

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Case

EH-PLANS-25-0

Type

EnvHealth/Environmental Health/Plan Check/Application

Status

In Review

Opened Date

11/10/2025

Single Entry Edit-View Record Form

Application Name

B25004681

Description

SFD/ CONSTRUCT (2) STORY 41' X 38' GARAGE WITH SECOND FLOOR STORAGE TO INCLUDE HALF BATH - COVERED WALKWAY TO CONNECT TO HOUSE, 2 STORY, Slab on Grade, 1R, 0FB, 1HB, 0FP, OTHER STRUCTURE = Detached Garage, 0BR, PORCH/DECK = N/A, ENERGY METHOD = N/A,

Total Invoiced

0.00

Total Paid

0.00

Balance

0.00

Assigned to Department Current Department

Well and Septic Progr

Assigned to Staff Current User

Zack Silvast

Address * (This section is required.)

New Search Delete Set Primary

Parcel (This section is not required.)

Search Delete Get Address & Owner Set Primary

Owner (This section is not required.)

Search Delete Set Primary

Applicant * (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form

Type *

Applicant

Primary

Yes

First Name *

Kirk

Middle Name

Last Name *

Guillory

Home Phone ((xxx)xxx-xxxx)

Organization Name *

G-Force Architects

Mobile Phone ((xxx)xxx-xxxx)

(301) 377-2912

E-mail

KJGUILLORY2016@GMAIL.COM

Business Phone ((xxx)xxx-xxxx)

Preferred Channel

--Select--

Applicant Address

New Look Up Deactivate Remove

Custom Fields

DATE TRACKING

Received Date

11/7/2025

a

Dates to Complete

14

(Number)

Food Review Type

--Select--

Due Date

11/24/2025

Received by Food

a

Equipment Specification Sheets Submitted

a

Approved
MOR 2/6/26

Online BP. zach Silvast 11/18/25

Equipment Specification Sheet

Received by Community Hygiene

Received by Well and Septic

FACILITY INFORMATION

Name of Business (dba) *

11/7/2025 (Text)

Associated Building Permit Number

(Text)

Owner Switch Date

(Text)

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.

☐ Yes ☐ No

Does the project include Private Septic? If Yes, forward to WS Program.

☐ Yes ☐ No

Is this a Prototype Food Service Facility? If Yes, refer to State.

☐ Yes ☐ No

Facility Fax

0 (Text)

Days of Operation

0 (Text)

Does this project have a Building Permit?

☐ Yes ☐ No

Building Permit Issued Date

(Text)

☐ Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.

☐ Yes ☐ No

Does the project include Food Services? If Yes, forward to FP Program.

☐ Yes ☐ No

Facility Phone

0 (Text)

Facility Email

0 (Text)

PROPERTY INFORMATION

Water Source

Private ▼

Sewage Disposal

Private ▼

Design Wastewater Flow

(Number)

Permit Type

--Select-- ▼

PLAT STATS

Total Number of buildable lots to be recorded

0 (Number)

Total number of open space lots to be recorded

0 (Number)

Total number of bulk parcels to be recorded

0 (Number)

Total number of lots / parcels to be recorded

0 (Number)

New buildable lots created

0 (Number)

Date PLAT signed by Health Officer

(Text)

PLAT Type

--Select-- ▼

Date Preliminary Plan Signed by HO

(Text)

☐ Extension Granted**DEVELOPMENT PLANS**

Property Type

Residential ▼

Plan Version

Initial ▼

Signature Required

☐ Yes ☐ No

Engineer

0 (Text)

Number of paper copies

0 (Number)

Number of mylar copies

0 (Number)

Number of buildable lots created

0 (Number)

Number of non-buildable lots created

0 (Number)

Total Number of Lots

0 (Number)

Associated Plans

(Text)

WELL AND SEPTIC INTERNAL

State Review Required

☐ Yes ☐ No

Coordinate State Review

☐ Yes ☐ No

Proposed Septic System Type

--Select-- ▼

FOOD ESTABLISHMENT FACILITY

Priority Assessment

--Select-- ▼

Licensed Type

--Select-- ▼

License Category

--Select-- ▼

FOOD ESTABLISHMENT INFORMATION

Hours of Operation

(Text)

☐ Operating Seasonally Only

If Operating Seasonally, What is the start month?

(Text)

Are pets allowed in a outdoor seating area?

☐ Yes ☐ No

Full Bar?

☐ Yes ☐ No**RESTAURANT AND FOOD SERVICE**

Food Service Facility Secondary Category

--Select--

Total Seating Capacity

(Number)

Number of Restrooms

(Number)

Bar Seating Capacity

(Text)

Interior Restaurant Seating Capacity

(Number)

Outdoor Seating Capacity

(Text)

Does the restaurant have outdoor seating

☐ Yes ☐ No**EQUIPMENT**

Evaluated non NSF, ANSI, CF or other standards

☐ Yes ☐ No

Description of Refrigeration Units

Number of Walk-In Refrigerator Units

(Number)

Description of Walk-In Freezer Units

(Text)

Is there a bulk ice machine available

☐ Yes ☐ No

Space Limitation

Number of Hand Sinks Available

(Number)

Hood System

(Text)

Ventless Equipment

(Text)

PLUMBING

Size and installation of the water heater?

(Text)

Is there a grease interceptor or grease trap?

--Select--

REFUSE AND RECYCLABLES

Dumpsters Located on a impervious surface?

--Select--

Will there be a grease receptacle?

--Select--

WAREWASHING DISHWASHING

Dishwashing Method

--Select--

HACCP

Plan Review Response Letter Received

☐ Yes ☐ No

Date HACCP Approved by the State

[Date]

Date HACCP Plan Submitted

[Date]

HACCP Plan Review

HACCP Plan Approved

[Date]

Plan Review Letter Mailed

[Date]

HACCP Plan Revision Submitted

[Date]

HACCP Fee Type

--Select--

FINISHING SCHEDULE

Kitchen Floor / Bar Flooring

--Select--

Kitchen Cove Base

--Select--

Storage - Food Storage Flooring

--Select--

Storage - Food Storage Cove

--Select--

Utensil Washing Area Flooring

--Select--

Utensil Washing Area Cove

--Select--

Dressing / Locker Room Flooring

--Select--

Dressing / Locker Room Cove

--Select--

Toilet Area Flooring

Toilet Area Cove

SHEET INDEX:

Num.	Name
G001	COVER SHEET & SITE PLAN
G002	ABBREVIATIONS, SYMBOLS, & GENERAL
S001	EXCAVATION PLAN
S101	GARAGE FOUNDATION PLAN
S102	2ND FLOOR FRAMING PLAN
S103	LOFT FRAMING PLAN
S104	ROOF FRAMING PLAN
S201	STRUCTURAL DETAILS
A101	NEW WORK GARAGE FLOOR & REFLECTED CEILING PLAN
A102	NEW WORK ADDITION 2ND FLOOR & REFLECTED CEILING PLAN
A104	NEW WORK LOFT LEVEL PLAN
A201	ELEVATIONS, GARAGE
A202	ELEVATIONS, GARAGE
A301	ELEVATIONS, EXISTING HOME
A302	ELEVATIONS, EXISTING HOME
A402	RADIATION MITIGATION
A501	AIR BARRIER DETAILS
A502	ARCHITECTURAL DETAILS
A901	3D VIEWS
A902	3D VIEWS
A903	3D VIEWS
A904	3D VIEWS

2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL EXISTING BUILDING CODE
2021 INTERNATIONAL FIRE FIGHTER WORK CODE
2021 INTERNATIONAL PLUMBING CODE (IPC/7)
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL PROPERTY MAINTENANCE CODE
2021 INTERNATIONAL PROPERTY MAINTENANCE CODE
2023 NFPA NATIONAL ELECTRICAL CODE
2021 NFPA 10 LIFE SAFETY CODE
MARYLAND STATE FIRE PREVENTION CODE
2021 HOWARD COUNTY BUILDING CODE
2021 HOWARD COUNTY ENERGY CONSERVATION CODE
2021 HOWARD COUNTY MECHANICAL CODE
2021 HOWARD COUNTY PLUMBING CODE
2021 HOWARD COUNTY ELECTRICAL CODE
2021 HOWARD COUNTY RESIDENTIAL BUILDING CODE



ARCHITECT:
Kirk Gullery, RA
G-Force Consulting, LLC
7051 Despage Drive, Suite 200
301-372-0015

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number: 9257, expiration date May 26, 2026.

[illegible]

14729 TRIADELPHIA MILL
ROAD, DAYTON, MD 21036

ACCESSORY APARTMENT
& GARAGE

COVER SHEET & SITE PLAN

Publication year	2013-2015	2016-2017	Duration	2013-2015	2016-2017
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Printed Number 247067

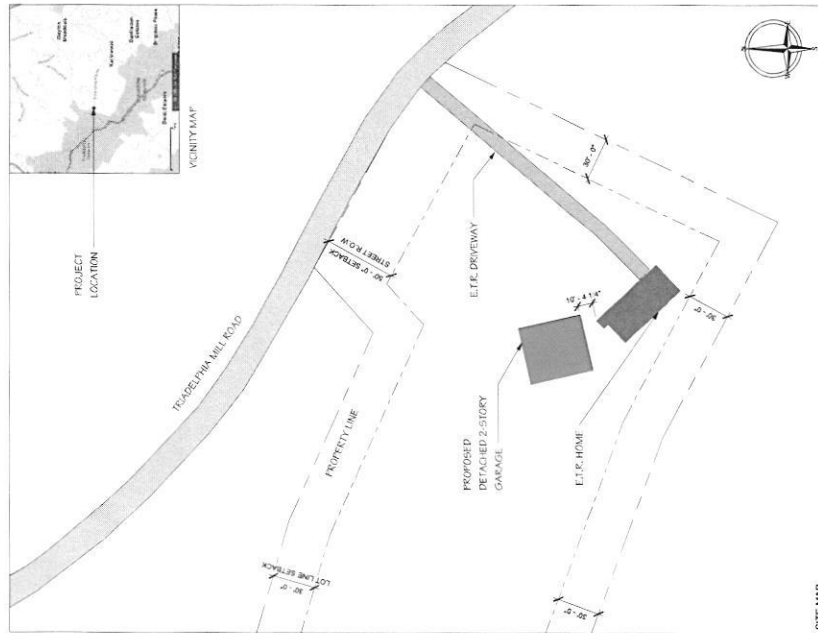
Date 03 14 2025
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Checked By	
☐ C	
☐ N	

GOO1

Scale

 $1'' = 40' - 0''$ 

1 PERSPECTIVE

SITE MAP

SITE MAP

PROPOSED DETACHED GARAGE (1,000 INTERIOR SQ. FT.)

EXISTING HOME TO BE REMOVED (2,500 INTERIOR SQ. FT.)

NO NEW WORK

This architectural drawing shows a proposed detached garage and an existing home to be removed. The garage is a two-story structure with a gabled roof, multiple windows, and a large double door. The existing home is a larger, multi-story structure with a complex roofline, including a prominent chimney and a large staircase. The drawing is oriented vertically on the page.

EXISTING HOME TO REMAIN (2.581 INTERIOR SQ.FT.)

NO NEW WORK

PROPOSED DETACHED GARAGE (1,000 INTERIOR SQ. FT.)

100%

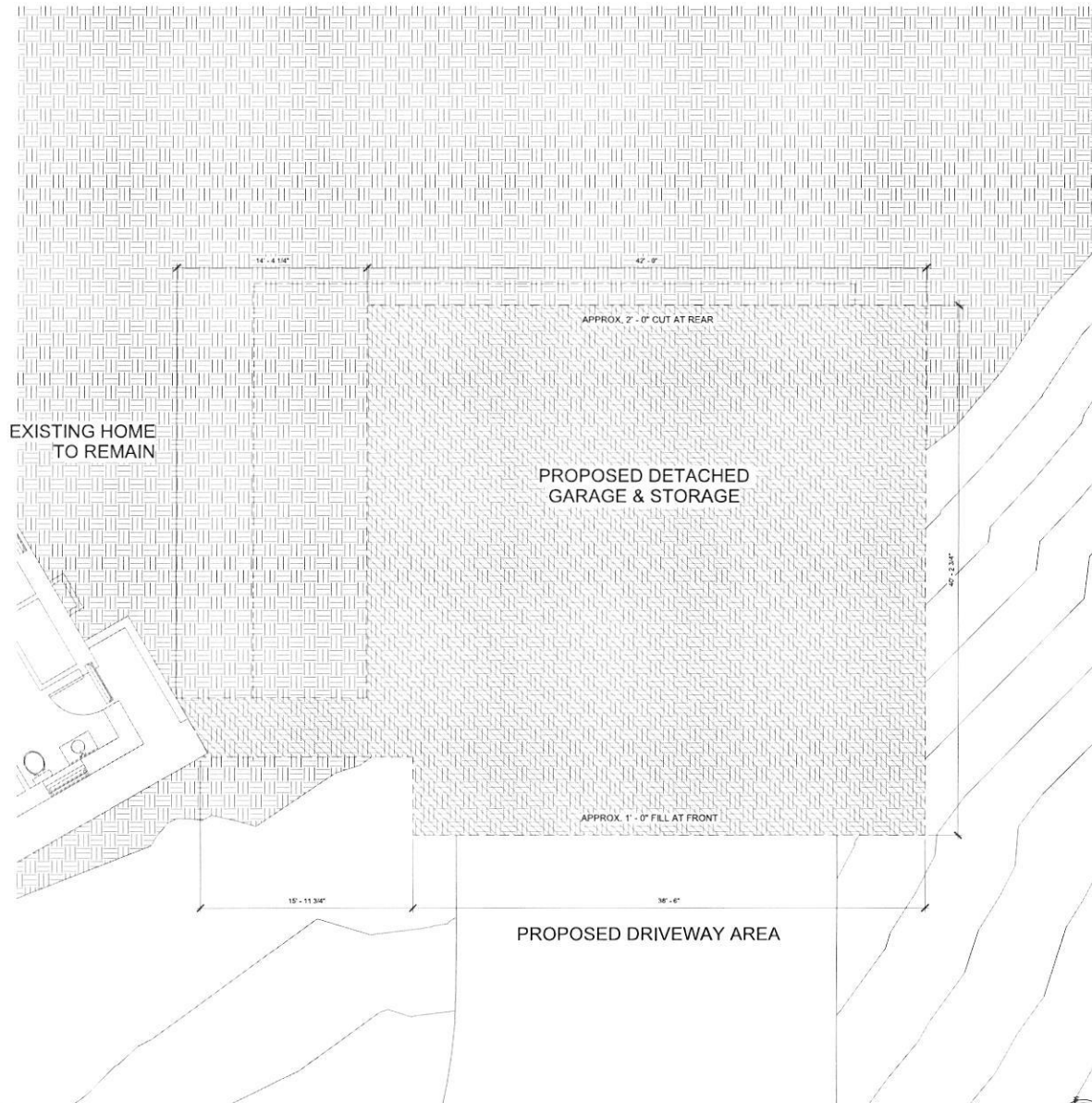
SITE MAP

SITE MAP

[illegible]

GENERAL NOTES:
EXCAVATE EXISTING BUILDING FOOTPRINT
FOR FOUNDATION, FOOTINGS, 4" OF
CRUSHED GRAVEL, & 4" DIAM. DRAIN.
REINFORCE BUILDING PAD WHERE EXISTING
GRADE HEIGHT IS INSUFFICIENT.
IF NECESSARY REMOVE GRADE WHERE
APPLICABLE FOR NEW DRIVEWAY TO
GARAGE ADDITION

EXISTING GRADE CONDITIONS:



1 EXCAVATION PLAN
1/4" = 1'-0"



APPROVAL STAMP



ARCHITECT:
Ken Gullberg, RA
G Force Consulting, LLC
7061 Deepage Drive, Suite 200
301-377-2912



I certify that these documents were prepared or approved by me, and that I am a
 duly licensed architect under the laws of the State of Maryland, license number
 9057, expiration date: May 26, 2026.

No.	Description	Date

14729 TRIADPHIA MILL
ROAD, DAYTON, MD 21036

ACCESSORY APARTMENT
& GARAGE

EXCAVATION PLAN

Preliminary: 20241211 - 20241217 Design: 20241217 - 20260106

Revisions: 20250322 -

Project Number 247067

Date 03.14.2025

Drawn By MBN

Checked By KJG

D101

Scale 0' 1' 2' 3' 1/4" = 1'-0"

8/30/2025 11:19:52 AM

STRUCTURAL NOTES:

- EXCAVATE EXISTING BUILDING FOOTPRINT FOR FOUNDATION, FOOTINGS, 4" OF CRUSHED GRAVEL, & 4" DIAM. DRAIN. REINFORCE BUILDING PAD WHERE EXISTING GRADE HEIGHT IS INSUFFICIENT.
- PROVIDE 4" REINF. CONT. CONC. SLAB, REBAR, & FOOTINGS. SLAB TO BE RATED AT 3000 PSI
- PROVIDE NEW 4" THICK REINF. CONC. LANDING, AT FRONT OF GARAGE, SLOPED 1/4" OVER 12" TO ALLOW PROPER DRAINAGE
- PROVIDE W.S.P. BRACED WALL PANELS WHERE INDICATED, SPACING IN BETWEEN PANELS NOT TO EXCEED 20'-0" FROM EACH OTHER, 10'-0" FROM A CORNER, MIN. WIDTH FOR WALL BRACED PANEL TO BE 2'-8"
- ROOF TRUSSES AND RAFTERS TO RESIST 25 LBS LIVE LOAD, 50PSF GROUND SNOW LOAD AND 115MPH WIND LOAD.
- ALL FLOORS TO SUPPORT MIN. 40 PSF LIVE LOAD
- ALL HANDRAIL/GUARDRAIL TO SUPPORT MIN. 200 PSF LIVE LOAD.

COLUMN SCHEDULE		
Type	Description	Comments
Col-1	6x6 Timber	
Col-2	8x8 Timber	
Col-3	(3) 2x6 Studs	
Col-4	(3) 2x4 Studs	

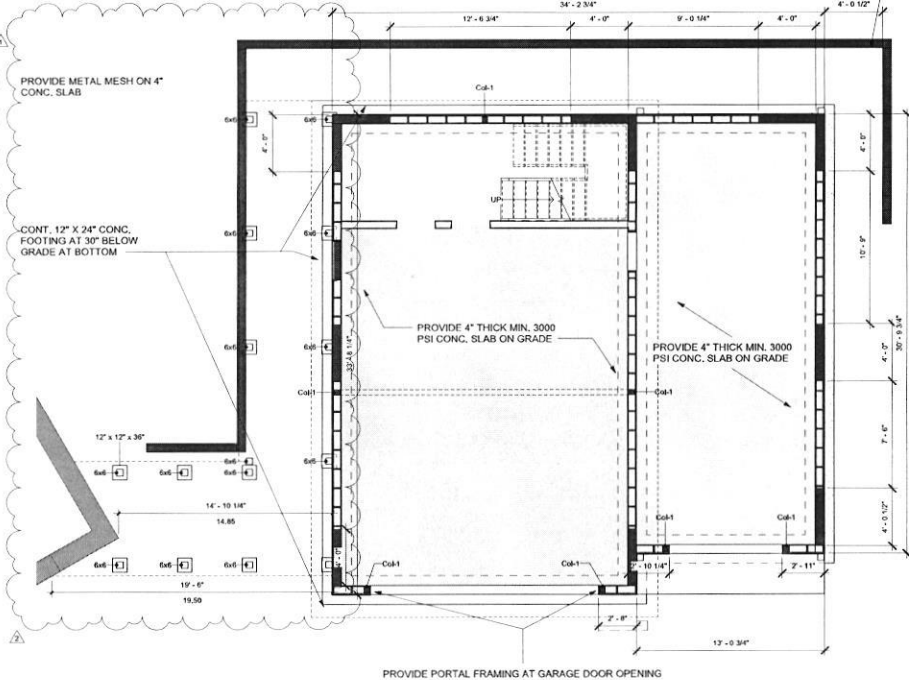
FRAMING SCHEDULE		
Type	Description	Comments
(2) 2x12	(2) 2x12 Headers supporting breezeway canopy	
2x4	Studs spaced 16" O.C. for Interior Partitions	
2x6	Studs spaced 16" O.C. for Exterior walls / Canopy rafters	
2x10	Rafters spaced 24" O.C. at roof	
6x6	P.T. Retaining wall	
8x8	Decorative Truss Pieces	
14 1/2" x 3/8"	Typ. Floor framing U.N.O. (Spaced 16" O.C.)	
BM-1	(3) 1 3/4 x 18 LVL	
BM-2	(3) 1 3/4 x 14 LVL	
HD-1	(2) 1 3/4 x 11 7/8 LVL	
HD-2	(3) 1 3/4 x 11 7/8 LVL	

FOOTING SCHEDULE:			
MARK	SIZE	THICK	NOTES
F1.0	2'-0" x CONT.	12"	(3) #4 Rebars, for exterior walls

FRAMING NOTES:

- NOT USED
- ROOF FRAMING: CATHEDRAL CEILING, 2X10 RAFTERS SPACED 24" O.C.
- RIDGEBEAM: (2) 1 3/4 x 18 LVL SPANNING LENGTH OF ROOF
- PROVIDE (3) 1 3/4 x 11 7/8 LVL (HD-2) ABOVE WINDOWS 06, 07 TO BEAR RIDGEBEAM LOAD.
- GARAGE CEILING: 2x 5/8" GYPSUM BOARD, TYPE X
- ALL EXTERIOR WALLS: 2X6 WALL STUDS AT 16" O.C., COVERED W/ 1/2" THICK OSB WALL SHEATHING OUTSIDE, AND 5/8" GYPSUM BOARD INSIDE

- PROVIDE W.S.P. BRACED WALL PANELS WHERE INDICATED, SPACING IN BETWEEN PANELS NOT TO EXCEED 20'-0".



1 FOUNDATION PLAN
S101 1/4" = 1'-0"



APPROVAL STAMP



ARCHITECT:
Pak Gubory, RA
G-Force Consulting LLC
7081 Dingsburg Drive, Suite 200
301-377-0912

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number: 9257, expiration date: May 26, 2026

No.	Description	Date
1	Revision Cycle 1	2025.11.19
2	Revision Cycle 2	2025.08.05

14729 TRIADDELPHIA MILL
ROAD, DAYTON, MD 21036

NEW DETACHED GARAGE
& STORAGE

GARAGE FOUNDATION PLAN

Preliminary: 20241211 - 20241217 Design: 20241217 - 20250106
Revisions: 20250322 - 20251202
Project Number B25004661
Date 03.14.2025
Drawn By MBN
Checked By KJG

S101

Scale 1" = 4' As indicated

STRUCTURAL NOTES:

- EXCAVATE EXISTING DURING FOOTPRINT FOR FOUNDATION. FOOTINGS, 4" OF CRUSHED GRAVEL, & 4" DIAM. DRAIN. REINFORCE BUILDING PAD WHERE EXISTING GRADE HEIGHT IS INSUFFICIENT.
1. PROVIDE 4" REIN. CONT. CONC. SLAB. REBAR, & FOOTINGS. SLAB TO BE RATED AT 3000 PSI ALLOW PROPER DRAINAGE.
2. PROVIDE NEW 4" THICK REIN. CONC. LANDING, AT FRONT OF GARAGE, SLOPED 1/4" OVER 12" TO ALLOW PROPER DRAINAGE.
3. PROVIDE W.S.P. BRACED WALL PANELS WHERE INDICATED. SPACING IN BETWEEN PANELS NOT TO EXCEED 20'-0" FROM EACH OTHER, 10'-0" FROM A CORNER, MIN. WIDTH FOR WALL BRACED PANEL TO BE 2'-0".
4. ROOF TRUSSES AND RAFTERS TO RESIST 25 LBS LIVE LOAD / 40PSF GROUND SNOW LOAD AND 115MPH WIND LOAD.
5. ALL FLOORS TO SUPPORT MIN. 40 PSF LIVE LOAD
6. ALL HANDRAIL GUARDRAIL TO SUPPORT MIN. 200 PSF LIVE LOAD.

COLUMN SCHEDULE		
Type	Description	Comments
6x6	6x6 Timber	
8x8	8x8 Timber	
Col-1	(3) 2x6 Studs	
Col-2	(3) 2x4 Studs	

FRAMING SCHEDULE		
Type	Description	Comments
2x4	Studs spaced 16" O.C. for Interior Partitions	
2x6	Studs spaced 16" O.C. for Exterior walls & Fire Rated walls	
2x8	Studs spaced 16" O.C. for Exterior walls & Fire Rated walls	
6x6	P.T. Reinforcing wall	
8x8	Decorative Truss Pieces	
14 T.J. 360	Typ. Floor Framing U.N.O. (Spaced 16" O.C.)	
BM-1	(2) 1.34 x 18 LVL	
BM-3	(2) 1.34 x 14 LVL	
HD-1	(2) 1.34 x 18 LVL	
HD-2	(3) 1.34 x 11 7/8 LVL	

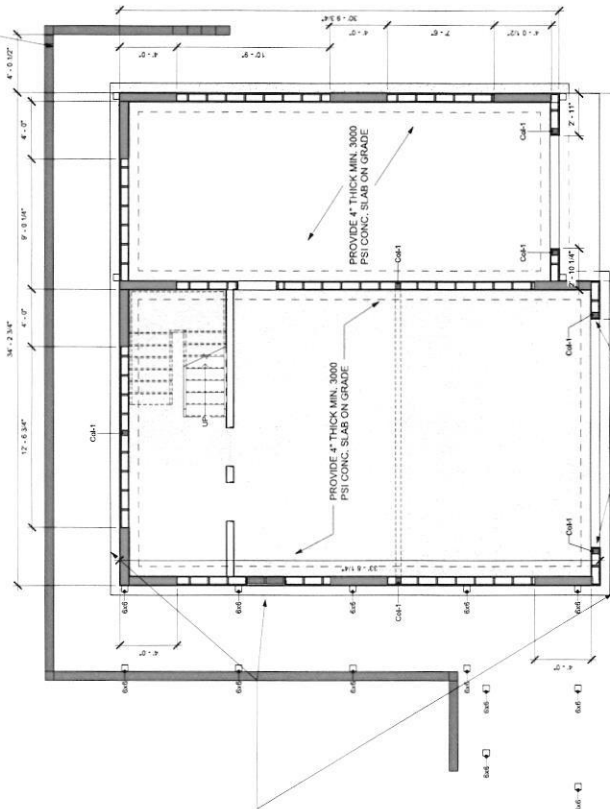
FOOTING SCHEDULE		
MARK	SIZE	THICK
F1.0	2'-0" x CONT.	12"

FRAMING NOTES

1. NOT USED
2. ROOF FRAMING: CATHEDRAL CEILING, 2X10 RAFTERS SPACED 24" O.C.
3. RIDGE BEAM: (2) 3/4 x 18 LVL SPANNING LENGTH OF ROOF
4. PROVIDE (3) 1 3/4 x 11 7/8 LVL (HD-2) ABOVE WINDOWS 06, 07 TO BEAR RIDGE BEAM LOAD.
5. GARAGE CEILING: 2x 5/8" GYPSUM BOARD, TYPE X
6. ALL EXTERIOR WALLS 2X6 WALL STUDS AT 16" O.C. COVERED W/ 1/2" THICK OSB WALL SHEATHING OUTSIDE, AND 5/8" GYPSUM BOARD INSIDE

- PROVIDE W.S.P. BRACED WALL PANELS WHERE INDICATED. SPACING IN BETWEEN PANELS NOT TO EXCEED 20'-0".

PROPOSED P.T. WOOD REINFORCING WALL SEE S501 DETAIL 4



PROVIDE METAL MESH ON 4" CONC. SLAB

CONT. 12" X 24" CONC. FOOTING AT 30" BELOW GRADE AT BOTTOM

PROVIDE 4" THICK MIN. 3000 PSI CONC. SLAB ON GRADE

PROVIDE 4" THICK MIN. 3000 PSI CONC. SLAB ON GRADE

PROVIDE W.S.P. BRACED WALL PANELS WHERE INDICATED. SPACING IN BETWEEN PANELS NOT TO EXCEED 20'-0" OR 10'-0" FROM CORNER

PROVIDE PORTAL FRAMING AROUND GARAGE DOOR OPENINGS

PROVIDE PORTAL FRAMING AT GARAGE DOOR OPENING

1. FOUNDATION PLAN
S101 / 1/4" = 1'-0"



S101

Scale 1" = 4'-0" As indicated

APPROVAL STAMP



ARCHITECT:
K&L Builders, Inc.
7801 Chesapeake Drive, Suite 200
201-517-2512



I certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Engineer of the State of Maryland, License Number: 00017, expiration date: May 24, 2020.

No.	Description	Date

14729 TRIADPHIA MILL
ROAD, DAYTON, MD 21036
ACCESSORY APARTMENT
& GARAGE

GARAGE FOUNDATION PLAN

Prepared: 20241211 - 20241217
Revised: 20250322 -
Project Number: 247067
Date: 03.14.2025
Drawn By: MBN
Checked By: KJG

Addition - Garage Level									
#	Name	Sq Ft	Room	Finishes	Ceiling	Height	Comments	Level	
01	Garage Bay 1	499 SF	F0	C2	P1	8'-0"		1st Floor	
02	Garage Bay 2	368 SF	F0	C2	P1	8'-0"		1st Floor	
03	Mech. Rm. / Util. Rm.	47 SF	F0	C2	P1	8'-0"		1st Floor	
04	Stairs	86 SF	F0	C2	P1	8'-0"		1st Floor	

FINISH LEGEND:
F0 - Groomed Conc. Slab
F1 - Luxury vinyl plank flooring
F2 - Tiled flooring
F3 - P.T. Hardwood
C1 - (1) 1/2" G.W.B. w/ 2 coat paint
C2 - (2) Type X G.W.B. 1-Hr
C3 - Wood Ceiling Finish
P1 - 2 Coat
P2 - 2 Coat Epoxy paint

Addition - Garage Level Door Schedule									
Mark	Width	Height	Thickness	U-Factor	SHGC	Insulation Req.	Safety Glazing Req.	Automatic Closure Req.	Fire Rating
102	2'-6"	6'-8"	0'-2"						
103	2'-8"	6'-8"	0'-2"						
104	2'-8"	6'-8"	0'-2"			Yes		Yes	20 min.
108	2'-10"	6'-8"	0'-2"						
109	5'-0"	6'-8"	0'-2"						
110	3'-0"	6'-8"	0'-2"						
201	2'-8"	6'-8"	0'-2"						
G01	15'-10"	7'-10"	0'-2 1/2"				Yes		
G02	7'-10"	7'-10"	0'-2 1/2"				Yes		

Addition - Garage Level Window Schedule									
Mark	Type	Mark	Sill Height	Dimensions	U-Factor	SHGC	Safety Glazing Req.	Comments	Level
				Rough Width	Rough Height	Window	Window		

TYPICAL DOOR AND WINDOW HEADERS AT EXTERIOR DOORS AND WINDOWS

PROVIDE MINIMUM DEL. 2 X 8 HEADER FRAMING AT SPANS UP TO 4 FEET WITH DEL. JACK STUDS AT JAMBS.
PROVIDE MINIMUM DEL. 2 X 10 HEADER FRAMING AT SPANS UP TO 5 FEET WITH DEL. JACK STUDS AT JAMBS.
PROVIDE MINIMUM DEL. 2 X 12 HEADER FRAMING AT SPANS UP TO 8 FEET WITH DEL. JACK STUDS AT JAMBS.

SEE A501 & A502 FOR INSULATION NOTES, LEAKAGE TEST, AND AIR BARRIER COMPLIANCE

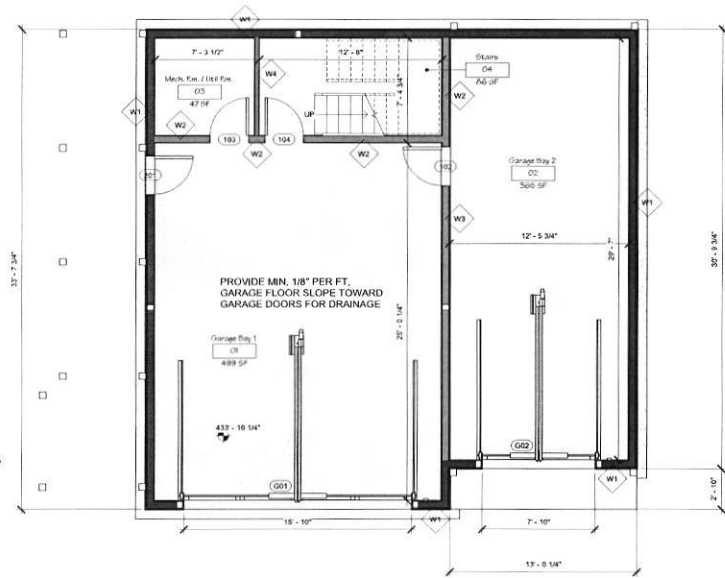
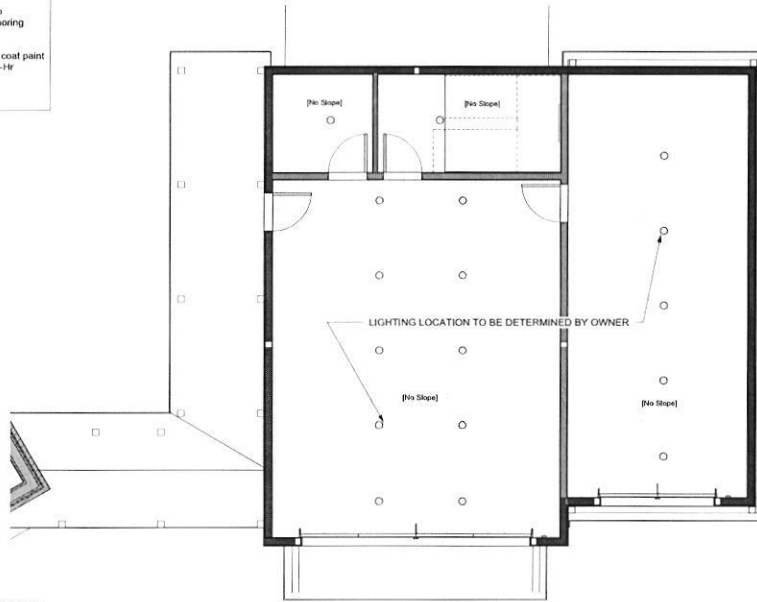
GENERAL NOTES:

- THE GARAGE SHALL BE SEPARATED FROM THE STORAGE LEVEL ABOVE. WALLS AT SEPARATION TO BE INSTALLED WITH THE TYPE "X" 5/8" GYPSUM WALL BOARD AND 2X6 STUDS AT 16" O.C.
- PROPOSED INTERIOR STUD WALLS TO BE 2X4 STUDS, 16" O.C. WITH 1/2" GYPSUM WALL BOARD EACH SIDE, HUNG, TAPED, MUD, SANDED, AND FINISHED WITH MINIMUM 1 LAYER OF PRIME AND TWO LAYERS OF PAINT (COLOR) TYPICAL, UNLESS NOTED OTHERWISE. COLOR TO BE CHOSEN BY OWNER
- PROVIDE PREFINISHED METAL GUTTER & METAL DOWNSPOUT TO DRAIN.
- PROVIDE MIN. 36" HIGH HANDRAIL AT ALL STAIRS W/ PICKETS SPACED MAX. 4" O.C. PROVIDE MIN. 10" TREAD & MAX. 7.75" RISE
- PROVIDE MIN. 34" HIGH RAILING OR SHORT WALL AT ALL APPLICABLE STAIR OPENINGS OR DECK.
- PROVIDE 4'-0" WIDE "W.S.P." BRACED WALL PANELS AT LOCATIONS INDICATED SPACED MAX. 20'-0" APART.
6a. WALL BRACING PANELS AT FRONT OF GARAGE TO BE NO LESS THAN 2'-8" WIDE.
- PROVIDE VINYL SIDING & TRIM ON ZIP SHEATHING W/ TAPED SEAMS, DOWN TO 6" ABOVE FINISH GRADE.
- REFERENCE SCHEDULES FOR FIRE-RATED DOORS, HARDWARE, OR SAFETY GLAZING

2 GARAGE REFLECTED CEILING PLAN
A101 / 1/4" = 1'-0"

- EXISTING TO REMAIN WALLS, N.I.S.
- EXTERIOR WALL 2X6 STUDS @ 16" O.C. W/ R-20 INSUL. WHERE INDICATED WOOD OR VINYL SIDING
- 2X6 STUDS @ 16" O.C. PROVIDE UL U-305 PARTITION W/ 1 LAYER TYPE "X" G.W.B. BOTH SIDES, R-20 INSUL.
- 2X6 STUDS @ 16" O.C. PROVIDE UL U-305 PARTITION W/ 1 LAYER TYPE "X" G.W.B. BOTH SIDES INSUL. NOT REQ.
- INTERIOR PARTITION 2X4 STUDS @ 16" O.C.

1 NEW WORK GARAGE PLAN
A101 / 1/4" = 1'-0"



APPROVAL STAMP



ARCHITECT:
Kirk Gubbery, RA
Gubbery Consulting, LLC
7981 Deerpark Drive, Suite 200
301-377-2912



I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number: 9257, expiration date: May 28, 2024.

No.	Description	Date

14729 TRIADELPHIA MILL
ROAD, DAYTON, MD 21036

ACCESSORY APARTMENT
& GARAGE

NEW WORK GARAGE FLOOR &
REFLECTED CEILING PLAN

Preliminary: 20241211 - 20241217 Design: 20241217 - 20250106

Revisions: 20250122 -

Project Number 247067

Date 03.14.2025

Drawn By MBN

Checked By KJG

A101

Scale 0' 2' 4' 8' As indicated

Addition - 2nd Floor Room Schedule						
#	Name	Sq Ft	Room Finishes Floor Ceiling Wall	Ceiling Height	Comments	Level
10	Bathroom	40 SF	F2 C2 P2	8' - 4 3/4"		2nd Floor Garage
12	Storage Bay 2	269 SF	F1 C2 P2	13' - 4"	Open to cathedral ceiling	2nd Floor Garage
16	Storage Bay 1	269 SF				2nd Floor Garage

FINISH LEGEND:
F0 - Groomed Conc. Slab
F1 - Luxury vinyl plank flooring
F2 - Tiled flooring
F3 - P.T. Hardwood
C1 - (1) 1/2" G.W.B. w/ 2 coat paint
C2 - (2) Type X G.W.B. 1-lr
C3 - Wood Ceiling Finish
P1 - 2 Coat
P2 - 2 Coat Epoxy paint

Addition - 2nd Floor Door Schedule									
Mark	Dimensions			Energy Req	Insulation Req.	Safety Glazing Req.	Automatic Closure Req.	Fire Rating	Comments
	Width	Height	Thickness	U-Factor	SHGC				
202	2' - 8"	6' - 8"	0' - 2"	-	-	-	-		
205	3' - 0"	6' - 8"	0' - 2"	-	-	-	-		

Addition - 2nd Floor Window Schedule									
Ind. Mark	Type Mark	Sill Height	Dimensions		Rough Height	U-Factor	SHGC	Safety Glazing Req.	EERO Req.
			Width	Height					
01	43	3' - 5"	2' - 5 1/2"	5' - 0 1/2"	0.30	0.40			
02	17	3' - 5"	4' - 9 1/2"	5' - 0 1/2"	0.30	0.40		Yes	
03	43	3' - 5"	2' - 5 1/2"	5' - 0 1/2"	0.30	0.40			
04	43	3' - 5"	2' - 5 1/2"	5' - 0 1/2"	0.30	0.40			
05	43	4' - 0"	7' - 5 1/2"	5' - 0 1/2"	0.30	0.40			
06	43	4' - 0"	2' - 5 1/2"	5' - 0 1/2"	0.30	0.40			
07	43	4' - 0"	2' - 5 1/2"	5' - 0 1/2"	0.30	0.40			
08	43	4' - 0"	2' - 5 1/2"	5' - 0 1/2"	0.30	0.40		Yes	
10	44	5' - 2"	1' - 5 1/2"	2' - 6 1/2"	0.30	0.40		Yes	

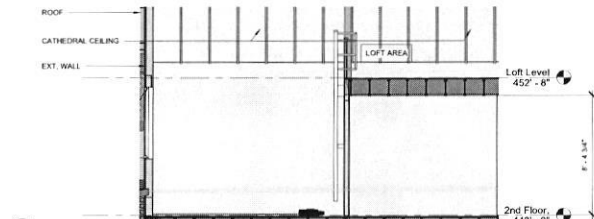
TYPICAL DOOR AND WINDOW HEADERS AT EXTERIOR DOORS AND WINDOWS.

PROVIDE MINIMUM DBL. 2 X 8 HEADER FRAMING AT SPANS UP TO 4 FEET WITH DBL. JACK STUDS AT JAMBS.
PROVIDE MINIMUM DBL. 2 X 12 HEADER FRAMING AT SPANS UP TO 8 FEET WITH DBL. JACK STUDS AT JAMBS.
PROVIDE MINIMUM DBL. 2 X 12 HEADER FRAMING AT SPANS UP TO 8 FEET WITH DBL. JACK STUDS AT JAMBS.

SEE A501 & A502 FOR INSULATION NOTES, LEAKAGE TEST, AND AIR BARRIER COMPLIANCE.

- EXISTING TO REMAIN WALLS, N.I.S.
- EXTERIOR WALL 2X6 STUDS @ 16" O.C.
W/ R-20 INSUL., WHERE INDICATED
WOOD OR VINYL SIDING
- 2X6 STUDS @ 16" O.C.
PROVIDE UL U-305 PARTITION
W/ 1 LAYER TYPE "X" G.W.B.
BOTH SIDES, R-20 INSUL.
- 2X6 STUDS @ 16" O.C.
PROVIDE UL U-305 PARTITION
W/ 1 LAYER TYPE "X" G.W.B.
BOTH SIDES INSUL., NOT REQ.
- INTERIOR PARTITION
2X4 STUDS @ 16" O.C.

Wall Legend
1/2" = 1'-0"

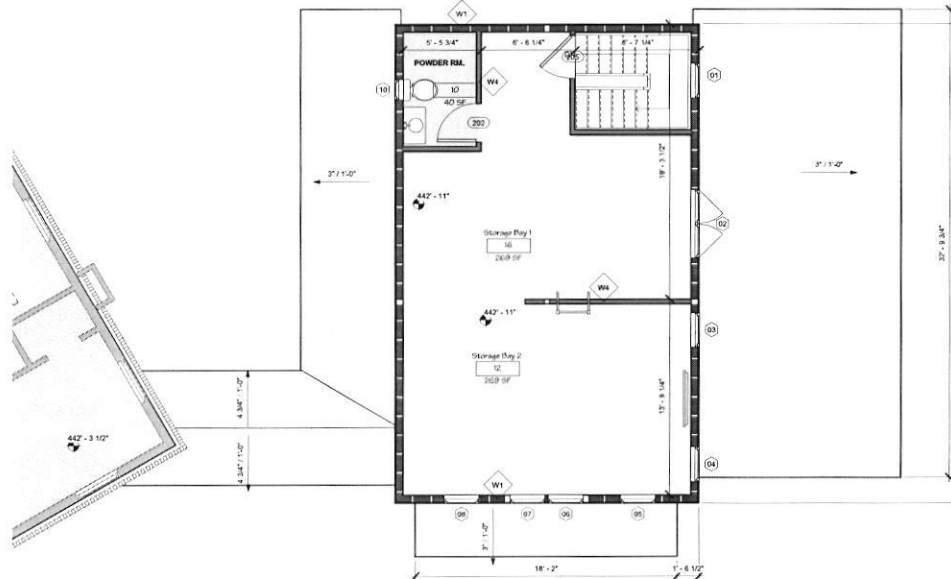
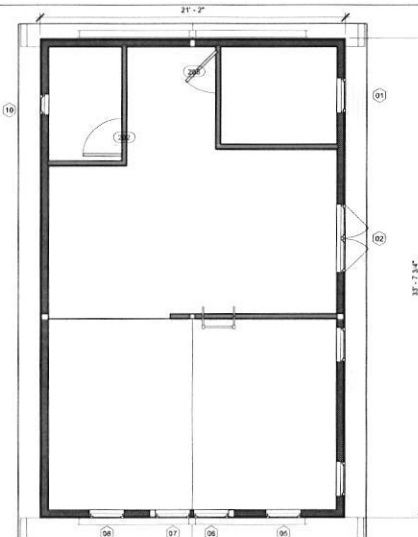


3 KITCHEN, INT. SECTION
A102 1/4" = 1'-0"

GENERAL NOTES:

- THE GARAGE SHALL BE SEPARATED FROM THE STORAGE LEVEL ABOVE. WALLS AT SEPARATION TO BE INSTALLED WITH THE TYPE "X" 5/8" GYPSUM WALL BOARD AND 2X6 STUDS AT 16" O.C.
- PROPOSED INTERIOR STUD WALLS TO BE 2X4 STUDS, 16" O.C. WITH 1/2" GYPSUM WALL BOARD EACH SIDE, HUNG, TAPED, MUD, SANDED, AND FINISHED WITH MINIMUM 1 LAYER OF PRIME AND TWO LAYERS OF PAINT (COLOR) TYPICAL, UNLESS NOTED OTHERWISE, COLOR TO BE CHOSEN BY OWNER
- PROVIDE PREFINISHED METAL GUTTER & METAL DOWNSPOUT TO DRAIN.
- PROVIDE MIN. 36" HIGH HANDRAIL AT ALL STAIRS W/ PICKETS SPACED MAX. 4" O.C. PROVIDE MIN. 10" TREAD & MAX. 7.75" RISE
- PROVIDE MIN. 34" HIGH RAILING OR SHORT WALL AT ALL APPLICABLE STAIR OPENINGS OR DECK.
- PROVIDE 4'-0" WIDE "W.S.P." BRACED WALL PANELS AT LOCATIONS INDICATED SPACED MAX. 20'-0" APART.
E.g. WALL BRACING PANELS AT FRONT OF GARAGE TO BE NO LESS THAN 2' - 6" WIDE.
- PROVIDE VINYL SIDING & TRIM ON ZIP SHEATHING W/ TAPED SEAMS, DOWN TO 6" ABOVE FINISH GRADE.
- REFERENCE SCHEDULES FOR FIRE-RATED DOORS, HARDWARE, OR SAFETY GLAZING

2 2ND FLOOR REFLECTED CEILING PLAN
A102 1/4" = 1'-0"



1 NEW WORK 2ND FLOOR PLAN
A102 1/4" = 1'-0"

APPROVAL STAMP



ARCHITECT:
Kirk Gully, RA
G-Force Consulting, LLC
7981 Chesapeake Drive, Suite 200
301-377-2912



I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 9207, expiration date May 26, 2029.

No.	Description	Date

14729 TRIADPHILIA MILL
ROAD, DAYTON, MD 21036

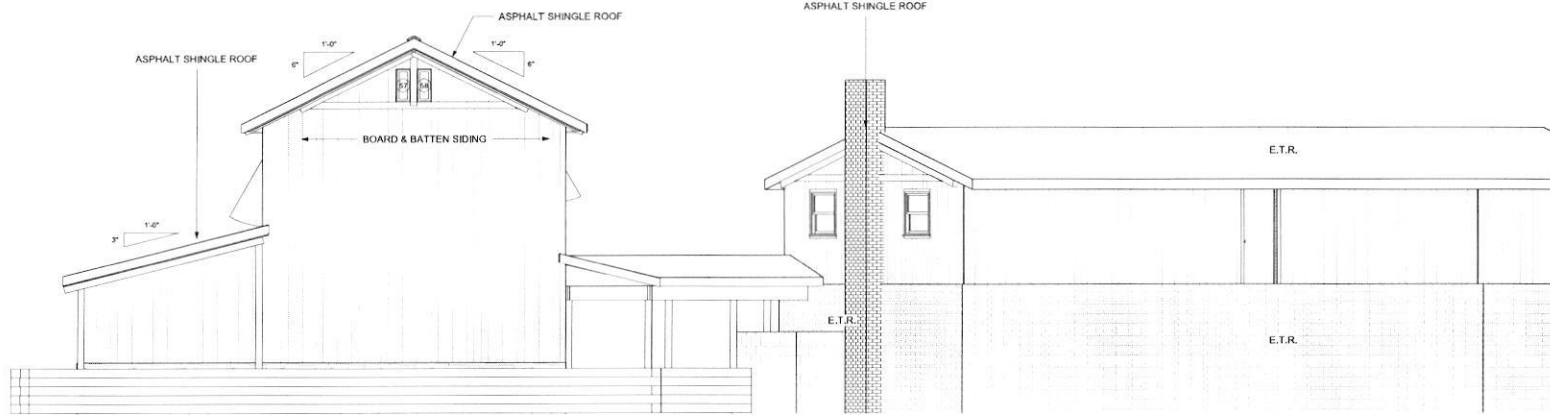
ACCESSORY APARTMENT
& GARAGE

NEW WORK ADDITION 2ND FLOOR &
REFLECTED CEILING PLAN

Preliminary: 26241211 - 26241217 Design: 26241217 - 20250106
Revisions: 20250322 -
Project Number 247067
Date 03.14.2025
Drawn By MBN
Checked By KJG

A102

Scale 0' 2' 4' 8' As indicated



2 REAR VIEW
A201 1/4" = 1'-0"



1 FRONT VIEW
A201 1/4" = 1'-0"

APPROVAL STAMP



ARCHITECT:
K&K GALLERY, PA
K&K Consulting, LLC
7001 Denzang Drive, Suite 200
301-377-2912



I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number: 9257, expiration date: May 26, 2024.

No.	Description	Date

14729 TRIADELPHIA MILL
ROAD, DAYTON, MD 21036

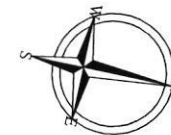
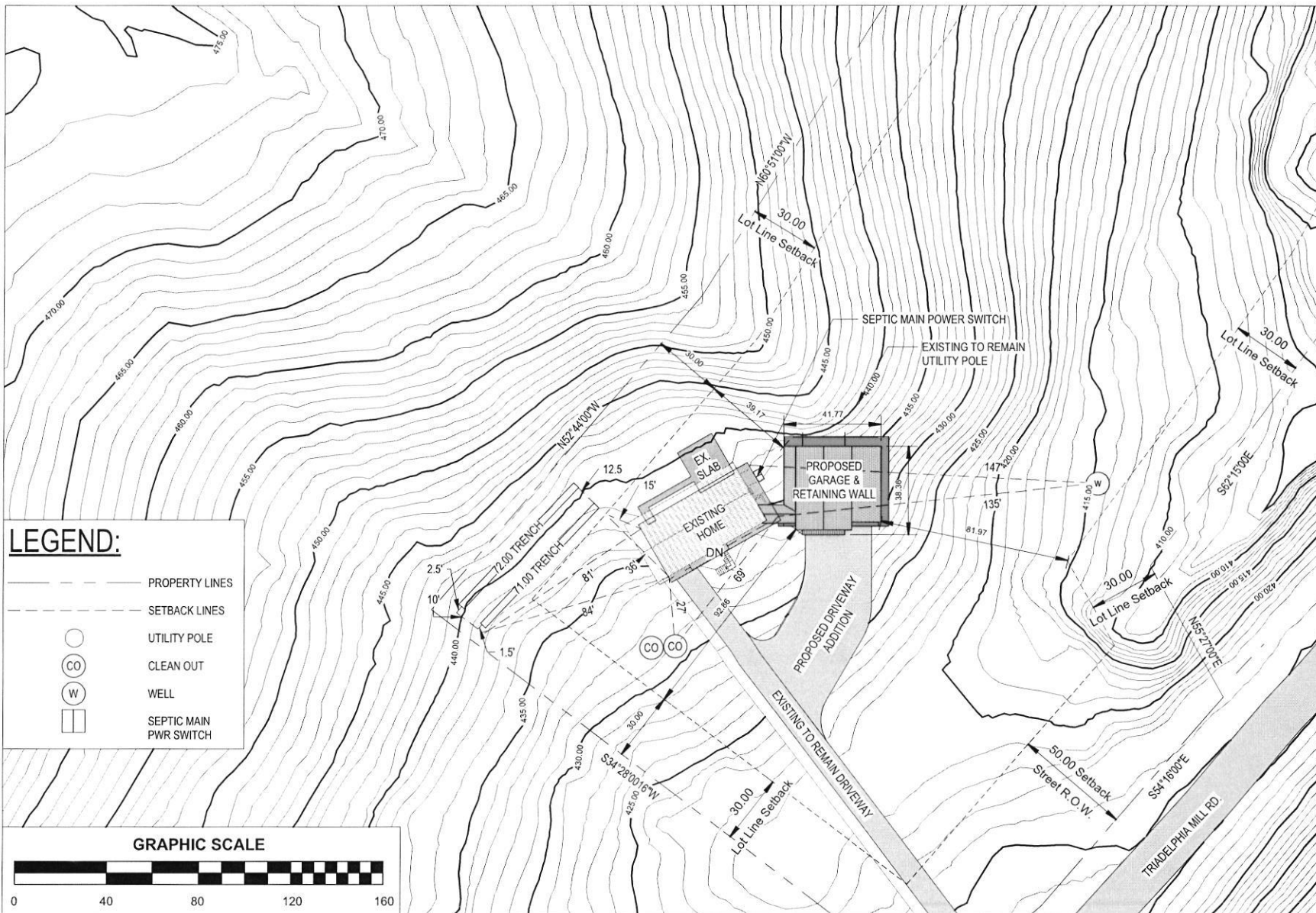
ACCESSORY APARTMENT
& GARAGE

ELEVATIONS, GARAGE

Preliminary: 20241211 - 20241217 Design: 20241217 - 20250106
Revisions: 20250322 -
Project Number 247067
Date 03.14.2025
Drawn By MBN
Checked By KJG

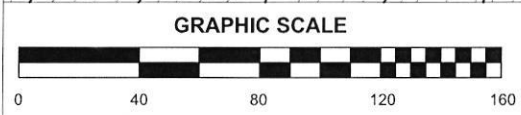
A201

Scale 0" 2" 4" 8" 1/4" = 1'-0"



LEGEND:

- PROPERTY LINES
- - - SETBACK LINES
- UTILITY POLE
- CO CLEAN OUT
- W WELL
- SEPTIC MAIN PWR SWITCH



TOTAL COVERAGE:	189,486 SQ FT (4.35 ACRES)
PERVIOUS SQ FT:	186,009 SQ FT (4.27 ACRES)
EXISTING IMPERVIOUS SQ FT:	3,477
PROPOSED IMPERVIOUS SQ FT:	4,136
(GARAGE & APARTMENT DRIVEWAY ADDITION)	1,901
TOTAL IMPERVIOUS SQ FT:	7,613
(EXISTING + PROPOSED)	
IMPERVIOUS SQ FT %	04.02%

① 14729 TRIADELPHIA MILL RD. SITE MAP
1" = 40'-0"



Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 21045
410.313.2640 - Voice/Relay
410.313.2648 - Fax
1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

APPLICATION FOR WAIVER

To Howard Co Code Subtitle 8: Onsite Sewage Disposal Systems and Subtitle 9: Individual Potable Water Supply Systems

Date Submitted: Dec 30, 2025

Property Address: 14729 Triadelphia Mill Road, Dayton, MD 21036

Subdivision	Lot	Tax Map	Grid	Parcel	Tax Account #
1001	27	16	72	1405344417	

Provide a brief site history including previously submitted and active plans with the Health Department or the County (subdivision plans, perc test applications, Building Permit applications):

Previous perc testing was conducted but the rear of the house was not explored. The location of the garage is near a swale and partially located in the 100' well radius. Additionally, the septic repair that occurred in 2010 is on the opposite side of the property where the garage is proposed. Also, the proposed garage location is near a failed perc test hole and just outside/adjacent to a wet season boundary area.

In the area below, list the specific section of the Howard Co Code to which a waiver is being requested and provide a brief summary of the regulation and an explanation of why the waiver is being requested (Attach a separate sheet if necessary).

Regulation Section

Summary and Explanation

1. Sec. 3.805.

(a)PERC Certification Plan. Except as provided in paragraph (1) of this subsection, before a building permit is issued, a PERC certification plan shall be submitted and approved that complies with the provisions of this subtitle. (1) A building permit may be exempt from a PERC certification plan when the proposed structure: (i) Does not increase the amount of living space; and (iii) The existing on-site sewage disposal system is adequate for the existing property use.

2. _____

Property Owner's Signature

Health Department Use Only

Reviewed by

[Signature]
HCHD Staff

1/12/25
Date

Comments/Conditions:

no living space as part of proposal. Any living space addition in house or garage will require perc testing and perc cert.

Approved by:

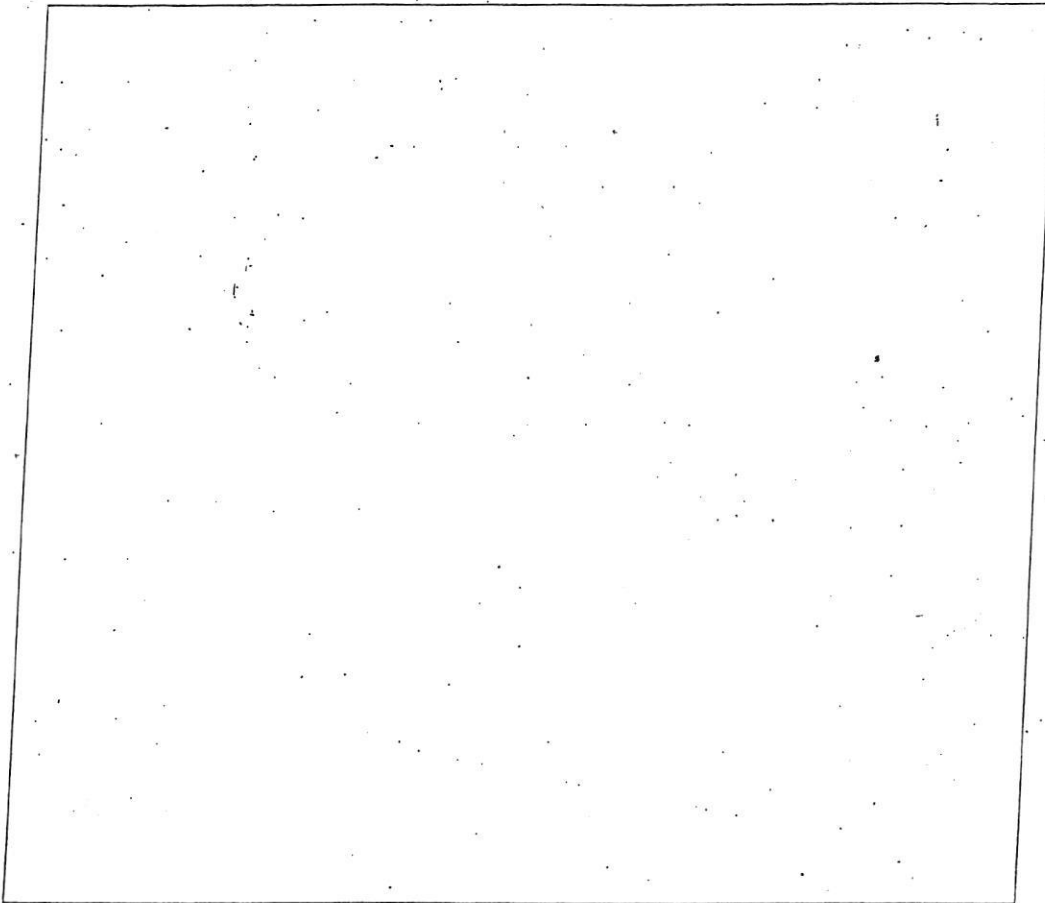
[Signature]
BEH Deputy Director

1/27/26
Date

SITE INSPECTION SHEET

OWNER: William & Mary Daniels PHONE #: _____
ADDRESS: 14729 Philadelphia CONTRACTOR: _____
muone WELL TAG #: _____
SUBDIVISION: _____ LOT: _____ COUNTY #: Hennepin
PROPOSAL: A 2 story garage w/ half bath

LOCATION DIAGRAM



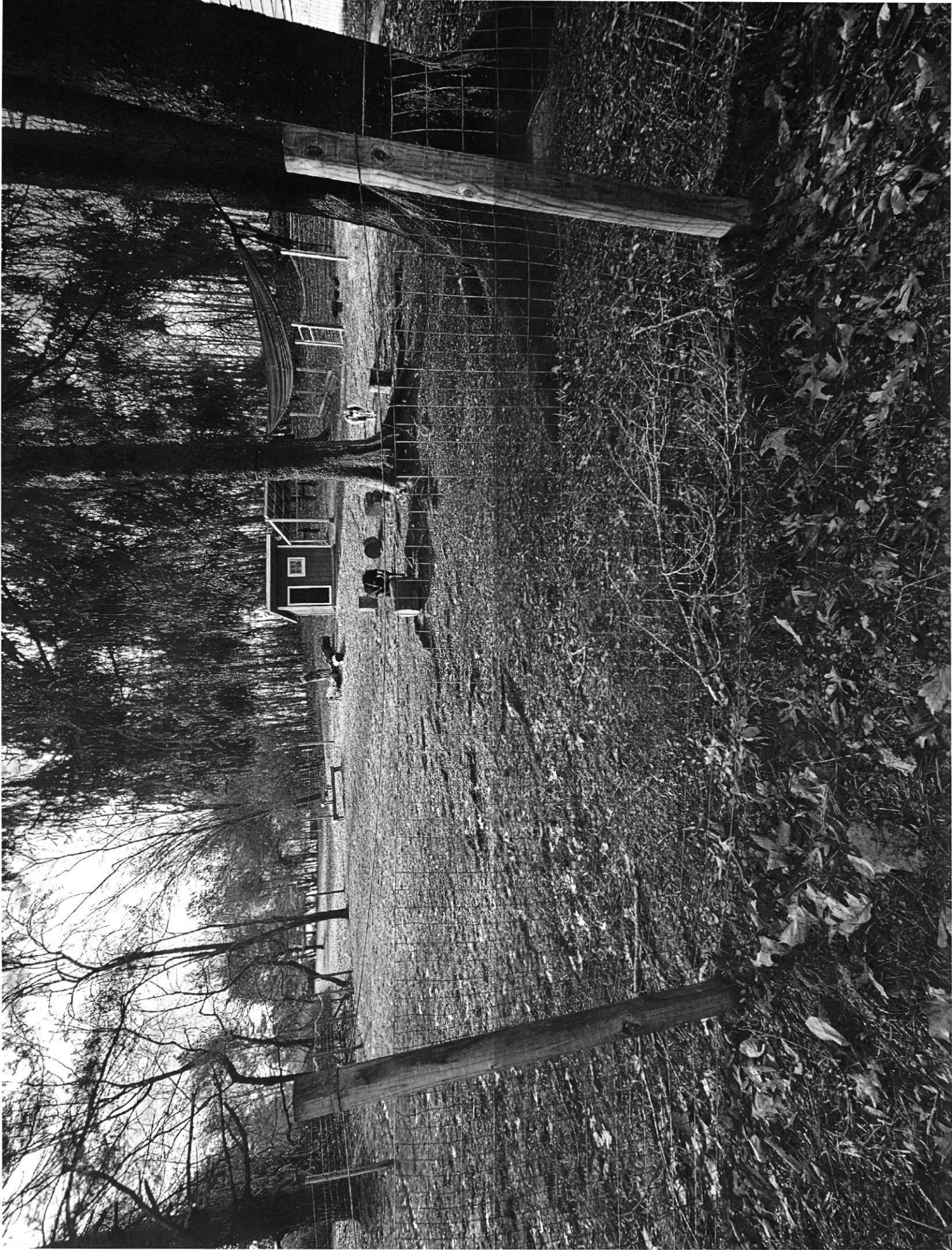
COMMENTS: No signs of hydraulic failure and
well okay. Driveway proposed over
previously tested area

DATE: 12/17/25 INSPECTOR: Melvin Kshirsagar

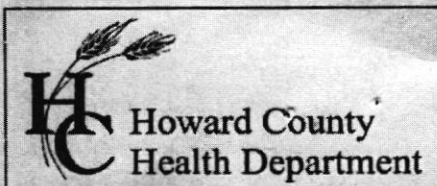












Bureau of Environmental Health
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TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 12/27/18 **ONSITE SEWAGE DISPOSAL SYSTEM** P 564864
APPROVAL DATE: 02/06/2019 **PERMIT:** **REPAIR** A _____
PROPERTY ADDRESS: 14729 Triadelphia Mill Road
SUBDIVISION: _____ LOT: _____ TAX ID: 05-344417
CONTRACTOR: Hatfield's Equipment EMAIL: ken@hatfieldsequipment.com
CONTRACTOR ADDRESS: P.O. Box 519 Annapolis Junction, Maryland 20701 PHONE: 301-490-4289
PROPERTY OWNER: Bill Daniels EMAIL: _____
OWNER ADDRESS: 14729 Triadelphia Mill Road, Dayton, MD 21036 PHONE: _____
SEPTIC TANK SIZE (GALLONS): EXISTING PUMP CHAMBER CAPACITY (GALLONS): 1250 PUMP SIZE: _____
NUMBER OF BEDROOMS: 4 HOUSE SQ. FT. _____ APPLICATION RATE: 1.2
DISTRIBUTION SYSTEM: GRAVITY FED ☒ LOW PRESSURE DOSED ☐

TRENCHES:	LINEAR FEET REQUIRED: <u>142.5</u>	INLET DEPTH: <u>3'</u>
	TRENCH WIDTH: <u>2'</u>	MAXIMUM BOTTOM DEPTH: <u>9.5</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>7.5'</u>
LOCATION:	TO BE STAKED BY SANITARIAN DURING PRE-CONSTRUCTION INSPECTION.	
NOTES:	Standardized system to be laid out between perc test holes ap2 and ap3. Moving further downhill will result in further perc test holes to be dug.	

ISSUED BY: Kevin Wolf ISSUE DATE: 01/22/2019 EXPIRATION DATE: 01/22/2020

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION**
NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
☒ ELECTRICAL PERMIT ISSUED E 19000420
NOTE: THE HCHD DOES NOT WARRANTY ANY SYSTEM AND CANNOT GUARANTEE THE PERFORMANCE OF THIS SYSTEM AS DESIGNED. BY ACCEPTING THIS PERMIT, THE OWNER AND/OR APPLICANT ACKNOWLEDGE THAT THE SPECIFICATIONS DETAILED IN THIS DESIGN ARE ONE POSSIBLE OPTION AND THAT THE HCHD WILL REVIEW OTHER PROPOSALS. YOU HAVE THE OPTION TO SEEK THE ADVICE OF A QUALIFIED DESIGN CONSULTANT OR PROFESSIONAL ENGINEER FOR FURTHER GUIDANCE.
NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

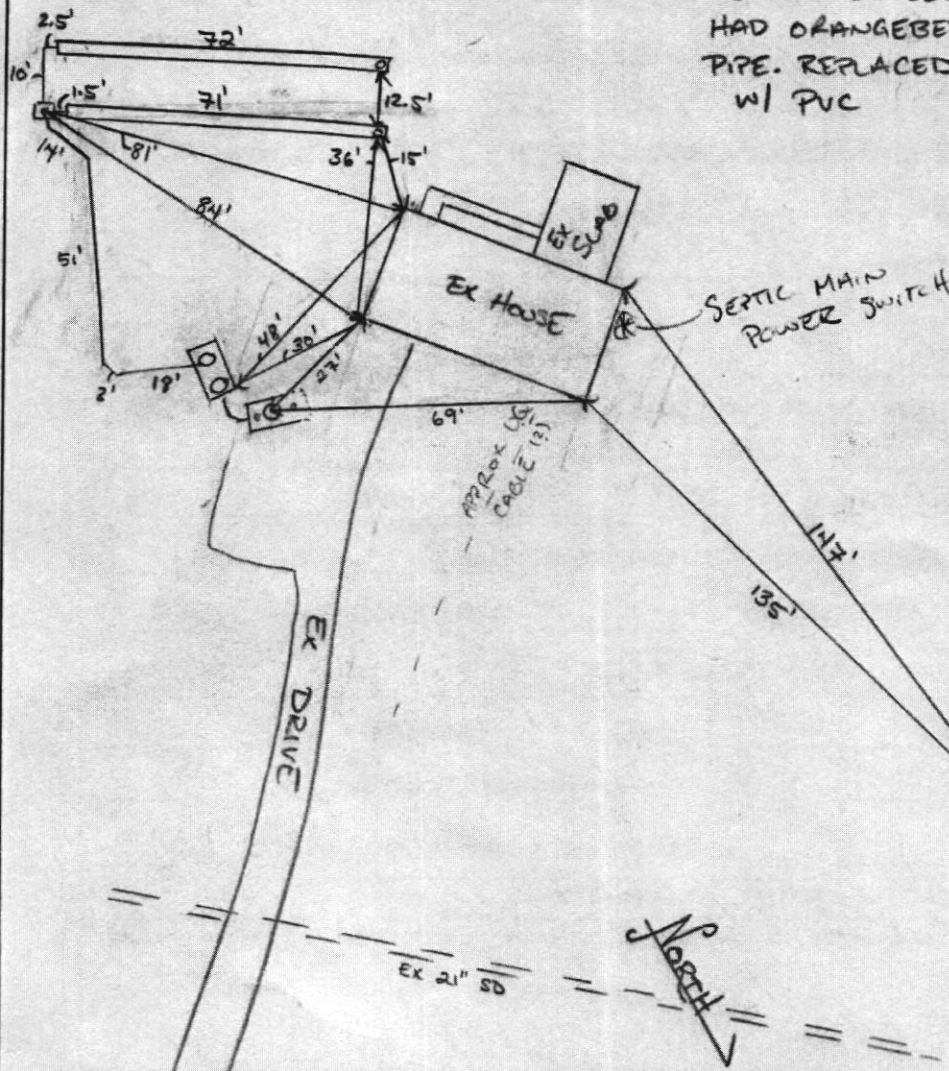
NOT TO SCALE

NOTE

EX ST. OUTLET
HAD ORANGEBERG
PIPE. REPLACED
W/ PVC

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
2'	3'	9.5'
NUMBER OF TRENCHES		2
TOTAL LENGTH		143'
ABSORPTION AREA		286 ft ²
DISTRIBUTION BOX LEVEL		N/A
DISTRIBUTION BOX BAFFLE		YES
DISTRIBUTION BOX PORT		YES



Existing

SEPTIC TANK DATA

SEPTIC TANK I LEVEL N/A
 MANUFACTURER —
 CAPACITY — GAL
 SEAM LOC —
 TANK LID DEPTH —
 BAFFLES OUTLET (NEW PVC)
 BAFFLE FILTER —
 MANHOLE LOC center
 6" PORT LOC —
 WATERTIGHT TEST —
 SLOTTED —
 DATE ON LID EXISTING

W/ 40-17 0224

PUMP/SEPTIC TANK LEVEL

DW1
 MANUFACTURER BABYLON
 CAPACITY 1250 GAL
 SEAM LOC TOP
 TANK LID DEPTH <3'
 BAFFLES N/A
 BAFFLE FILTER N/A
 MANHOLE LOC FRONT/BACK
 6" PORT LOC N/A
 WATERTIGHT TEST —
 SLOTTED —
 DATE ON LID 11/6/2018

ROAD NAME
TRIADDELPHIA MILL ROAD

PRE-CONSTRUCTION:

1/22/2019 - PROP LINE ESTIMATED FROM REMOVED FENCE POST HOLES. OWNER TO STAKE BEFORE CONST OF TRENCHES. START AT TRENCH 34 PROP LINE + DG BACK THROUGH HIGH SPOT. DUG 13' FOR 2ND TRENCH. OK TO HAVE TRENCH ~5' FROM PROP LINE AND CLOSER THAN 20' TO HOUSE. SET PUMP TANK IN SERIES TO EX SEPTIC TANK @

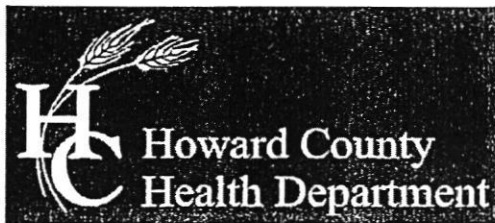
INSTALLATION:

1/23/2019 PUMP TANK SET AND TIED INTO EX SEPTIC TANK. FORCE MAIN INSTALLED UP TO D BOX. D BOX SET HIGH AT LOWER TRENCH AND HAS FALL TO INV. OF UPPER TRENCH. TRENCHES COMPLETE. OK TO BACKFILL. REINSP. PUMP AND ALARM. @ 2/6/2019 SEPTIC PUMP AND ALARM ON SEP. BREAKERS. PUMP WORKS. ALARM WORKS. @

FINAL INSPECTOR

DATE OF APPROVAL

2/23/2019
02/06/2019



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

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Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME _____

PROPERTY ADDRESS 14724 Triadelphia Rd Dayton MD 21036
STREET TOWN ZIP

TAX ACCOUNT # _____ TAX MAP _____ GRID _____ PARCEL _____ LOT NO. _____ PROPOSED LOT SIZE (ACRES) _____

ZONING CATEGORY _____ TIER _____

PROPERTY OWNER(S) Chamberlain Construction

DAYTIME PHONE _____ CELL _____ EMAIL _____

MAILING ADDRESS 12235 Heathcliff County Ellicott City MD 21040
STREET CITY, STATE ZIP

APPLICANT Hotfields Equipment RELATIONSHIP TO OWNER: _____

DAYTIME PHONE 301 490 4289 CELL 410 984 0847 EMAIL khofield@hotfieldsequipment.com

MAILING ADDRESS P O Box 519 Annapolis Junction MD 20701
STREET CITY, STATE ZIP

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- ☐ SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE: _____
SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) ☐ MAJOR ☐ MINOR
- ☐ CONSTRUCT NEW OSDS ON UNDEVELOPED LOT
- ☐ REPAIR OR REPLACE FAILING OSDS
- ☒ UPGRADE EXISTING OSDS

BUILDING:

- ☒ RESIDENTIAL WITH _____ EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE
- ☐ COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- ☒ YES
- ☐ NO

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- THIS APPLICATION IS VALID FOR TWO(2) YEARS FROM DATE OF FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH OFFICER SIGNATURE OF A PERC CERTIFICATION PLAN PRIOR TO EXPIRATION OF THIS PERMIT.
- THE APPLICATION FEE IS NON-REFUNDABLE
- THIS APPLICATION MUST BE ACCOMPANIED BY ALL APPLICABLE FEES AND A SUITABLE SITE PLAN IN ORDER TO BE PROCESSED
- THIS IS A PUBLIC DOCUMENT

I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations.

By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/service.

SIGNATURE OF APPLICANT

DATE



HOWARD COUNTY HEALTH DEPARTMENT

60584

DATE 3/28/17

Received From

H. Fields Equipment

PHONE #

301-410-4289

☐ CASH
☒ CHECK

NO.

3786

For

Rec App for divorce - 14721 Todd/Janet

\$

3411.00

Received By

J. L. Smith

Dollars



HOWARD COUNTY HEALTH DEPARTMENT

60571

DATE 3/7/17

AS

Received From

PHONE #

301-490-4259

Hallie's Equip
and Dedication Services

For

Worship ~~Fee~~ 14729

Philadelphia

☐

CASH

☐

CHECK

NO.

3773

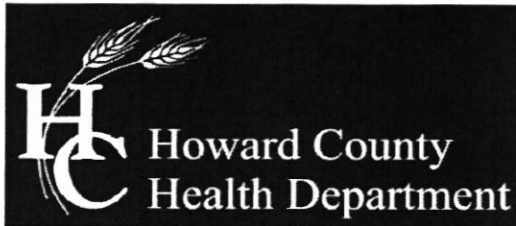
Care Abundant Life - Dollars

\$

165.00

Received By

A. Kink



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

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www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

May 5
Date: ~~April 24~~, 2017

To: Douglas & Stephanie Chamberlain
12235 Health Cliff Ct.
Ellicott City, MD 21042

Re: Percolation Test Report
14729 Triadelphia Mill Rd.
Dayton, MD 21036

Wet season percolation tests were conducted at 14729 Triadelphia Mill (Tax Map 22, Parcel 151) on April 21st 2017. Tests and profile descriptions were documented for nine locations (P1, P2, P4, P5, AP1, AP2, AP3, AP4, AP5 and AP6). Six out of the 10 holes passed (P1, AP2, AP3, AP4, AP5 and AP6). Please note that some of these holes were dug in areas different from the test plan and some were added. All holes must be field located and accurately represented on the perc certification plan.

All percolation tests conducted were standard tests, measuring rate of fall for a pre-wet period followed by measurement and recordation of the time required for the water level to drop 1 inch. Areas that may be included in the septic reserve area are represented by test locations having satisfactory soil condition. The area must be large enough to fit three gravity systems (1 initial, 2 replacements) or fit 2 BAT systems (1 initial and 1 replacement). All requirements must be met including setbacks and design requirements on the spec sheet. Use of the area is contingent on relocation of the well to an approved location as shown on the perc cert.

The next step in the process is to have an engineer/consultant submit a percolation certification plan to confirm the design of the sewage disposal area.

Should you have any questions regarding this evaluation, please contact me. I may be reached at (410) 313-6357 or by email rfreemon@howardcountymd.gov

Respectfully,

Robert Freemon
Bureau of Environmental Health
Well & Septic Program

Attachment: Percolation Field Notes

AP P-1

1' Dk Brn Loam

2' Red Brn SIL, IFSEK

2' Layer of Slate Rock, >50% Platy, Brn SL

4' Pale Br, SIL, Thick Platy, 30% Rock

7' SL 30% Rock

13' P-2

6" Dk Br, CL, 35%K

2' CL

2' Red-Yellow Brn, CL, Many Mic

4' Dk Brn SL, Platy

6' Grey clay, Redox

7' Water Seeps

P-5

8" Dk Brn Loam, 25%K

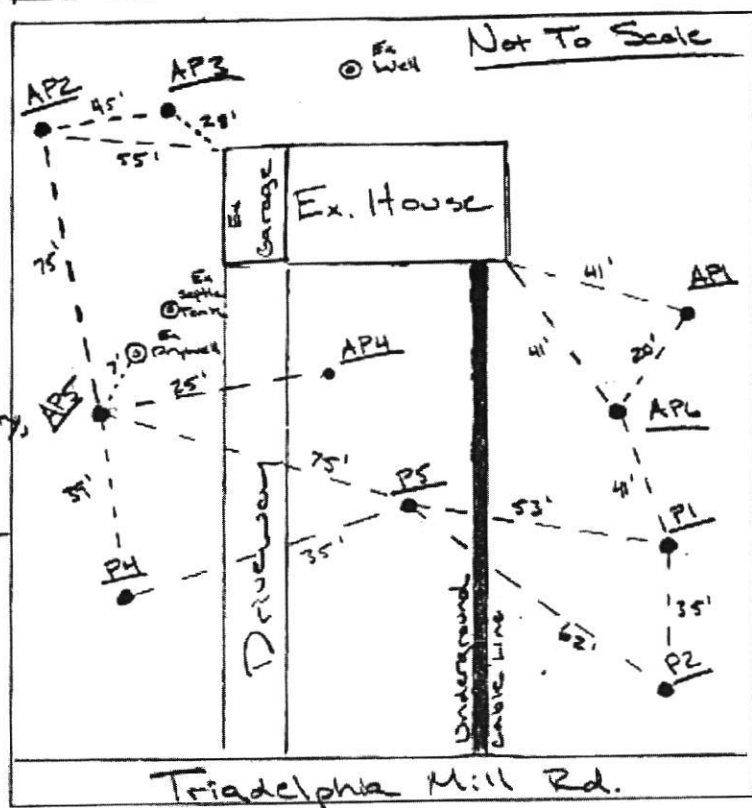
4.8' Red & Pale Brn SL, Thin Platy, Many Mic

6' Red Brn SL, Many Mic

6' Yel Brn SL

8' Water Seeps

10' Groundwater



API

2' SL

6' 30% Rock SL

>50% Rock Boulders

AP2

1' Dk Brn Loam

3' Yellow Pale Brn CL

5' Pale Brn SL, Thin Platy

8' Yel Brn SL, Thin Platy

14.5' Red-Red Brn LS

AP3

8" Dk Brn Loam

3' Grey Brn, SL, Thin Platy, Mic

4' Red-Red Brn, SL, Thick Platy

10' SL, Thin Platy, Exposed layer

13.5' Tan LS

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
4/21/2017	P1	6' / 13'	9:33	9:36	9:43	7min	P
	P2	7'	Water seeps	-	VISUAL	-	F
	P5	8'	Water seeps	-	VISUAL	-	F
	AP2	6' / 14.5'	11:27	11:51	-	SLOW	F
	AP2	8' / RS	12:12	12:14	12:17	5min	P
	AP3	5' / 13.5'	12:23	12:25	12:27	2min	P
	API	6'	>50% Rock Boulders	-	VISUAL	-	F
V							

REMARKS _____

SANITARIAN RF BACKHOE Danie OTHERS Pedro

TEST HOLES USED IN SOA _____ AVG. PERC TIME _____ SQ. FT/BR _____

TRENCH WIDTH _____ INLET DEPTH _____ MAX BOT DEPTH _____ EFFECTIVE SW _____

P-4

AP4

14.5 APS

3'	Red Brn, SCL, 15% Rocks, SBK
7'	Yel-Red, SCL, 1 SBK, 10% Rocks
12'	Yel-Red, SL, 5-10% Rocks
13'	Redox, Dry, White BLK

[illegible]

REMARKS _____
 SANITARIAN _____ BACKHOE _____ OTHERS _____
 TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX BOT DEPTH _____ EFFECTIVE S/W _____

AP6

Boundaries

2'	Red Brn. SCL, 750% Rocks
3'	Red Brn SCL
6'	30-40% Rocks Yel Brn SH
10'	30-40% Rocks Yel LS 750% Rocks

AP

P-1

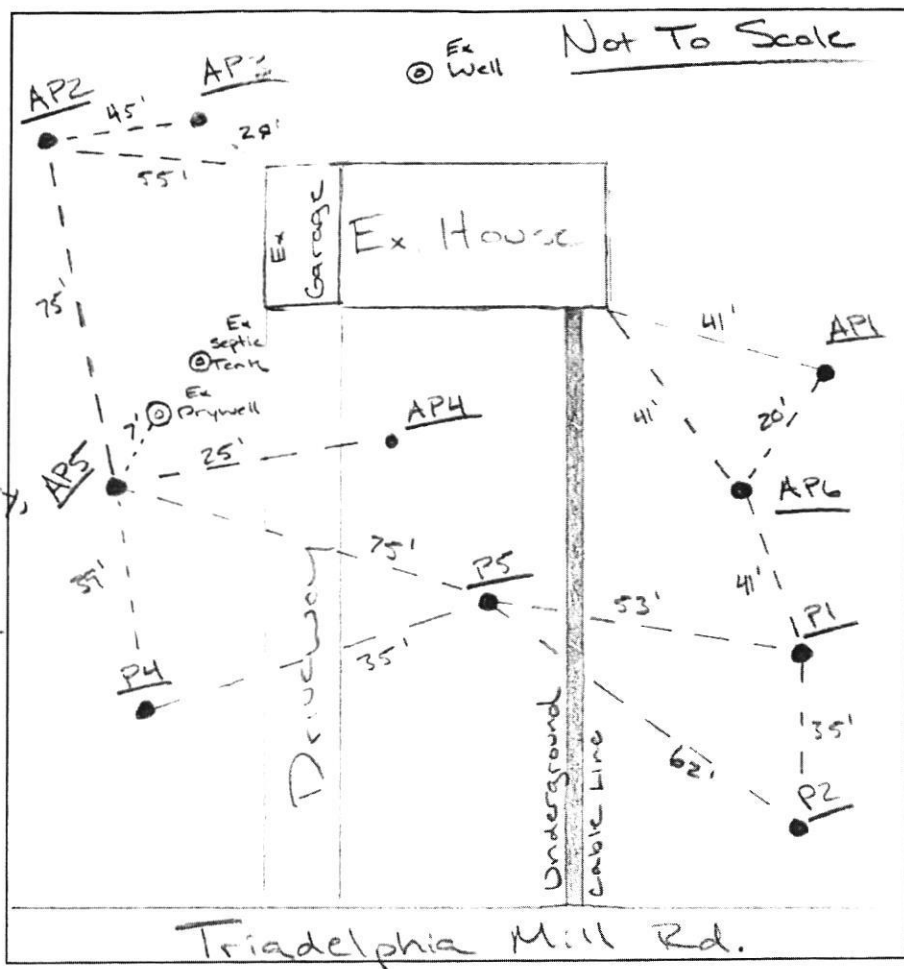
1' Dk Brn Loam
 2' Red Brn SIL, 1FSBK
 Layer of Slate Rock
 >50%,
 Platy,
 Brn SL
 4' Pale Br, SIL, Thick Platy,
 30% Rock
 7' SL
 30% Rock
 13'

P-2

6" Dk Br, CL, 3SBK
 2' 6" CL
 2' Red-Yellow Brn CL,
 Many Mica
 4' Dk Brn SIL,
 Platy
 6' Grey Clay,
 Redox
 7' Water Seeps

P-5

8" Dk Brn Loam,
 2SBK
 4.8' Red & Pale Brn
 SIL, Thin Platy,
 Many Mica
 6' Red Brn
 SIL,
 Many Mica
 8' Yel Brn
 SL
 10' Water Seeps
 Ground Water



API
 2' SIL
 6' 30% Rock
 SL
 >50% Rock
 Boulders

AP2

1' Dk Brn Loam
 Yellow Pale Brn CL
 3' Pale Brn SIL,
 Thin Platy
 5' Yel Brn
 SIL,
 Thin Platy
 8' Red-Red Brn
 LS
 14.5'

AP3

2" Dk Brn Loam
 Grey Brn,
 SIL,
 Thin Platy,
 Mica
 3' Red-Red Brn,
 SIL,
 Thick Platy
 4' SIL,
 Thin Platy,
 Saprolite
 Layer
 10' Tan LS
 13.5'

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
4/21/	P1	6' / 13'	9:33	9:36	9:43	7min	P
2017	P2	7'	Water Seeps	-	VISUAL	-	F
	P5	8'	Water Seeps	-	VISUAL	-	F
	AP2	6' / 14.5'	11:27	11:51	-	SLOW	F
	AP2	8' / RS	12:12	12:14	12:17	5min	P
	AP3	5' / 13.5'	12:23	12:25	12:27	2min	P
	API	6'	>50% Rock	Boulders	-	VISUAL	F
V							

REMARKS

SANITARIAN RF BACKHOE Lennie OTHERS Pedro

TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____

TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

AP

P-4

6"	Dark Brn, Loam
3'	Red Brn, SL, Platy, Mica
3'	Yel Brn, SCL, Platy, Mica
8'	Gray Pale Brn, LS
10'	Water seeps
12'	Ground water

AP4

4"	Dark Brn Loam
5'	Yel-Red Brn, SCL, 25% Rock, Some Boulders, Many Mica IVFSBK
14.5'	Red-Yel Brn, SL Thin Platy Weak

AP5

3'	Red Brn, SCL, 15% Rocks, SBK
7'	Yel-Red, SCL, 1 SBK, 10% Rocks
12'	Yel-Red, SL, 5-10% Rocks
13'	Redox, Dry, White BLK

AP6

2'	Boulders
3'	Red Brn, SCL, 750% Rocks
6'	Red Brn SCL 30-40% Rocks
10'	Yel Brn SL 30-40% Rocks
	Yel LS 50% Rocks

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
4/21	PH	5' / 12.5'	12:35	—	SLOW	—	F
	AP4	6.5' / 14.5'	1:13	1:25	1:48	23min	P
	AP5	7' / 13'	1:31	—	SLOW	—	F
	AP5	8' / 25'	1:58	2:06	2:23	17min	P
	AP6	6' / 10'	11:56	12:07	12:27	20min	P

REMARKS

SANITARIAN

BACKHOE

OTHERS

TEST HOLES USED IN SDA

AVG. PERC TIME

SQ. FT/BR

TRENCH WIDTH

INLET DEPTH

MAX. BOT DEPTH

EFFECTIVE SW

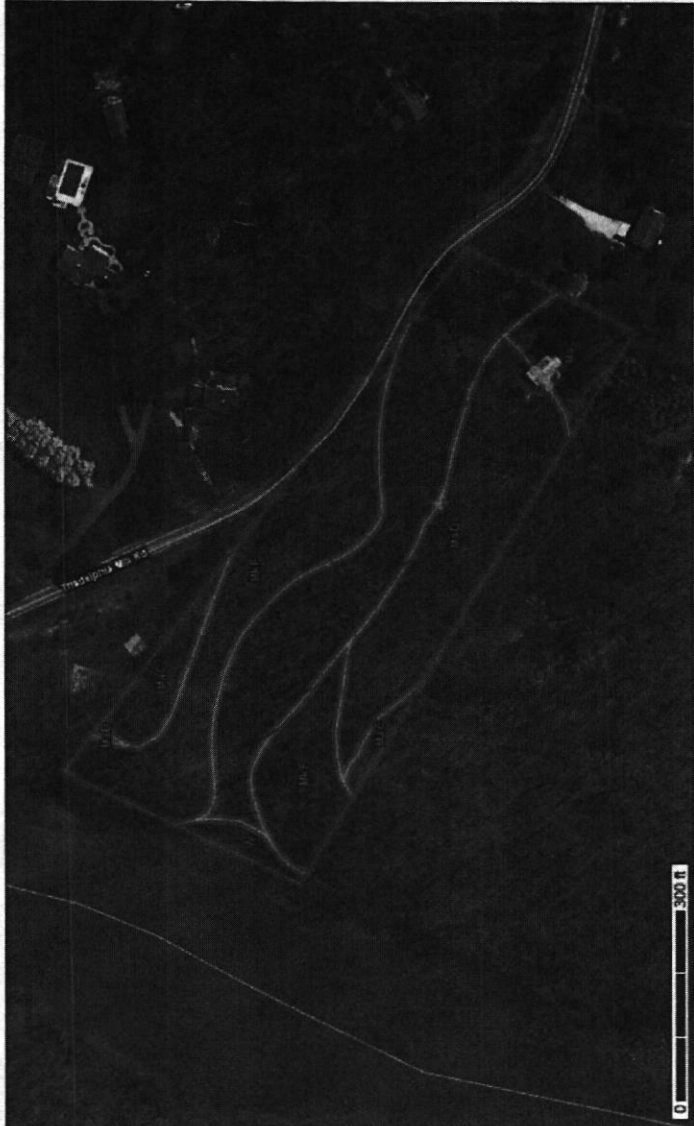
Area of Interest (AOI) | Soil Map | Soil Data Explorer | Download Soils Data | Shopping Cart (Free) | Printable Version | Add to Shopping Cart

Search

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
GmC	Glenville silt loam, 8 to 15 percent slopes	2.6	31.1%
MaC	Manor loam, 8 to 15 percent slopes	1.0	11.9%
MaD	Manor loam, 15 to 25 percent slopes	2.0	23.1%
MkF	Manor-Brinklow complex, 25 to 65 percent slopes, very rocky	2.7	31.9%
W	Water	0.2	1.9%
Totals for Area of Interest		8.5	100.0%

Soil Map



0 300 ft

Warning: Soil Map may not be valid at this scale.

EXISTING CONDITIONS PLAN

#05-344417
 MAP 27, GRID 16, PARCEL 72
 14729 TRADELPHIA MILL ROAD
 DAYTON, MD 21043
 DEED BOOK 15740, PAGE 359
 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

GENERAL NOTES

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONCEIVABLE EASEMENTS, OR RIGHTS OR MAY NOT SHOWN HEREON.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TCSA 1103
 ROBOTTIC DATE OF LAST FIELD VISIT: 10/30/2014

BEARINGS SHOWN ON THIS SURVEY ARE FROM DEED BOOK 384, PAGE 214

NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.A.M. COMMUNITY PANEL NO. 24027001 DATED 11/05/2013.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY DATA. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

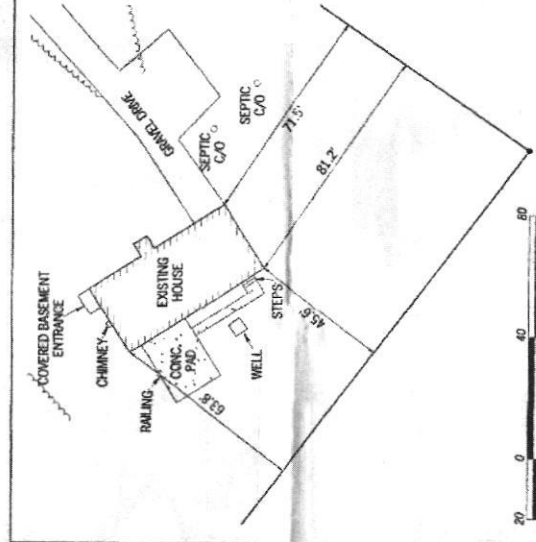
THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED FROM HOWARD COUNTY, 2 FOOT INTERVAL ALTIMETER.

ALL WELLS AND SEPTI SYSTEMS LOCATED WITHIN LOT OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTI SYSTEMS HAVE BEEN SHOWN.

14729 TRADELPHIA MILL ROAD
 DAYTON, MD 21036

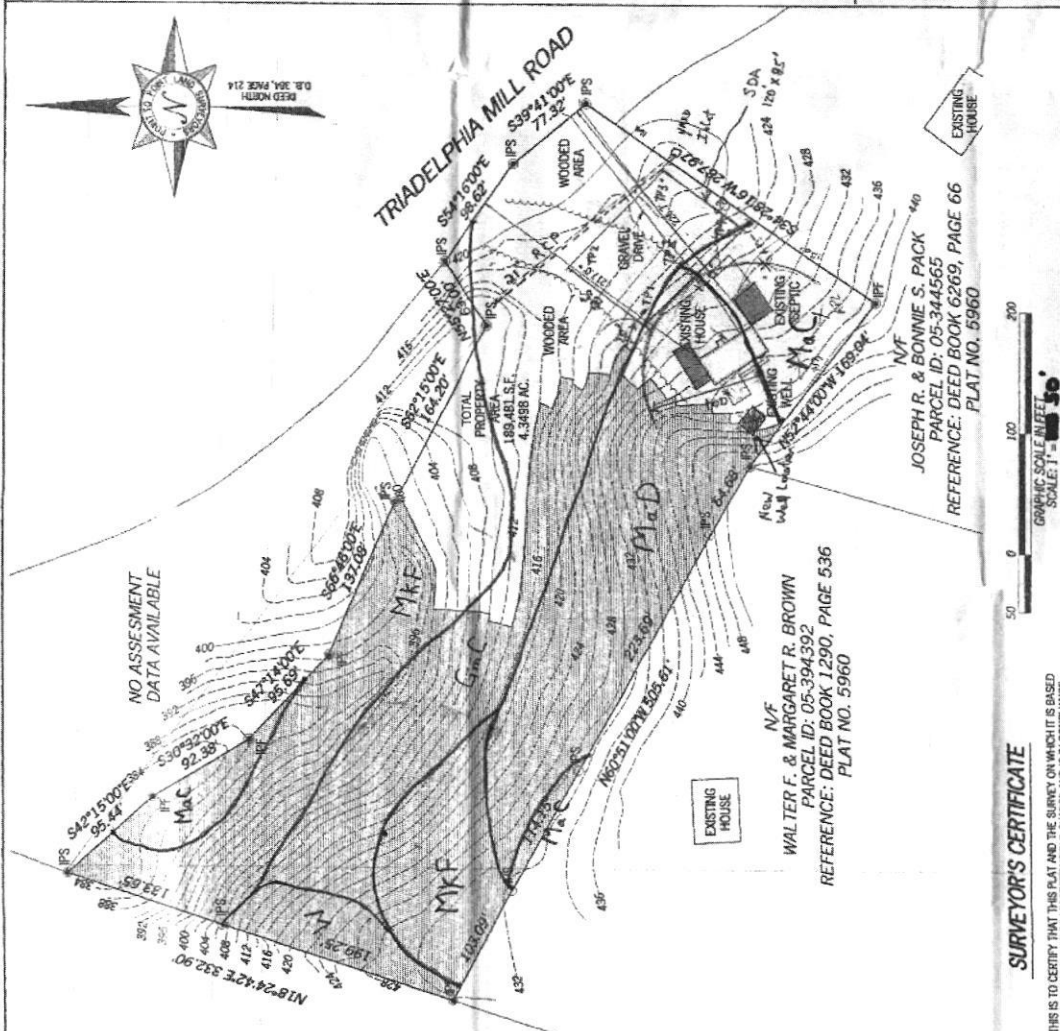
DRAWN BY: A. MACKAY
 CHECKED BY: D. MILLER
 APPROVED BY: D. MILLER
 DATE: NOV. 5, 2014
 P&P JOB # MD14.206

1
 OF 1



GRAPHIC SCALE IN FEET
 SCALE: 1" = 20'

- LEGEND
- POB POINT OF BEGINNING
 - IPS IRON PIN SET 0.2" REBAR
 - RF REBAR
 - RD REBAR
 - CU OVERHEAD UTILITIES
 - EP POWER POLE
 - RCP REINFORCED CONCRETE PIPE
 - BC BACK OF CURB
 - CLF CHAIN LINK FENCE
 - EP EDGE OF PAVING
 - END FOUND
 - SSMH SEWER MANHOLE
 - FES FENCE END SECTION
 - OCS OUTLET CONTROL STRUCTURE
 - HW HEADWALL
 - IN IN
 - SWB SINGLE WING CATCH BASIN
 - HOPE HIGH DENSITY POLYETHYLENE
 - CMF CORRUGATED METAL PIPE
 - 25% STEEP SLOPES



SUBJECT PROPERTY
 OWNER: DOUGLAS & STEPHANIE CHAMBERLAIN
 SITE ADDRESS: 14729 TRADELPHIA MILL ROAD DAYTON, MD 21043
 TAX ID: 05-344417
 REFERENCE: DEED BOOK 15740, PAGE 359

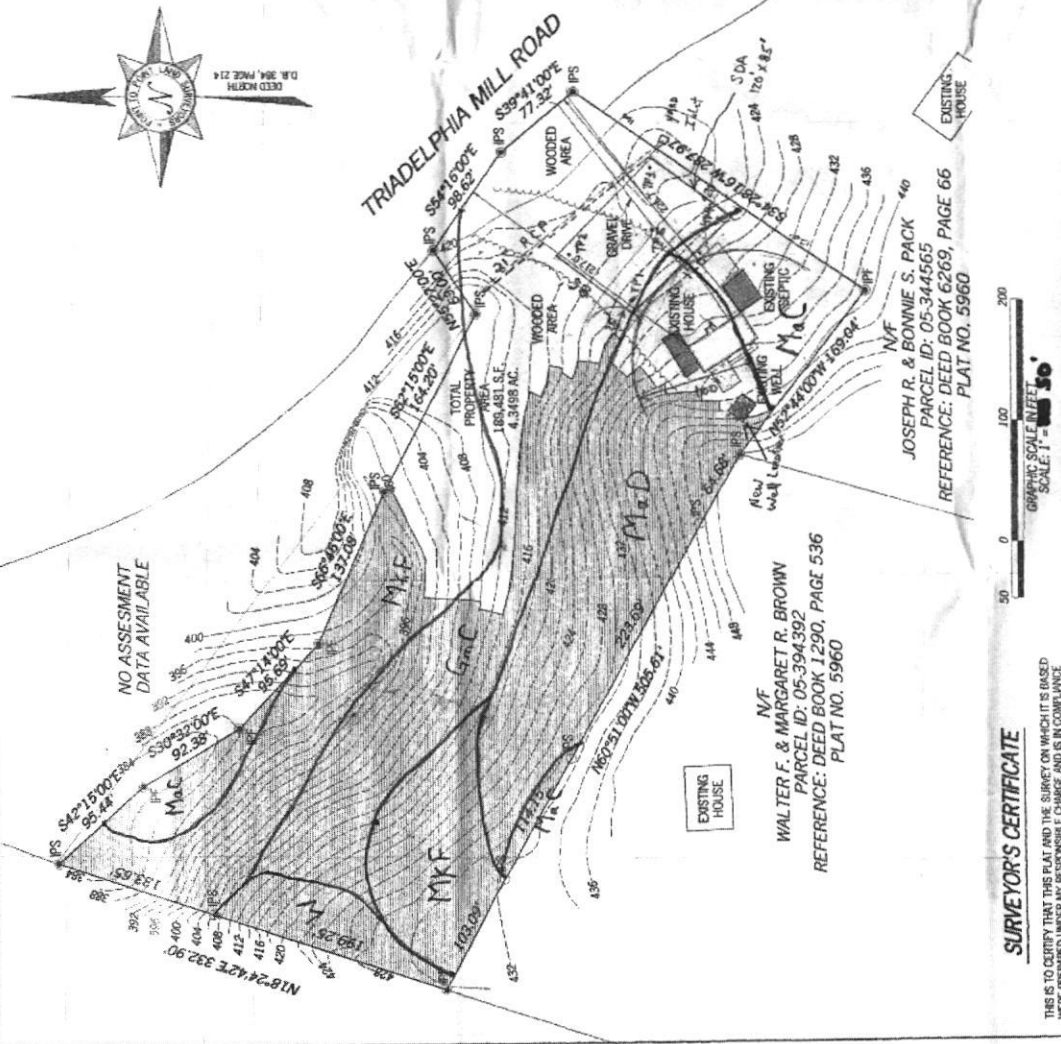
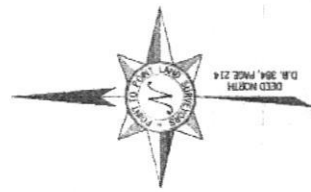


SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED UNDER MY RESPONSIBLE CHARGE, AND IS IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN COMAR, TITLE 9, MARYLAND DEPARTMENT OF LICENSING AND REGULATION FOR PROFESSIONAL LAND SURVEYORS, IN EFFECT AS OF 1995.

THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY SHOW ADDITIONAL EASEMENTS, RIGHTS OR MAY, OR OTHER RESTRICTIONS OR ENCUMBRANCES NOT SHOWN HEREON.

DATE: 3/21/17
 DAVID M. MILLER
 PROFESSIONAL LAND SURVEYOR #21427 (LIC. EXPIRES 12-28-24)



EXISTING CONDITIONS PLAN

#05-344417
MAP 27, GRID 16, PARCEL 72
14729 TRIADELPHIA MILL ROAD
DAYTON, MD 21043
DEED BOOK 15740, PAGE 359
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

GENERAL NOTES

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADJACENT EASEMENTS, ENCUMBRANCES, OR RIGHTS-OF-WAY NOT SHOWN HEREON.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TCM 1103
ROBOTIC DATE OF LAST FIELD VISIT: 10/30/2014

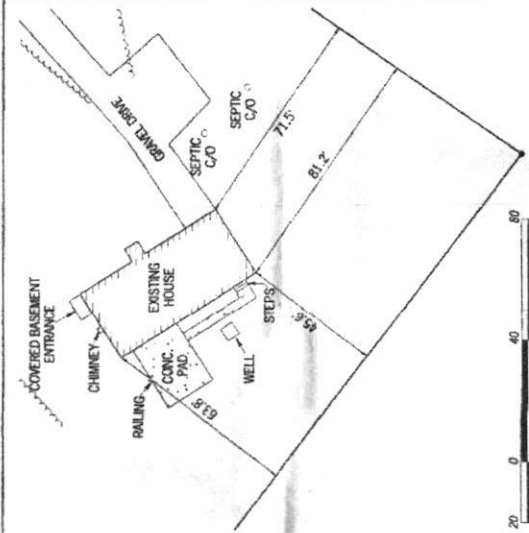
BEARINGS SHOWN ON THIS SURVEY ARE FROM DEED NORTH. DEED BOOK 304, PAGE 214

NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.M. COMMUNITY PANEL NO. 2402/0110 DATED 11/06/2013.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER INDIVIDUAL OR ABANDONED. THE UTILITIES SHOWN ARE IN THE EXACT LOCATION NOTICED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED FROM HOWARD COUNTY, 2 FOOT INTERVAL AERIAL PHOTOGRAPHS.

ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARY ARE SHOWN. A 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.



- LEGEND**
- POB POINT OF BEGINNING
 - IPS IRON PIN SET (1/2" IRON)
 - IPP IRON PIN FOUND
 - UB UNDERGROUND UTILITIES
 - EP EDGE OF PAVEMENT
 - PP POWER POLE
 - ROP REINFORCED CONCRETE PIPE
 - BC BACK OF CURB
 - CLF CHAIN LINK FENCE
 - EP EDGE OF PAVING
 - FND FOUND
 - SSMH SEWER MANHOLE
 - FES FLARE END SECTION
 - OCS OUTLET CONTROL STRUCTURE
 - HW HEADWALL
 - SWCB SINGLE WING CATCH BASIN
 - HPD HIGH DENSITY POLYETHYLENE
 - CMP CORRUGATED METAL PIPE
 - 25% STEEP SLOPES

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED UNDER MY RESPONSIBLE CHARGE AND IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN TITLE 5, MARYLAND DEPARTMENT OF THE ENVIRONMENT'S REGULATION FOR PROFESSIONAL LAND SURVEYORS, IN EFFECT AS OF 1995.

THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY SHOW EASEMENTS, ENCUMBRANCES, OR RIGHTS-OF-WAY, OR OTHER RESTRICTIONS ON EASEMENTS, ENCUMBRANCES, OR RIGHTS-OF-WAY NOT SHOWN HEREON.

DATE: 3/1/17
DAVID M. MILLER
PROFESSIONAL LAND SURVEYOR #21427 (L.C. EXPIRES 12/28/14)



SUBJECT PROPERTY

OWNER: DOUGLAS & STEPHANIE CHAMBERLAIN
SITE ADDRESS: 14729 TRIADELPHIA MILL ROAD DAYTON, MD 21043
TAX ID: 05-344417
AREA: 4.35 ACRES ±
REFERENCE: DEED BOOK 15740, PAGE 359

JOSEPH R. & BONNIE S. PACK
PARCEL ID: 05-344565
REFERENCE: DEED BOOK 6269, PAGE 66
PLAT NO. 5960

WALTER F. & MARGARET R. BROWN
PARCEL ID: 05-394392
REFERENCE: DEED BOOK 1290, PAGE 536
PLAT NO. 5960

A SURVEY PREPARED FOR:
14729 TRIADELPHIA MILL ROAD
DAYTON, MD 21036

A SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
208 E. Middleville Blvd., Suite 204
Mount Airy, MD 21771
(410) 301-703-8319 (M) 301-703-8324
(M) pointtopointsurvey.com



DRAWN BY: A. MACKEY
CHECKED BY: DMM
APPROVED BY: D. MILLER
DATE: NOV. 5, 2014
P2P JOB #: MD14206

SHEET:
1
OF 1

Eshenbaugh, Melanie

From: Eshenbaugh, Melanie
Sent: Thursday, January 29, 2026 5:07 PM
To: guillory@g-force-consulting.com
Subject: RE: 14729 Triadelphia Mill Road B25004661

Good afternoon,

I have received the waiver decision for this property today and we are granting approval waiving the perc testing & percolation certification (PC) requirement for non-living space. Any living space addition in house or the garage will require perc testing & an approved PC. I will be giving HD approval of the building permit soon with a note relaying the conditions of approval. Thank you kindly.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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From: guillory@g-force-consulting.com <guillory@g-force-consulting.com>
Sent: Thursday, January 22, 2026 11:41 AM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Cc: 'Will D' <nenes1107@gmail.com>; matthew@g-force-consulting.com
Subject: RE: 14729 Triadelphia Mill Road B25004661

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Melanie, thanks for the January 12th update. Please keep us informed regarding any waiver decision.

Kirk Guillory, architect
301-377-2912

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>

Sent: Monday, January 12, 2026 3:56 PM

To: guillory@g-force-consulting.com

Subject: RE: 14729 Triadelphia Mill Road B25004661

Good afternoon,

The waiver request is still under review, and we will let you know when a decision has been made. Thank you kindly.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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From: guillory@g-force-consulting.com <guillory@g-force-consulting.com>

Sent: Friday, January 9, 2026 3:07 PM

To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>

Cc: 'Minji Daniels' <nenes1107@hotmail.com>; 'Will D' <nenes1107@gmail.com>

Subject: RE: 14729 Triadelphia Mill Road B25004661

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Good afternoon Melanie.

Has the environmental health department been able to review the attached waiver request?

Has a waiver been granted? Thank you.

Kirk Guillory, architect
G-Force Consulting, LLC
7061 Deepage Drive, Suite 200
Columbia, Maryland 21045
301-377-2912

From: Will D <nenes1107@gmail.com>
Sent: Monday, January 5, 2026 9:54 PM
To: guillory@g-force-consulting.com
Cc: Minji Daniels <nenes1107@hotmail.com>; Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Subject: Re: 14729 Triadelphia Mill Road B25004661

Good evening,

The signed waiver is attached. Thank you!

Bill

On Tue, Dec 30, 2025 at 1:24 PM <guillory@g-force-consulting.com> wrote:

Hello Bill and Minji.

Please review the attached perc test waiver form, sign and return to Melanie and me via email.

The Health Dept will review the request and may grant the waiver.

Please review the attached

Kirk Guillory, architect

G-Force Consulting, LLC

7061 Deepage Drive, Suite 200

Columbia, Maryland 21045

301-377-2912

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Sent: Friday, December 26, 2025 2:22 PM
To: guillory@g-force-consulting.com
Subject: RE: 14729 Triadelphia Mill Road B25004661

Good afternoon,

I believe based on the site visit and where your proposal is located, the property owners would have the option to submit for a waiver request to the PC requirement. Once I gather all the information and speak with my supervisor I will be in touch to provide the waiver letter support (see attached). I will reach back out next week with more guidance. Hope you have a nice holiday season and thank you kindly.

Melanie Eshenbaugh

Bureau of Environmental Health

Howard County Health Dept.

8930 Stanford Blvd. Columbia, MD 21045

www.hchealth.org



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From: guillory@g-force-consulting.com <guillory@g-force-consulting.com>
Sent: Friday, December 26, 2025 1:39 PM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>

Cc: matthew@g-force-consulting.com; 'Will D' <nenes1107@gmail.com>; 'Minji Daniels' <nenes1107@hotmail.com>
Subject: RE: 14729 Triadelphia Mill Road B25004661

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Melanie,

Have you been able to draw a conclusion from the site visit last week?

Please let us know.

Kirk Guillory, architect

G-Force Consulting, LLC

7061 Deepage Drive, Suite 200

Columbia, Maryland 21045

301-377-2912

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Sent: Thursday, December 18, 2025 11:40 AM
To: guillory@g-force-consulting.com

Cc: matthew@g-force-consulting.com; 'Will D' <nenes1107@gmail.com>; 'Minji Daniels' <nenes1107@hotmail.com>
Subject: RE: 14729 Triadelphia Mill Road B25004661

Good morning,

Tomorrow morning I anticipate making a site visit to check on the well & septic and gather any information that may support a waiver. I hope this is helpful and thank you for following up.

Melanie Eshenbaugh

Bureau of Environmental Health

Howard County Health Dept.

8930 Stanford Blvd. Columbia, MD 21045

www.hchealth.org



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From: guillory@g-force-consulting.com <guillory@g-force-consulting.com>
Sent: Thursday, December 18, 2025 11:24 AM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Cc: matthew@g-force-consulting.com; 'Will D' <nenes1107@gmail.com>; 'Minji Daniels' <nenes1107@hotmail.com>
Subject: RE: 14729 Triadelphia Mill Road B25004661

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Melanie,

Is the on site inspection of this address, by the Health Department, still scheduled to occur on tomorrow December 19th?

Thank you for the reply below, including the possibility of a waiver being granted regarding the need for a percolation test prior to Health Dept approval of the permit application.

Kirk Guillory, architect

G-Force Consulting, LLC

7061 Deepage Drive, Suite 200

Columbia, Maryland 21045

301-377-2912

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>

Sent: Tuesday, December 16, 2025 3:28 PM

To: KJGUILLORY2016@GMAIL.COM; guillory@g-force-consulting.com

Cc: matthew@g-force-consulting.com

Subject: 14729 Triadelphia Mill Road B25004661

Good afternoon,

I have looked into the details of the building permit proposal (B25004661), our health department records, and the previous building permit plans. As communicated previously, perc testing along with an approved percolation certification plan (PC) is a requirement for any building permit that is greater than 250 sq. ft, and/or with improvements to the property that can have a potential impact to future replacement septic area or increases in the number of bedrooms. This property was perc tested in 2017 but did not have a Health Department approved percolation certification plan (PC). Some of the perc test holes were designated as a pass and others were labeled a failure due to restrictive layers and water table concerns (see attached). As a result, the property would need to meet our PC requirement before signing off on a building permit. Previous communication has relayed the need for the PC, and a site visit to the property is anticipated this Friday to determine whether a waiver request to the PC can be considered for review. Also, the floor plans indicate an accessory apartment dwelling on the 2nd story garage but reflect differently based on the revisions from the previous building permit submission (B25000858). In review of these floor plans, please confirm that a half bathroom & storage area is proposed on the 2nd level under this new permit. Please see the attached for reference and let me know if you have any questions. Thank you kindly.

<https://www.howardcountymd.gov/health/well-septic-program>

Melanie Eshenbaugh

Bureau of Environmental Health

Howard County Health Dept.

8930 Stanford Blvd. Columbia, MD 21045

www.hchealth.org



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Eshenbaugh, Melanie

From: Eshenbaugh, Melanie
Sent: Tuesday, December 16, 2025 3:28 PM
To: KJGUILLORY2016@GMAIL.COM; guillory@g-force-consulting.com
Cc: matthew@g-force-consulting.com
Subject: 14729 Triadelphia Mill Road B25004661
Attachments: 14729 Triadelphina Mill.pdf; BuildingPermitApplicationProcessWellSeptic 7-2024 (1).pdf; 12 Percolation Test and Plan Requirements for Developed Lots 10-24-2018 (1) (1).pdf

Good afternoon,

I have looked into the details of the building permit proposal (B25004661), our health department records, and the previous building permit plans. As communicated previously, perc testing along with an approved percolation certification plan (PC) is a requirement for any building permit that is greater than 250 sq. ft, and/or with improvements to the property that can have a potential impact to future replacement septic area or increases in the number of bedrooms. This property was perc tested in 2017 but did not have a Health Department approved percolation certification plan (PC). Some of the perc test holes were designated as a pass and others were labeled a failure due to restrictive layers and water table concerns (see attached). As a result, the property would need to meet our PC requirement before signing off on a building permit. Previous communication has relayed the need for the PC, and a site visit to the property is anticipated this Friday to determine whether a waiver request to the PC can be considered for review. Also, the floor plans indicate an accessory apartment dwelling on the 2nd story garage but reflect differently based on the revisions from the previous building permit submission (B25000858). In review of these floor plans, please confirm that a half bathroom & storage area is proposed on the 2nd level under this new permit. Please see the attached for reference and let me know if you have any questions. Thank you kindly.

<https://www.howardcountymd.gov/health/well-septic-program>

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