have work performed on the job site shall be licensed and bonded and carry liability and worker's compensation insurance.
8. The Contractor shall be solely responsible for all construction means, methods, techniques, sequence and procedures and for coordinating all portions of the work under contract.

ABBREVIATIONS

AD	ANCHOR BOLT	FR	FIRE-RATED	MS	MASONRY	S	SOUTH
AC	AC CONCRETE	FD	FLOOR DRAIN	MSM	MASONRY	SO	SOFFIT
ADU	ADULTERABLE	FD	FLOOR DRAIN	MSM	MASONRY	SO	SOFFIT
ADU	ADULTERABLE	FD	FLOOR DRAIN	MSM	MASONRY	SO	SOFFIT
ADU	ADULTERABLE	FD	FLOOR DRAIN	MSM	MASONRY	SO	SOFFIT

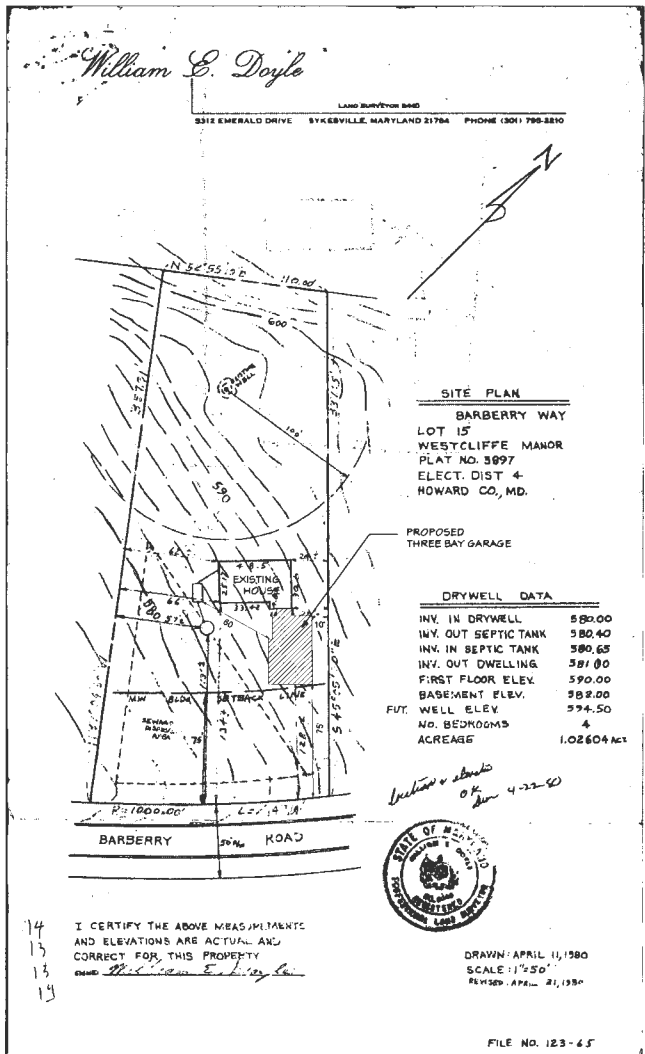


SITE PLAN

1" = 50'

MATERIALS AND SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	EMERALD / COMPACTED FILL	[Symbol]	WOOD FRAME CONSTRUCTION
[Symbol]	GRAVEL / POLYESTER FILL	[Symbol]	FLOOR ELEVATION
[Symbol]	CONCRETE	[Symbol]	CHIMNEY SWITCH
[Symbol]	PAINT / MORTAR PLASTER / STONE	[Symbol]	PARITION TYPE
[Symbol]	FINISH WOOD	[Symbol]	DOOR / WINDOW
[Symbol]	ROUGH FRAMING	[Symbol]	WINDOW TYPE
[Symbol]	WALL BLOCKING	[Symbol]	SMOOTHED OUTLET
[Symbol]	CONCRETE BLOCK	[Symbol]	REBAR
[Symbol]	BLUESHED / SATE	[Symbol]	SHIMMED / MOUNTED LIGHT FIXTURE
[Symbol]	WALL / STONE	[Symbol]	MOULDING PROFILE
[Symbol]	PAINT FINISH	[Symbol]	DECK KEY
[Symbol]	WOOD FRAME CONSTRUCTION	[Symbol]	RECESSED DOWNLIGHT
[Symbol]	EMERALD / COMPACTED FILL	[Symbol]	UNDER CABINET LIGHT FIXTURE
[Symbol]	GRAVEL / POLYESTER FILL	[Symbol]	SMOOTHED OUTLET
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REVISIONS

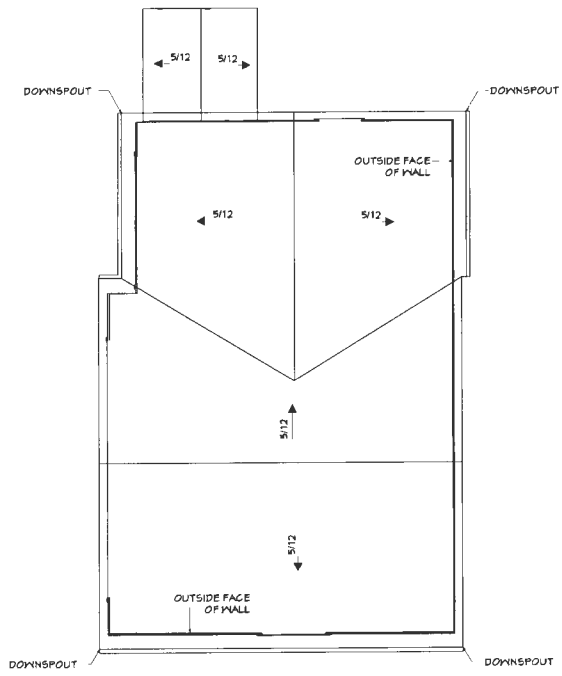
JDK DESIGN
 LAYTONSVILLE MD 20717-9825

ADDITIONS / RENOVATIONS TO
 13130 BARBERRY WAY
 SYKESVILLE MD 21784

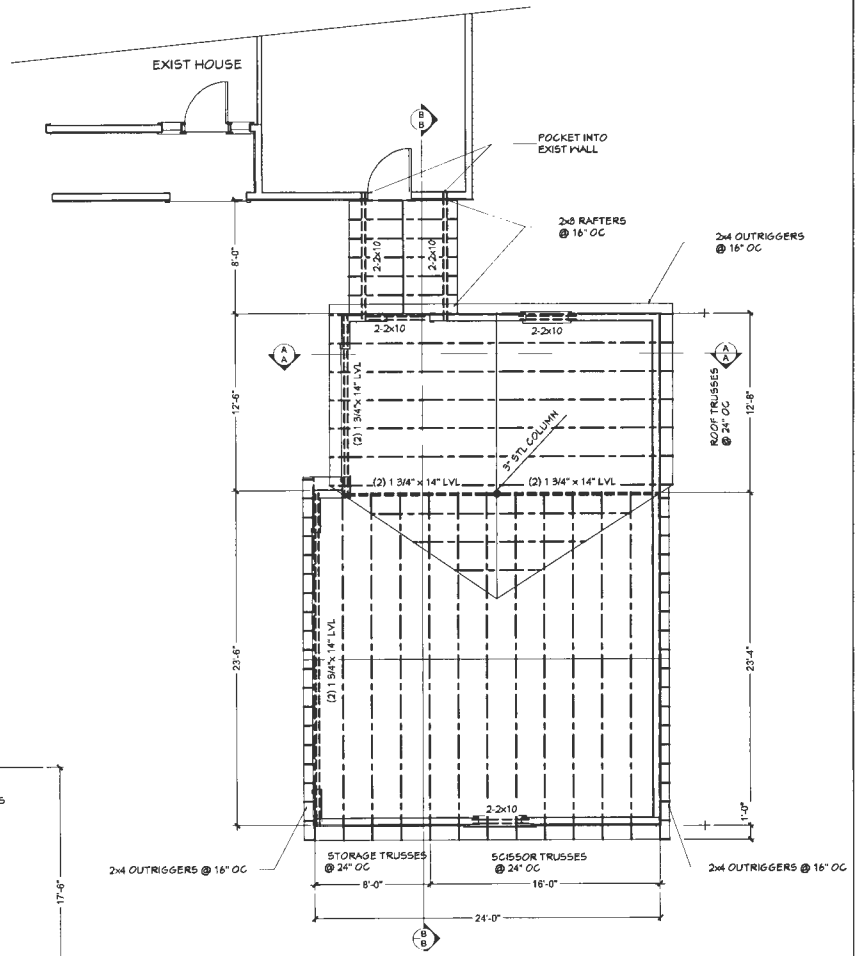
NOV 2024
 SCALE AS NOTED

SITE PLAN

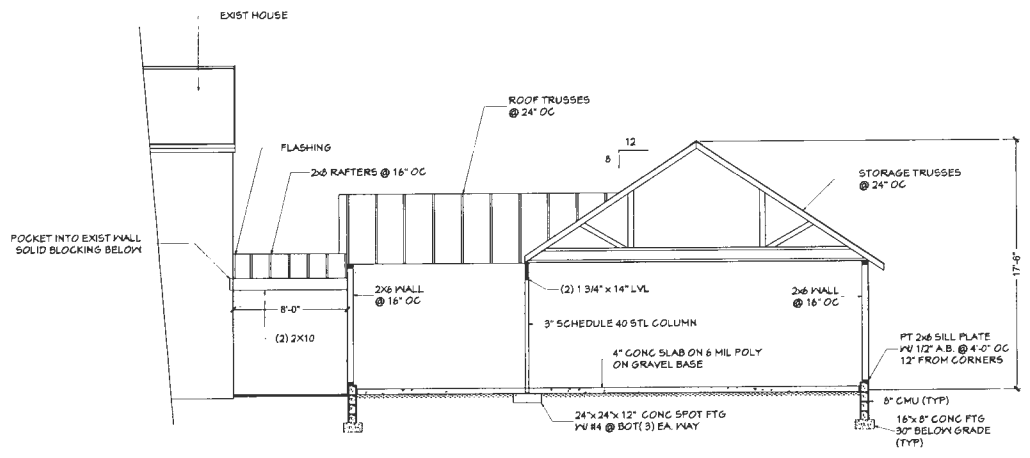
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ROOF PLAN
1/4" = 1'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"



CROSS SECTION B-B

REVISIONS

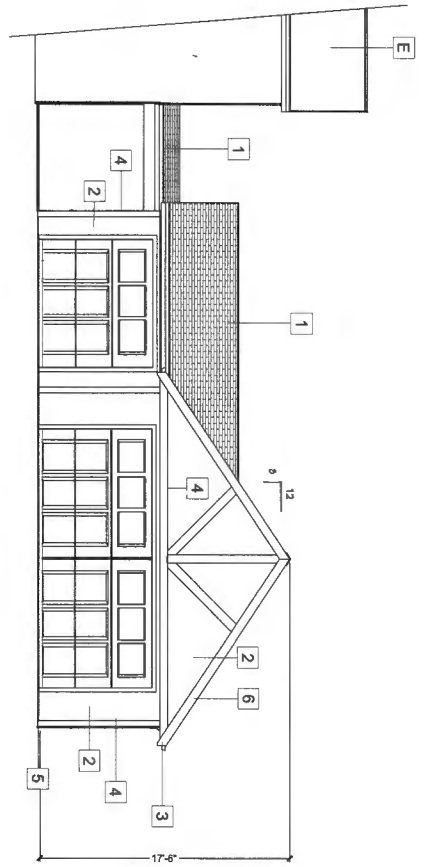
J D K DESIGN
LAWTONVILLE MD 20117T 986

ADDITIONS / RENOVATIONS TO
13750 BARBERRY HWY
SYKESVILLE MD 21154

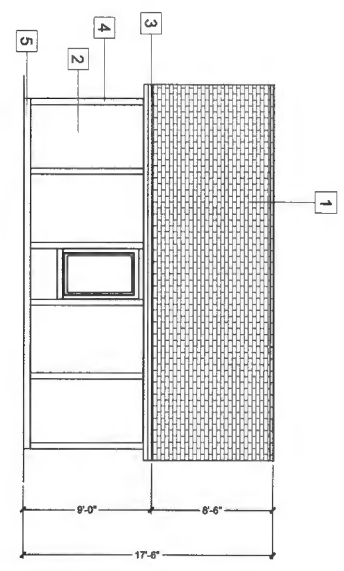
NOV 2024
SCALE AS NOTED

ROOF FRAMING PLAN
CROSS SECTION B-B
ROOF PLAN

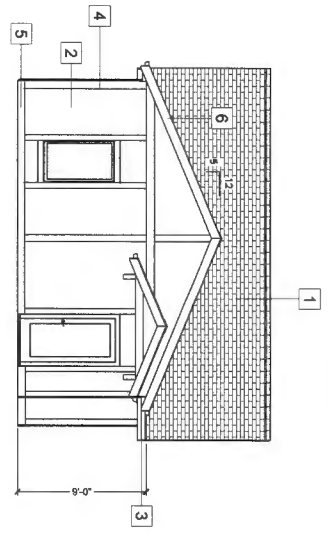
S002



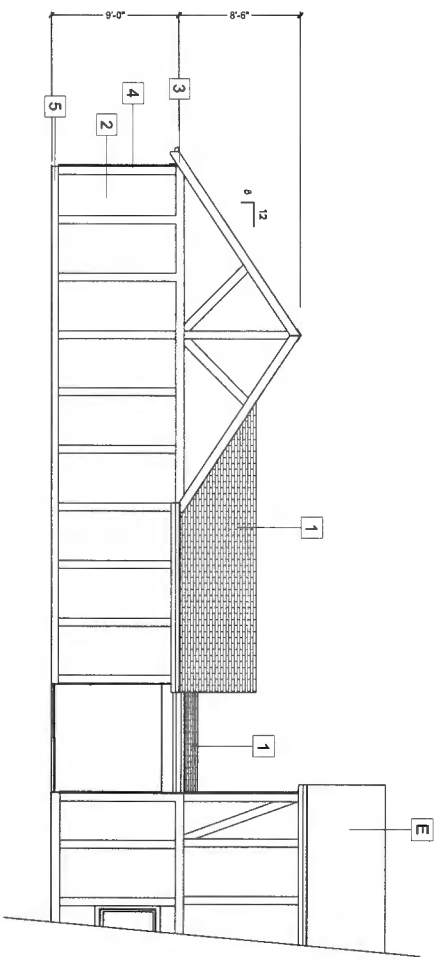
RIGHT SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

- 1 - BRICKWORK & SHINGLES
- 2 - DRIVE ON SKYLIGHT
- 3 - DRIVE ON SKYLIGHT
- 4 - ALUM. CLUTTER ON THE PORCH
- 5 - PAINTED CHU
- 6 - 1/4 BRICK

Freemon, Robert

From: Jeff WTC <jeff@wtconstructiondc.com>
Sent: Monday, March 10, 2025 8:02 PM
To: Freemon, Robert
Subject: 13730 Barberry Way

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Robert,

I'm not sure if Bryce responded to you.

In reference to your question below, the answer is no. No livable space or plumbing in the building.

"Hi,

I am reviewing building permit B25000456 and I have some questions. Is this garage going to be constructed with any living space and/or plumbing?"

Thank you,

Jeff McQueen

Managing Partner

443-864-3057

6115 North Dakota Ave. NW, Washington DC. 20011

