

KS-5

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~~Amendment~~

Record Detail \* (This section is required.)

<b>Permit Type</b>	<b>Permit Number</b>	<b>Opened Date</b>
Building/Residential/Misc/Solar Panel	B24004821	12/28/2024

**Description of Work**  
 SFD/ INSTALL (28) GROUND MOUNT SOLAR PANELS\*\*SUBJECT TO FIELD INSPECTION\*\*/\*1.14.25  
 AMENDMENT REQUEST TO INCREASE TO (36) PANELS\*

Approved 1/23/2025  
R/E

\* No change in location or position. Does not affect work.

Online BP.  
9/21/23/25

check spelling

Address \* (This section is required.)

Search    Reset    Clear    Get Parcel & Owner

<b>Street #</b>	<b>Street Name</b>	<b>Street Type</b>
3755	SHARP	RD
<b>Unit Type</b>	<b>Unit #</b>	<b>X Coordinate</b>
-Select-		-77.00962
		<b>Y Coordinate</b>
		39.26652
<b>City</b>	<b>State</b>	<b>Zip Code</b>
GLENWOOD	MD	21738
	<b>Primary</b>	
	Yes	

Parcel \* (This section is required.)

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<b>GIS ID *</b>	<b>Parcel</b>	<b>Parcel Area</b>	<b>Land Value</b>	<b>Improved Value</b>	<b>Exemption Value</b>	<b>Plan Area</b>
894103	149	3.93	251900	426100	78100	RURAL
<b>Legal Description</b>						
LOT 11 3.934 A    [ ]3755 SHARP RD    [ ]CHARLES SHARP SUB						

check spelling

<b>Block</b>	<b>Lot</b>	<b>Census Tract</b>	<b>Council Dist</b>	<b>Inspection Dist</b>	<b>Supervisor Dist</b>	<b>Map #</b>	<b>DAP Zone</b>
	11	605601	5				
<b>Plan Area</b>	<b>State Tax Id</b>	<b>Subdivision Name</b>					
	1404351312	CHARLES SHARP SUBDIVIS					
<b>Section</b>	<b>Area</b>	<b>Tax Map</b>					
		21					
<b>Grid</b>	<b>Zoning District</b>	<b>ADC Map</b>					
21-18	RR-DEO	4812-J8					
<b>SDP No.</b>	<b>Final Plan No.</b>	<b>WP File No.</b>					
	F-88-104						
<b>Record Plat No.</b>	<b>WS Contract No.</b>	<b>FDP No.</b>	<b>Primary</b>				
9520			Yes				
<b>Owner Occupied</b>	<b>Year Built</b>	<b>Historic District</b>					
<input type="radio"/> Yes <input checked="" type="radio"/> No	1977	<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Historic District Registry No.</b>	<b>Stat Area</b>	<b>Flood Plain</b>					
	4-09	<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Building No</b>							

Owner \* (This section is required.)

Search    Reset    Clear

**Name \***  
 Michae  
**Address Line 1**  
 3755 Sharp Rd  
**Address Line 2**  
  
**Address Line 3**  
  
**Mail City**



Submit

Cancel

## Freemon, Robert

---

**From:** Michael Eckert <eckertdm@gmail.com>  
**Sent:** Tuesday, January 14, 2025 11:32 AM  
**To:** Permits  
**Cc:** BuildingTech  
**Subject:** Permit Amendment - B24004821 - 3755 Sharp Rd, Glenwood, MD  
**Attachments:** DILPLP\_PermitsBuilding\_Permit\_20250113\_074434.pdf; 250110-1 - DWG S1 Rev A.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Dear Howard County Department of Permits,

Please find attached the permit that was issued for my residential solar panels. Kindly it needs to be amended in the following ways:

1. There will be a total of 36 panels instead of 28
2. The solar ground rack will be a different manufacturer, the Sky Rack 2.0 Ground Solar Mount that meets strict criteria for wind and snow loads.

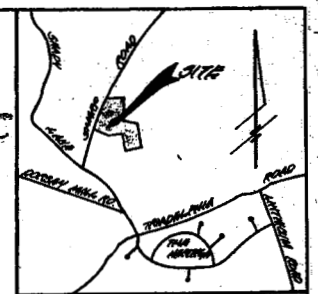
Please find attached the specific drawings for this ground array and issue an updated permit.

Best wishes,  
Michael

COORDINATE TABLE		
NO.	NORTH	EAST
455	522712.872	796676.299
504	522041.738	795412.753
615	522357.892	796982.487
524	521639.053	797184.475
527	521910.473	796351.686
528	521889.275	797093.334
537	521712.411	797475.954
538	522093.021	796980.441
544	521919.634	796339.086
546	521775.684	796708.151
649	522053.000	797476.000
718	522099.262	797049.521
750	522775.057	796701.939
752	522781.203	796748.434
766	522787.536	796734.686
776	522769.094	796857.835
780	522789.458	796953.643
788	522416.186	796559.375
943	522780.658	796688.121

LAND DEDICATED TO HOWARD COUNTY  
HIGHWAY FOR THE PURPOSE OF A  
PUBLIC ROADWAY. AREA - 0.300 AC.

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING & DISTANCE
155-750	2147.00'	87.27'	33.64'	01°47'42"	N22°24'28"E 67.28'
504-788	81653.66'	402.13'	201.07'	00°15'08"	N22°13'03"E 402.13'
166-776	175.00'	111.91'	57.94'	38°38'20"	S83°40'60"E 110.01'



100 YEAR FLOOD  
PLAIN DRAINAGE AND  
UTILITY ALIGNMENT  
(AREA - 0.280 AC.)

FLOOD PLAIN TABULATION CHART		
LINE	BEARING AND DISTANCE	AREA
FP 1	S15 39'18"E 7.91'	0.057 AC
FP 2	N83 39'35"E 153.54'	0.778 AC
FP 3	S74 23'11"E 82.35'	0.057 AC
FP 4	S50 01'45"E 177.48'	0.057 AC
FP 5	S66 18'36"E 62.70'	0.057 AC
FP 6	S71 58'11"W 82.81'	0.057 AC
FP 7	N69 44'31"W 136.32'	0.057 AC
FP 8	N27 02'05"W 44.62'	0.057 AC
FP 9	N57 38'01"W 202.92'	0.057 AC
FP 10	N21 15'29"E 40.00'	0.057 AC

FLOOD PLAIN TABULATION	
LOT NO.	AREA
2	0.778 AC
11	0.057 AC

MINIMUM LOT AREA TABULATION			
LOT NO.	TOTAL LOT AREA	PIPE STEM AREA	RESULTING MINIMUM LOT AREA
1	1.934 AC	0.115 AC	1.819 AC

AREA TABULATION	
TOTAL NUMBER OF LOTS TO BE RECORDED	4
TOTAL AREA OF LOTS TO BE RECORDED	13.846 AC
TOTAL AREA OF ROADWAY TO BE RECORDED	0.388 AC
TOTAL AREA OF FLOODPLAIN TO BE RECORDED	0.833 AC
TOTAL AREA OF SUBDIVISION TO BE RECORDED	14.045 AC

OWNER'S CERTIFICATE:  
 I HEREBY CERTIFY THAT THE FIRST PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) ALL OF THE LAND CONVEYED BY CHARLES ALAN SHARP TO CHARLES ALAN SHARP BY DEED DATED FEBRUARY 2, 1967 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 1600 AT FOLIO 149; (2) ALL OF LOT NO. 1, SECTION 1 AS SHOWN ON A PLAT ENTITLED "LAWTON T. SHARP FARM" AND RECORDED AS PLAT NO. 3605 WHICH WAS GRANTED AND CONVEYED BY LAWTON T. SHARP FARM, INC. TO CHARLES ALAN SHARP AND DENISE ANN COOPER, HIS WIFE, BY DEED DATED SEPTEMBER 2, 1980 AND RECORDED AMONG THE AFORESAID LAND RECORDS IN LIBER 1019 AT FOLIO 455; AND (3) ALL OF THE LANDS CONVEYED BY CONFIRMATORY DEED DATED DECEMBER 30, 1984 BY FRANCES L. SHARP AND CORNELIUS P. STUART, JR., TRUSTEES OF LAWTON T. SHARP FARM, INC. TO CHARLES ALAN SHARP AND RECORDED AMONG THE AFORESAID LAND RECORDS IN LIBER NO. 1574 AT FOLIO 572; AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

OWNER'S CERTIFICATE:  
 I HEREBY CERTIFY THAT THE FIRST PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) ALL OF THE LAND CONVEYED BY CHARLES ALAN SHARP TO CHARLES ALAN SHARP BY DEED DATED FEBRUARY 2, 1967 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 1600 AT FOLIO 149; (2) ALL OF LOT NO. 1, SECTION 1 AS SHOWN ON A PLAT ENTITLED "LAWTON T. SHARP FARM" AND RECORDED AS PLAT NO. 3605 WHICH WAS GRANTED AND CONVEYED BY LAWTON T. SHARP FARM, INC. TO CHARLES ALAN SHARP AND DENISE ANN COOPER, HIS WIFE, BY DEED DATED SEPTEMBER 2, 1980 AND RECORDED AMONG THE AFORESAID LAND RECORDS IN LIBER 1019 AT FOLIO 455; AND (3) ALL OF THE LANDS CONVEYED BY CONFIRMATORY DEED DATED DECEMBER 30, 1984 BY FRANCES L. SHARP AND CORNELIUS P. STUART, JR., TRUSTEES OF LAWTON T. SHARP FARM, INC. TO CHARLES ALAN SHARP AND RECORDED AMONG THE AFORESAID LAND RECORDS IN LIBER NO. 1574 AT FOLIO 572; AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

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RECORDED AS PLAT NO. \_\_\_\_\_ ON \_\_\_\_\_ AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.  
**CHARLES SHARP SUBDIVISION (LOTS 9-11)**  
 AND  
**LOT 2 SECTION 1, LAWTON T. SHARP FARM (A RESUBDIVISION OF LOT 1, SECTION 1, LAWTON T. SHARP FARM)**  
 THIS MAP IS PART OF RECORDS 86 AND 149 SHOWING THE FOUNDATION OF DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1"=100' DATE: NOVEMBER 15, 1988  
 SHEET 1 OF 2  
 150-104

- GENERAL NOTES:  
 1. THIS AREA REQUIRES PRIVATE SEWERAGE AND ROAD IMPROVEMENTS AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SERVICE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL A PRIVATE SEWERAGE IS AVAILABLE. THESE IMPROVEMENTS SHALL BECOME MINE AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. HOWARD COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENFORCEMENT OF THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A PRIVATE SEWERAGE EASEMENT SHALL NOT BE NECESSARY.  
 2. THE LOTS SHOWN HEREON COMPY WITH THE EXISTING OWNERSHIP WITHIN AND LOT AREA AS SHOWN BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE.  
 3. SUBJECT PROPERTY ZONED "R" AS PER 8/2/80 COMPREHENSIVE ZONING PLAN.  
 4. THE COORDINATES SHOWN HEREON ARE BASED ON THE MARYLAND STATE GRID SYSTEM AND DERIVED FROM THE FOLLOWING HOWARD COUNTY CONTROL STATIONS:  
 STA. 2433001 N 510741.300  
 E 79251.000  
 STA. 1123008 N 510682.328  
 E 79251.000  
 5. FOR FLAG OR PIPE STEM LOTS, SEWER COLLECTION, SEWER REMOVAL AND ROAD IMPROVEMENTS ARE PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM AND THE ROAD R/W AND NOT FOR THE FLAG OR PIPE STEM.  
 6. "R" DENOTES BUILDING RESTRICTION LINE.  
 7. "S" DENOTES 1800 PPM CAPPED OFF. 1800" SET.  
 8. "E" DENOTES ELEVATION OF LOW YEAR FLOOD LEVEL.  
 9. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN FLOOD PLAIN AREAS.  
 10. THE PURPOSE OF THIS MAP IS TO RECORD A PLAT AND TO PROVIDE A LEGAL BASIS FOR THE CREATION OF LOTS.
- NOTE:  
 WATER SUPPLY TO LOT 2 IS PROVIDED FROM AN EXISTING WELL ON LOT 11.

STATE DEPT. OF ASSESSMENTS & TAXATION  
 HOWARD COUNTY  
 Received By  
 DATE: 9/6/88 PLAT:

FISHER, COLLINS & CARTER, INC.  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 2804 COURT AVE., ELICHTON CITY, MD 21043  
 (301) 481-2525



## Ground-Mounted Solar Array

This document outlines the proposed location for a ground-mounted solar array on **3755 Sharp Rd, Glenwood, MD** and includes north-facing satellite image with location information.

### Project Overview:

- The project involves installing a ground-mounted solar array for renewable energy generation.
- The array will comply with local zoning regulations, including all required setbacks and safety guidelines. A 30-foot setback from property boundaries is marked in red on the image to indicate the required buffer zone. No structures or arrays will be placed within this setback zone to maintain compliance with zoning laws and respect for neighboring properties.
- The designated area for the solar array is marked within the compliant zone on the image. This area was chosen to optimize sunlight exposure while minimizing visual or physical impact on neighboring properties.
- Measures, including the addition of privacy landscaping, will ensure the array blends with the surroundings as much as possible.

