

Approved 5/20/26  
-H.O.

Record Detail (This section is required.)

Permit Type: Building/Residential/Alteration/SFD  
 Permit Number: B26001644  
 Opened Date: 05/18/2026

Description of Work  
 SFD/ Renovate existing finished basement to include removing walls and doors to create a more open floor plan, revise bathroom layouts. No structural Modifications are included.

removing 1 basement bedroom

Online BP.  
5/19/26

[check spelling](#)

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #: 12580  
 Street Name: HALL SHOP  
 Street Type: RD  
 Unit #: -Select-  
 City: FULTON

X Coordinate: -76.9488  
 Y Coordinate: 39.17724

State: MD Zip Code: 20759 Primary: Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
850465	333	5.76	316900	1897500	1580600	RURAL

Legal Description  
 IMPS5.755 A[ ]12580 HALL SHOP RD[ ]HIGHLAND

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
		605102	4				

Plan Area: 1405364086  
 Section: Area  
 Grid: 40-5  
 SDP No.  
 Record Plat No.  
 Owner Occupied:  Yes  No  
 Historic District Registry No. 5-15A  
 Building No.

Owner (This section is not required.)

Search Reset Clear

Name: MOEHI  
 Address Line 1: 12580 HALL SHOP RD  
 Address Line 2:  
 Address Line 3:

Mail City: FULTON  
 Mail State: MD  
 Mail Zip Code: 20759  
 Phone: 443-797-3340  
 Primary: Yes  
 E-mail:

dlmoehring@gmail.com  
Cell Number

Fax Number

Professionals (This section is not required.)

License # \* Business Name

License Type \* First Name Middle Name Last Name  
 -Select-  
 Primary Address Line 1  
 Yes Address Line 2

City State ZIP Code

Phone 1 Phone 2 Fax

E-mail

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type \* Applicant  
 Relationship -Select-  
 Primary Yes

First Name David  
 Full Name David C Merrick  
 Organization Name Merrick Design and Build, Inc.  
 Street Address 3300 PLYERS MILL RD  
 Address Line 2

MI C Last Name Merrick

City Kensington State MD Zip Code 20895

Phone 301-946-2356 Cell 301-448-0280 Fax

E-mail \* dmerrick@mdbi.us

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type \* Contact  
 Relationship -Select-  
 Primary No

First Name David  
 Full Name David C Merrick  
 Organization Name Merrick Design and Build, Inc.  
 Street Address 3300 PLYERS MILL RD  
 Address Line 2

MI C Last Name Merrick

City Kensington State MD Zip Code 20895

Phone 301-946-2356 Cell 301-448-0280 Fax

E-mail dmerrick@mdbi.us

Addtl Info

Est Construction Cost \* 220000  
 Housing Units \* 0  
 Number of Buildings \* 0  
 Public Owned No

Construction Type -Select-

RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

Total Square Footage \* 1260  
 No of Stories \* 2  
 Basement (Number) Partially Finished  
 Bedrooms -2  
 Full Baths (Number) 0  
 Half Baths (Number) 0  
 Water \* (Number) Private  
 Sewage \* Private

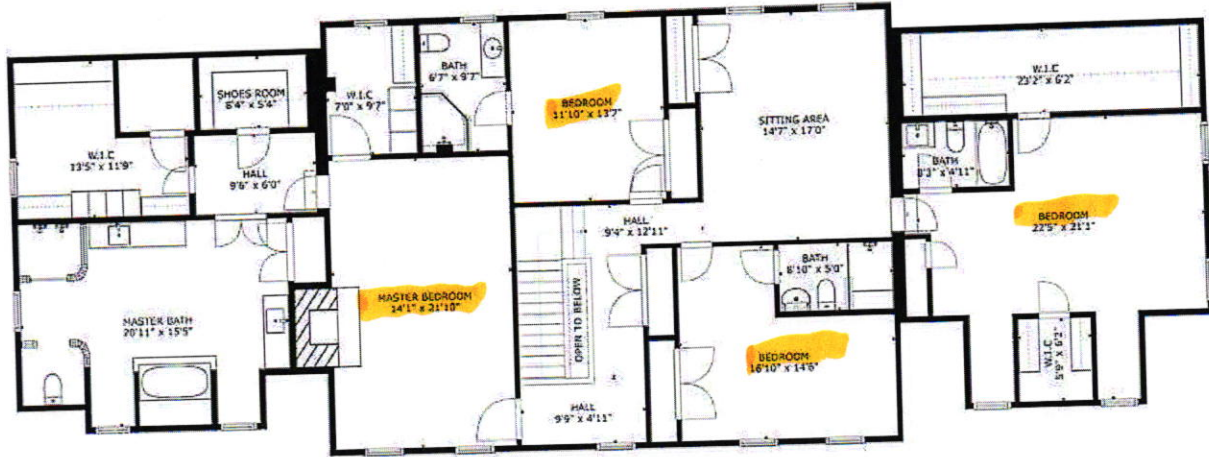
• 2,000 gallon tank = 7 bedrooms

$$78' + 80 + 82 + 82 = 322 \times 2 = 644 \div 9.36 = 1788 \times 0.6 = 1073 / 1.50$$

side wall

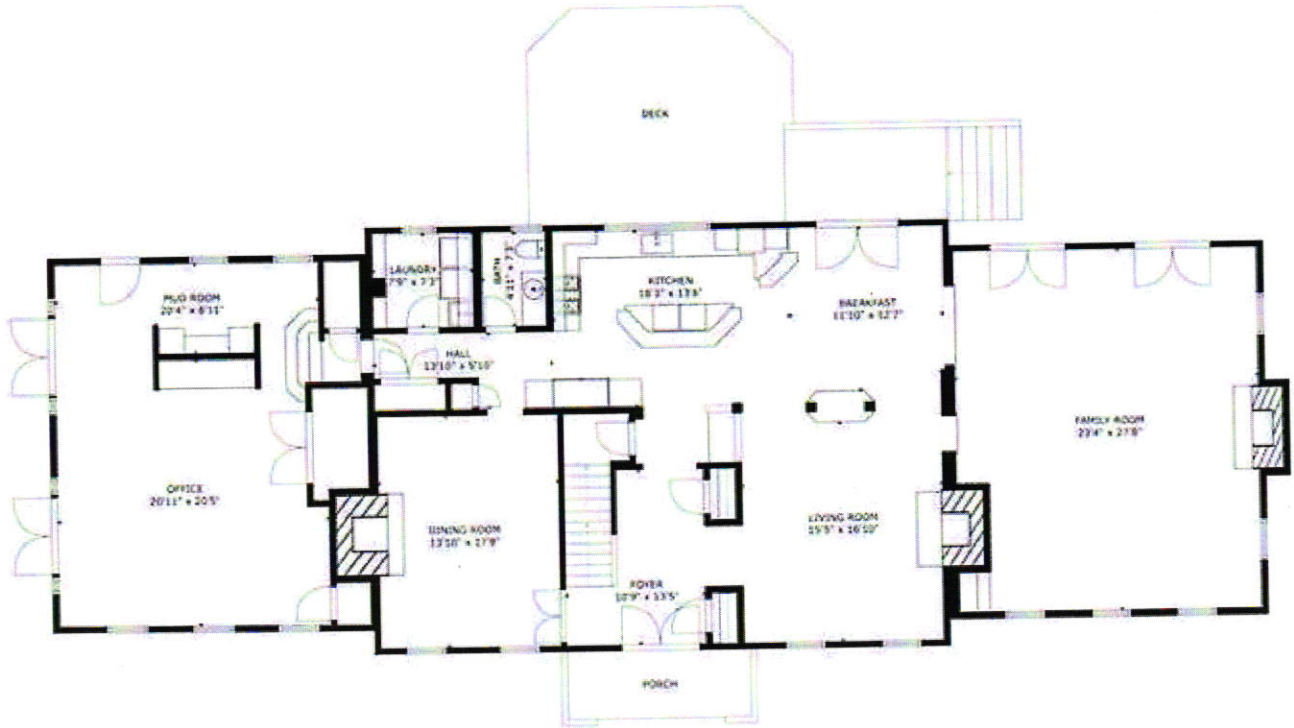
$$\frac{2 + 2}{2 + 1 + 2(4)} = \frac{4}{11} = 0.36$$

= 7 bed rooms



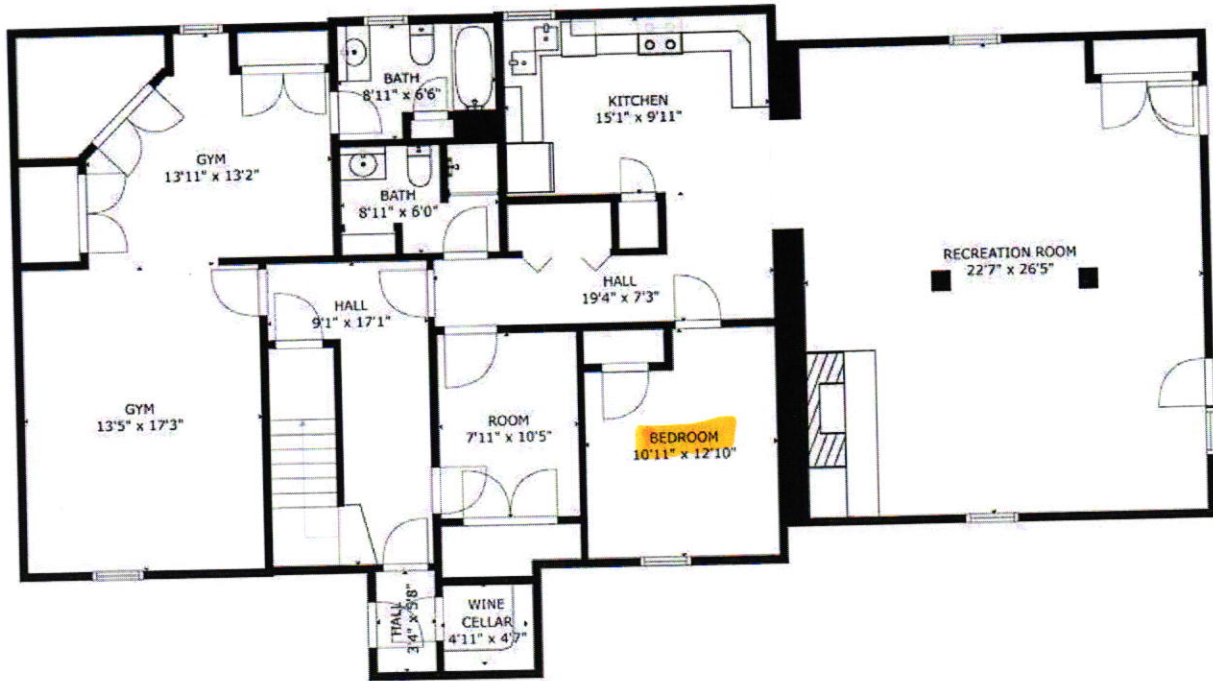
GROSS INTERNAL AREA  
 LOWER LEVEL: 1968 sq ft, MAIN LEVEL: 2758 sq ft  
 UPPER LEVEL: 2476 sq ft, EXCLUDED AREAS:  
 REDUCED HEADROOM BELOW 1.5M: 153 sq ft  
 TOTAL: 2233 sq ft  
 SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MAY VARY





GROSS INTERNAL AREA  
 LOWER LEVEL: 1998 sq ft, MAIN LEVEL: 2719 sq ft  
 UPPER LEVEL: 2479 sq ft, EXCLUDED AREAS:  
 REDUCED HEADROOM BELOW 1.0M: 153 sq ft  
 TOTAL: 3223 sq ft





GROSS INTERNAL AREA  
 LOWER LEVEL: 1998 sq ft, MAIN LEVEL: 2750 sq ft  
 UPPER LEVEL: 2476 sq ft, EXCLUDED AREAS:  
 REDUCED HEADROOM BELOW 1.5M: 153 sq ft  
 TOTAL: 7233 sq ft  
 NOTES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MAY VARY.



FINISHES ARE LISTED IN M&A NOTE PROVIDED BY INTERIOR DESIGNER

INCLUDE FILLER PANEL BESIDE FLOATING VANITY AS NEEDED  
ADD 6ML VAPOR BARRIER UNDER PLANK FLOORS WITH 50% OVERLAP AND SEALED SEAMS

SHOWER SYSTEM TBD  
CUSTOM FRAMELESS GLASS SHOWER ENCLOSURE, 3/8" THICK TEMPERED - COORDINATE HARDWARE FINISH WITH DESIGNER

WINDOWS

A DOUBLE PANE LOW-E VINYL OUTSWING EGRESS CASEMENT WINDOW, 30X57(+/-) VIF. EXISTING HEADER, LOWER SILL TO 42" AFF MAX.

DOORS

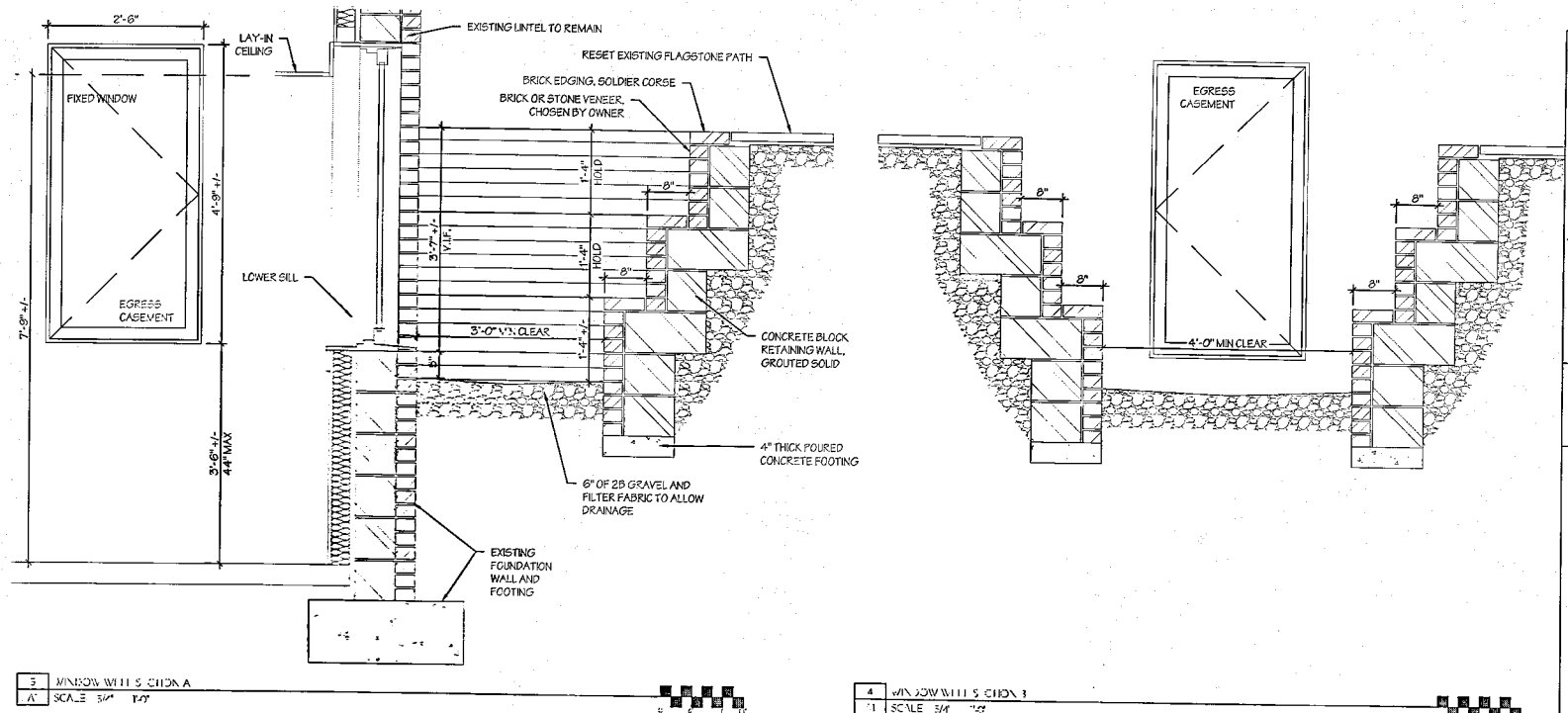
- 1 36" TWO PANEL SHAKER STYLE SOLID WOOD DOOR, BLACK HARDWARE, LEVER STYLE HANDLE, PRIVACY LOCK
- 2 72" PAIR OF TWO PANEL SHAKER STYLE SOLID WOOD DOORS, BLACK HARDWARE, BIPASS SLIDERS, RECESSED CUP PULLS
- 3 25" TWO PANEL SHAKER STYLE SOLID WOOD DOOR, BLACK HARDWARE, LEVER STYLE HANDLE, PASSAGE LOCK
- 4 36" TWO PANEL SHAKER STYLE SOLID WOOD DOOR, BLACK HARDWARE, LEVER STYLE HANDLE, PRIVACY LOCK
- 5 36" TWO PANEL SHAKER STYLE SOLID WOOD DOOR, BLACK HARDWARE, LEVER STYLE HANDLE, PRIVACY LOCK
- 6 32" TWO PANEL SHAKER STYLE SOLID WOOD DOOR, BLACK HARDWARE, LEVER STYLE HANDLE, PRIVACY LOCK
- 7 25" TWO PANEL SHAKER STYLE SOLID WOOD DOOR, BLACK HARDWARE, LEVER STYLE HANDLE, PASSAGE LOCK
- 8 CASED OPENING
- 9 34" (VIF) TWO PANEL SHAKER STYLE SOLID WOOD DOOR, BLACK HARDWARE, LEVER STYLE HANDLE, PASSAGE LOCK, LOWER TOP AND BOTTOM

ALL CASING, BASEBOARDS, CROWN MOLDING ETC TO BE CRAFTSMAN STYLE PAINTED WOOD, BUILT UP HEADS AND SILLS AND MITERED RETURNS, COORDINATE WITH INTERIOR DESIGNER.

SEE E1 FOR ELECTRICAL DETAILS AND LIGHTING INFORMATION

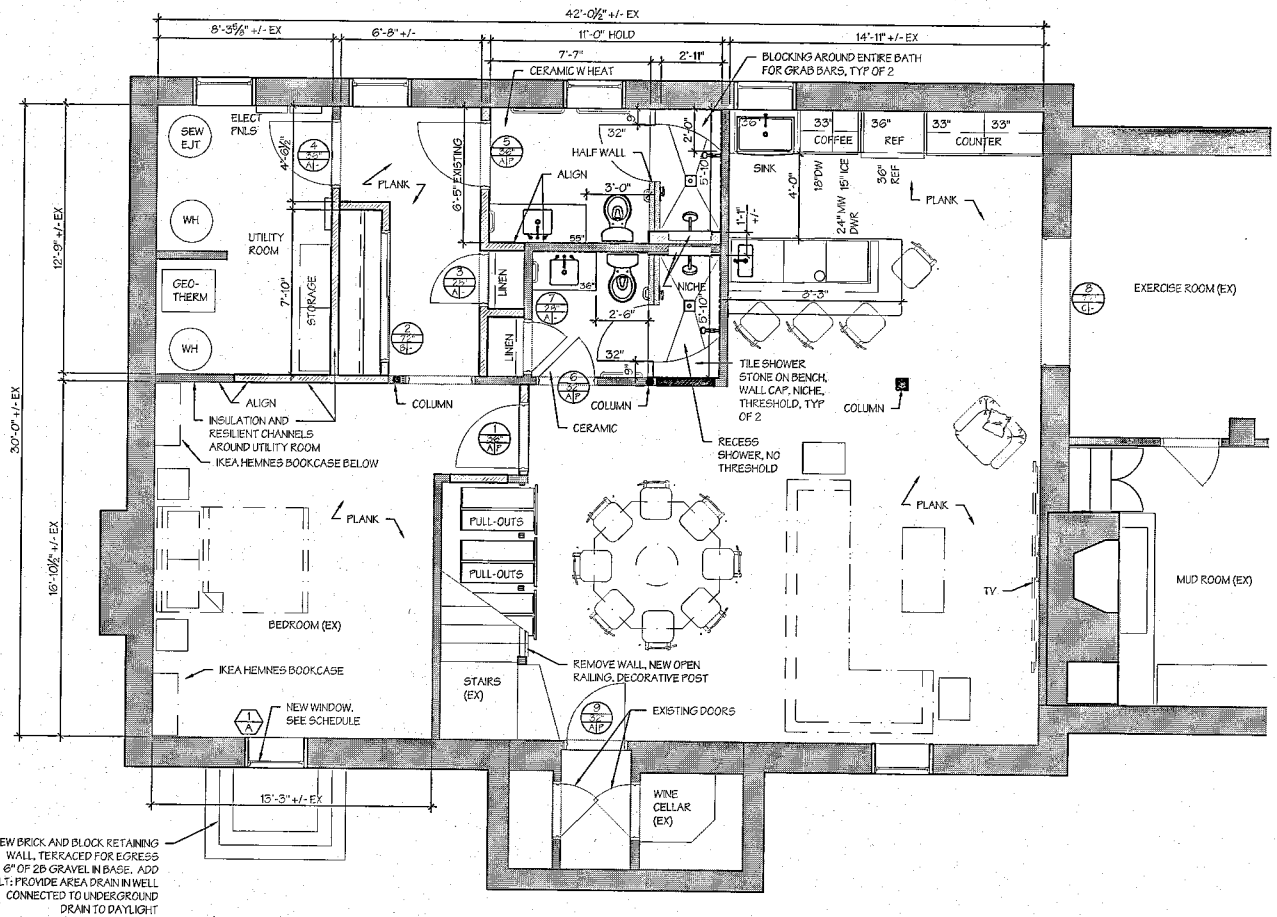
SEE P1 FOR PLUMBING FIXTURE DETAILS

SEE INTERIOR DESIGNER'S DRAWINGS FOR CABINET DETAILS

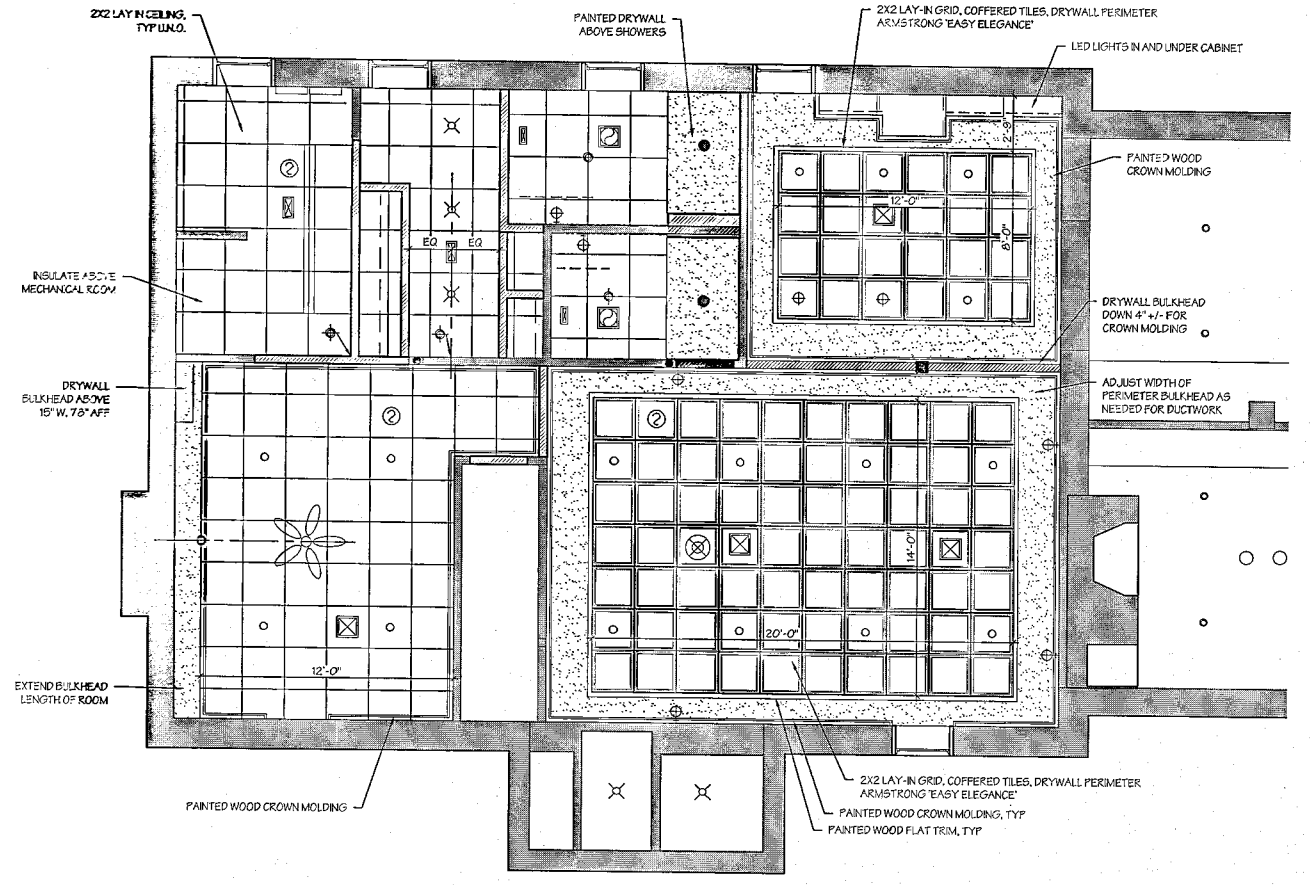


3 WINDOW WITH SECTION A  
SCALE: 3/4" = 1'-0"

4 WINDOW WITH SECTION B  
SCALE: 3/4" = 1'-0"



1 PARTIAL BASEMENT - CONSTRUCTION  
SCALE: 1/4" = 1'-0"



2 PARTIAL BASEMENT - CEILING CONSTRUCTION  
SCALE: 1/4" = 1'-0"

Proposed

**DESIGN ON THE SQUARE**  
 7057 OFFICE BOX 4647  
 51 WEST WINDING LANE  
 (240) 8-DESIGN  
 WWW.DOSQUARE.COM  
 1100 WINDING LANE  
 FREDERICK, MD 21704  
 THESE DRAWINGS ARE THE PROPERTY OF DESIGN ON THE SQUARE AND ARE NOT TO BE REPRODUCED OR USED IN ANY WAY WITHOUT THE PERMISSION OF THE AUTHOR OR ARCHITECT. ©2025 DESIGN ON THE SQUARE

*A. J. Miller*  
 ARCHITECT

PROFESSIONAL CERTIFICATION  
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22297  
 EXPIRATION DATE: 03/31/2028

**REVISIONS**  
 REV Q 2025-04-10  
 REV V 1-2025-04-17

**PROJECT INFO**  
 Matching Residence  
 7380 Hill Side Rd  
 Ft. Detm, MD

**SHEET INFO**  
 BASEMENT  
 CONSTRUCTION  
 FLOOR & CEILING

**SHEET NUMBER**  
 A  
 1

THESE DRAWINGS AND THE INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE AUTHOR AS LISTED IN THIS TITLE BLOCK. THEY MUST NOT BE COPIED, REPRODUCED OR USED IN ANY WAY WITHOUT THE PERMISSION OF THE AUTHOR OR ARCHITECT ©2024 DESIGN ON THE SQUARE

*[Signature]*  
03/28/2024

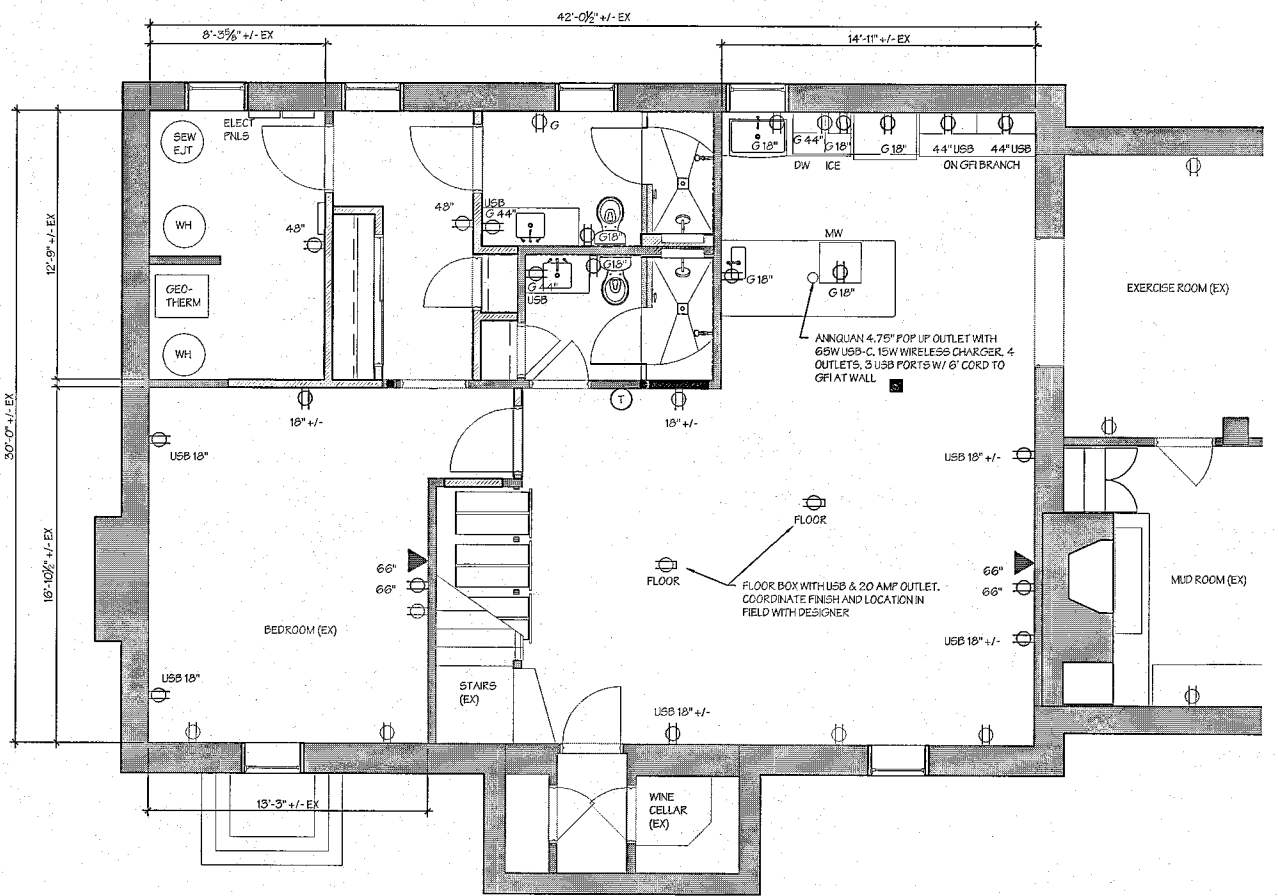


PROFESSIONAL CERTIFICATION  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 00297, EXPIRATION DATE: 03/28/2028

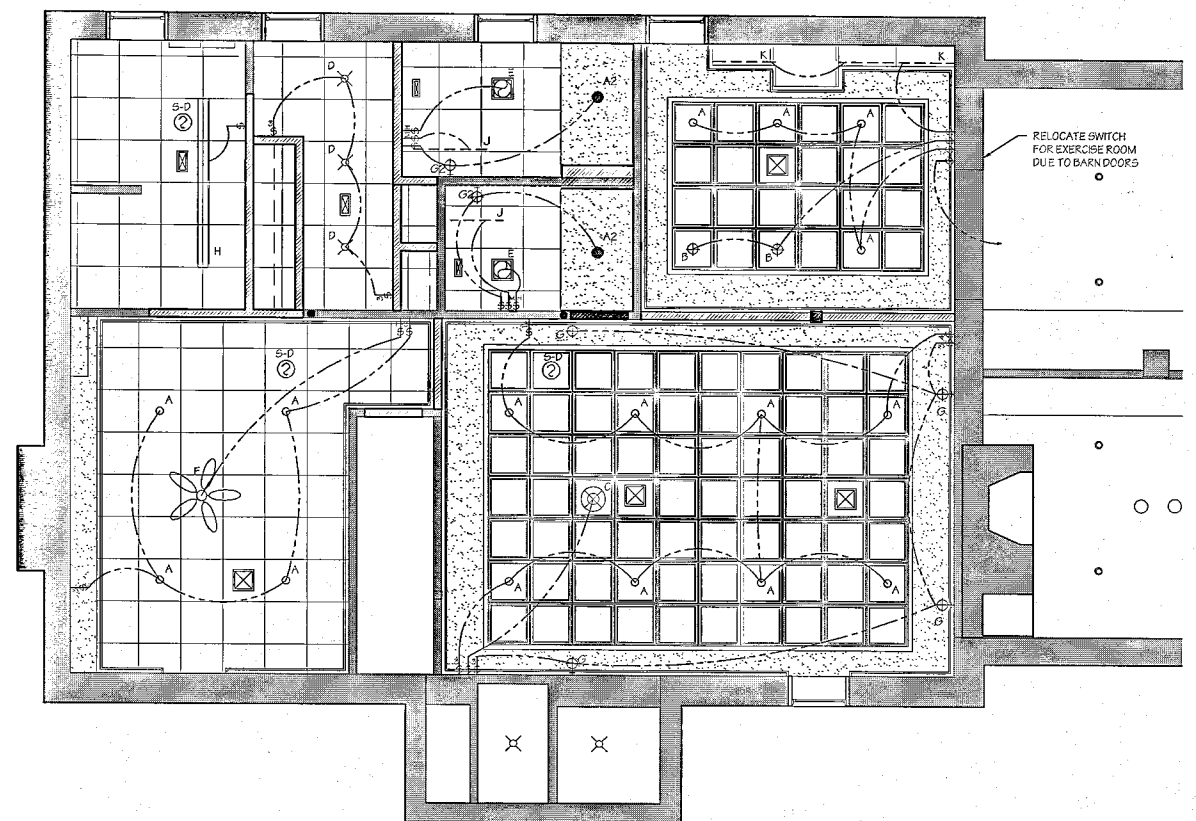
**ELECTRICAL NOTES**  
ALL OUTLETS TO BE AFCI RATED UNLESS LABELED AS GFCI RATED  
USB OUTLETS WHERE INDICATED  
WHITE DEVICES AND COVERS UNLESS INDICATED  
POP-UP FLOOR BOXES - COORDINATE FINISH WITH OWNER/DESIGNER PRIOR TO ORDER  
POP-UP COUNTER OUTLET - COORDINATE LOCATION WITH CABINET LAYOUT PRIOR TO CUTTING  
ALL PROVIDED BY CONTRACTOR

- LIGHTING**
- | ID | QTY | DESCRIPTION  |
|----|-----|--|
| A  | 16  | 4" LED RECESSED PLUCK LIGHT, DIMMABLE, ADJUSTABLE COLOR TEMP   |
| B  | 2   | DECORATIVE MINI PENDANT  |
| C  | 1   | CHANDELER OVER GAME TABLE  |
| D  | 3   | SURFACE MOUNTED LIGHT  |
| E  | 2   | 110CFM PANASONIC WHISPERSENSE EXHAUST FAN ON W/ PANASONIC FV-WCCSH-W WHISPERCONTROL THREE-FUNCTION ON/OFF SWITCH |
| F  | 1   | CEILING FAN (NO LIGHT)   |
| G  | 4   | WALL SCONCES   |
| G2 | 2   | WALL MOUNTED ILLUMINATED MIRRORS   |
| H  | 1   | 8" LED SURFACE MOUNTED LIGHT   |
| J  | 2   | LED UNDER VANITY LIGHT ON MOTION DETECTOR SWITCH   |
| K  | 186 | LED UNDER CABINET STRIP LIGHT AND INSIDE CABINET STRIP LIGHT   |

LIGHTING FIXTURES B, C, D, F, G, & G2 PROVIDED BY OWNER. ALL OTHER LIGHTS, ALL BOXES AND WIRING AND ALL OTHER MATERIAL NEEDED FOR ROUGH-IN PROVIDED BY CONTRACTOR.



PARTIAL BASEMENT - ELECTRICAL  
SCALE: 1/4" = 1'-0"



PARTIAL BASEMENT - CEILING ELECTRICAL  
SCALE: 1/4" = 1'-0"

**REVISIONS**

REV 0	2024-04-10
REV 1	2024-04-17

PRINTED: 2024-04-21  
DRAWN BY: BRIAN J. HILL

**PROJECT INFO**  
Working Residence  
7380 Hill Street RD  
Farming MD  
PROJECT NUMBER:  
---

**SHEET INFO**  
BASEMENT  
11 - ELECTRICAL  
FLOOR & CEILING

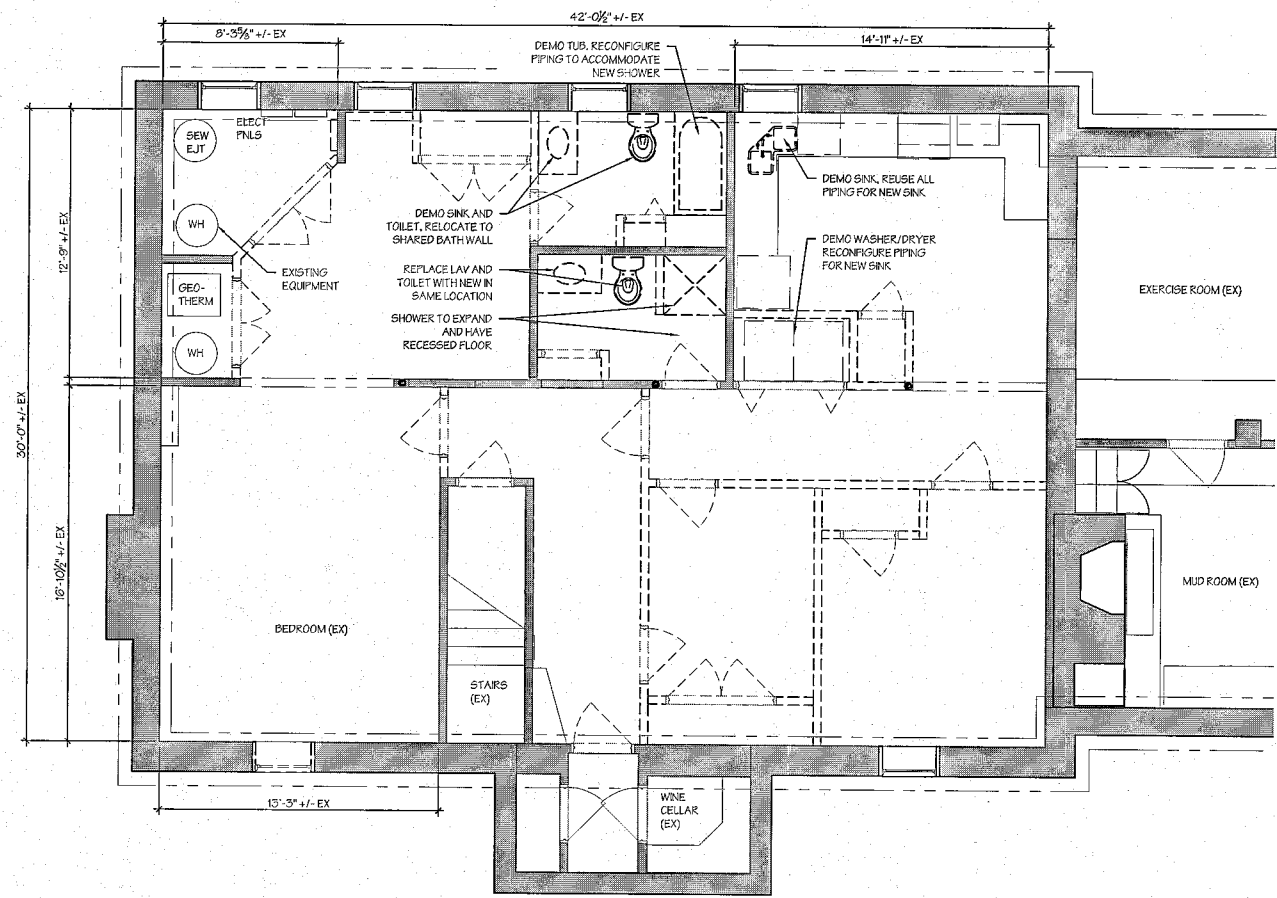
**SHEET NUMBER**  
E  
1

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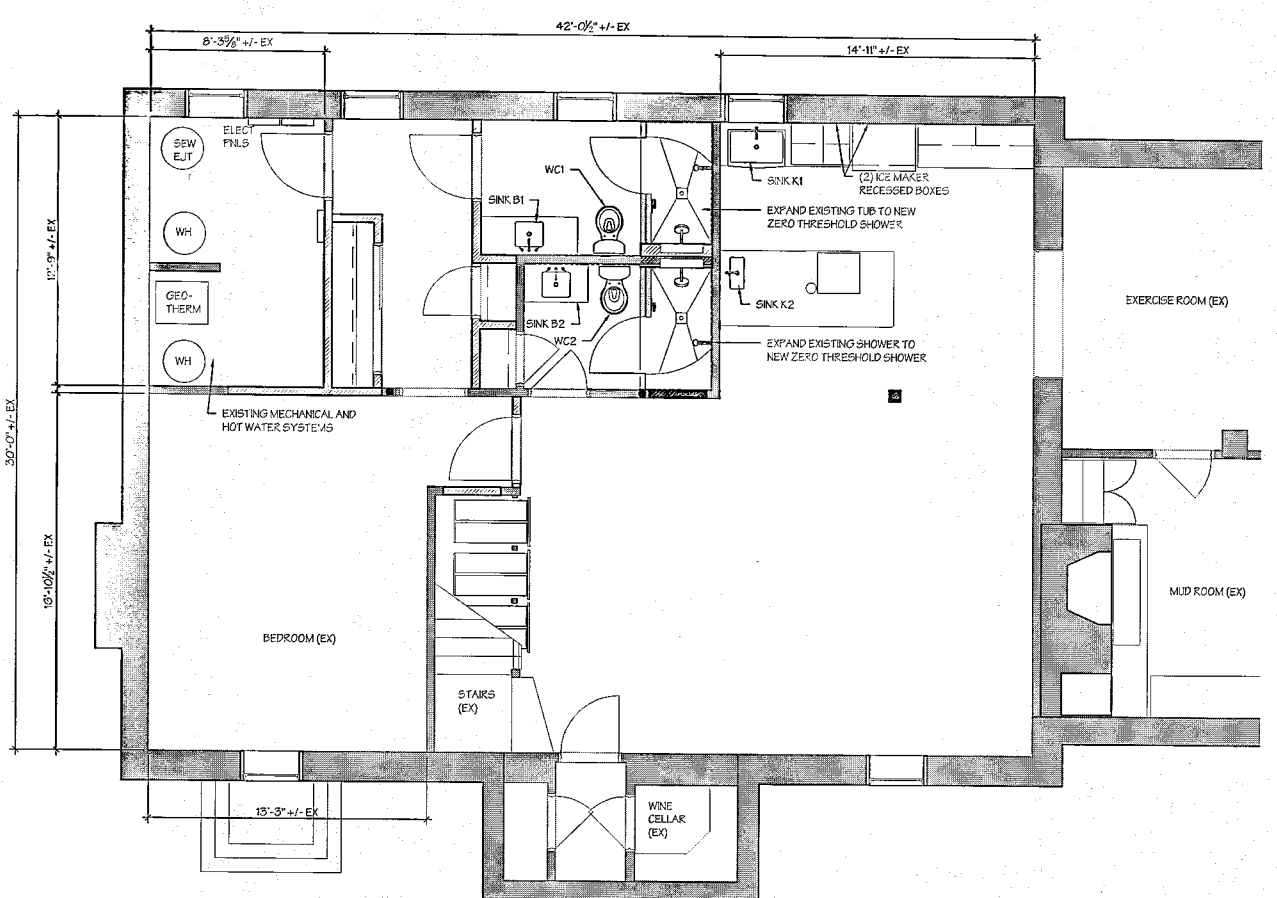


PROFESSIONAL CERTIFICATION  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20297, EXPIRATION DATE: 03/28/2028

- SINK K1 RUKATI APRON FRONT WORKSTATION FARMHOUSE KITCHEN SINK 16 GAUGE STAINLESS STEEL SINGLE BOWL R149200 GOOSE NECK FAUCET WITH PULL OUT SPRAYER AND SINGLE HANDLE - CHROME FINISH (VERIFY W/ OWNER) - TO BE DETERMINED
- SINK K2 KRAUS STANDART 18" X 9.5" BAR PREP SINK NARROW TROUGH UNDERMOUNT 16 GAUGE STAINLESS STEEL SINGLE BOWL - KHJ101-10 CHILLED SPARKLING WATER DISPENSER - HYDROTAP ARC PLUS CHILLED/SPARKLING (CS) 120V - CHROME FINISH (VERIFY W/ OWNER)
- SINK B1 CRISTO 55" WALL MOUNTED SINGLE BATHROOM VANITY WITH QUARTZ TOP. PIPING TO BE COORDINATED TO BE FULLY CONCEALED IN CABINET. SATKO 7" H SINGLE HANDLE SINGLE HOLE BAT-ROOM FAUCET VGO1015MB
- SINK B2 MILANO 36 IN W X 18 IN D X 20 IN H SINGLE SINK WALL BATHROOM VANITY IN WHITE. PIPING TO BE COORDINATED TO BE FULLY CONCEALED IN CABINET. SATKO 7" H SINGLE HANDLE SINGLE HOLE BAT-ROOM FAUCET VGO1015MB
- WC1 HOROW T0338W COMPACT ONE PIECE TOILET WITH COMFORT CHAIR SEAT ADA HEIGHT 17.3". ELONGATED DUAL FLUSH 0.8/1.28 GPF. STANDARD WHITE TOILET BOWL - INSTALLED IN NEW LOCATION
- WC2 HOROW T0338W COMPACT ONE PIECE TOILET WITH COMFORT CHAIR SEAT ADA HEIGHT 17.3". ELONGATED DUAL FLUSH 0.8/1.28 GPF. STANDARD WHITE TOILET BOWL - INSTALLED ON NEW WALKING AT EXISTING FLANGE
- SHOWERS (TYP) CUSTOM TILED SHOWERS, ZERO THRESHOLD MIXING VALVE/DIVERTER, SHOWER HEAD, AND HANDHELD SHOWER. COORDINATE PIPING WITH RECESSED NICHS SHOWN
- PLUMBING FIXTURES PROVIDED BY OWNER. ALL FLANGES, WASTE AND SUPPLY LINES, VENT LINES, DRAIN KITS, FLOOR DRAINS, CONNECTIONS AND NEEDED ROUGH-IN MATERIALS ARE BY CONTRACTOR.




P PARTIAL BASEMENT - PLUMBING DEMO  
SCALE: 1/4" = 1'-0"

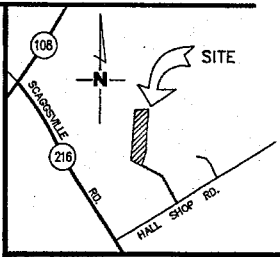
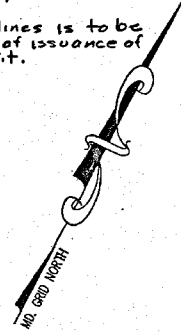


P PARTIAL BASEMENT - PLUMBING NEW  
SCALE: 1/4" = 1'-0"

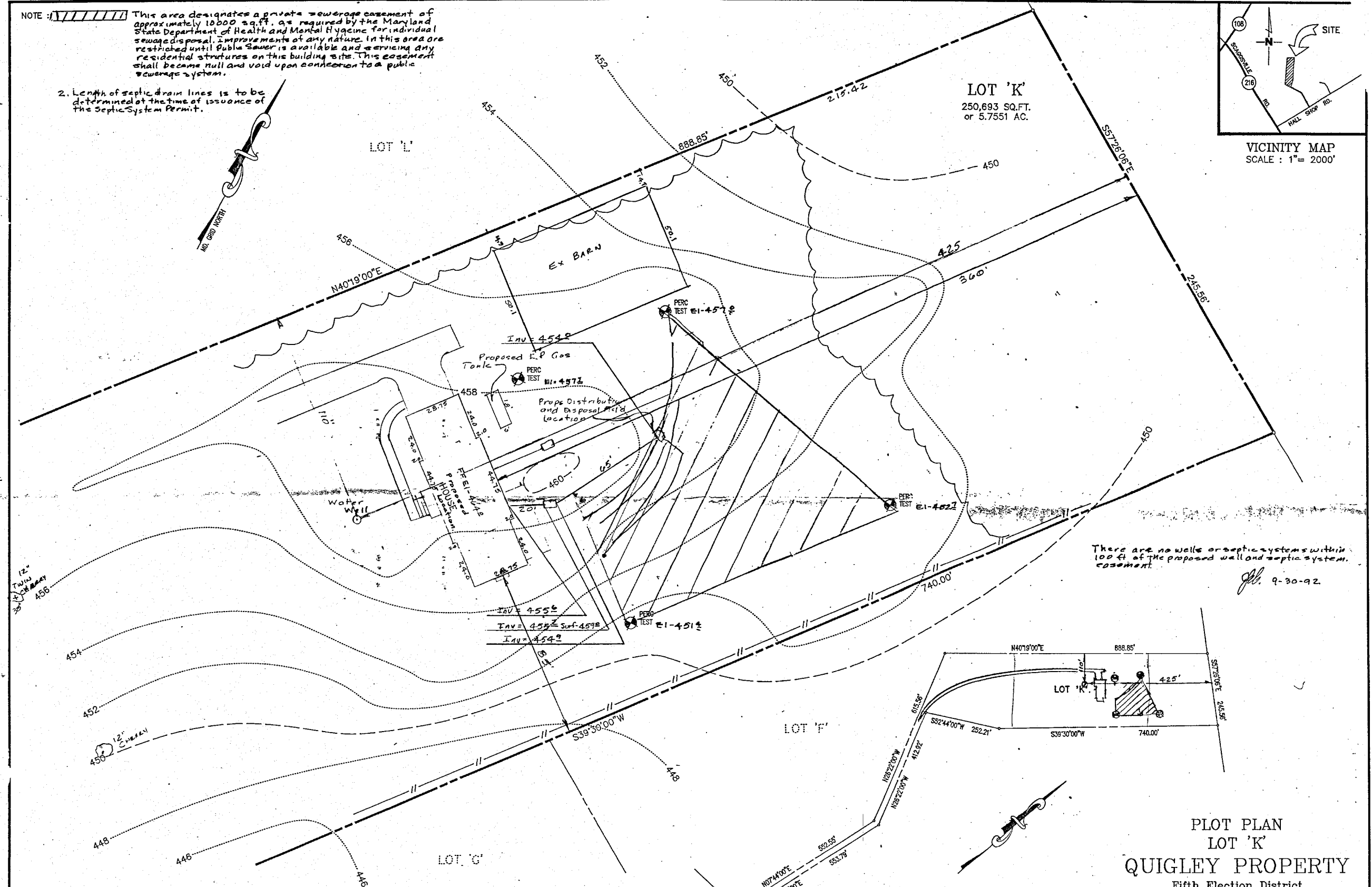
REVISIONS
REV 03/2020 G40 R1 V1 02/2020 D417
PRINTED: 02/20/2020 DRAWN BY: BRUNNIE H/IND
PROJECT INFO
Monkling Residence 3380 Hill Street, FJ Columbia, MD
PROJECT NUMBER ...
SHEET INFO
BASEMENT PLUMBING DEMOC AND NEW
SHEET NUMBER
P 1

NOTE:  This area designates a private sewerage easement of approximately 1000 sq.ft. as required by the Maryland State Department of Health and Mental Hygiene for individual sewage disposal. Improvements of any nature in this area are restricted until Public Sewer is available and servicing any residential structures on this building site. This easement shall become null and void upon connection to a public sewerage system.

2. Length of septic drain lines is to be determined at the time of issuance of the Septic System Permit.

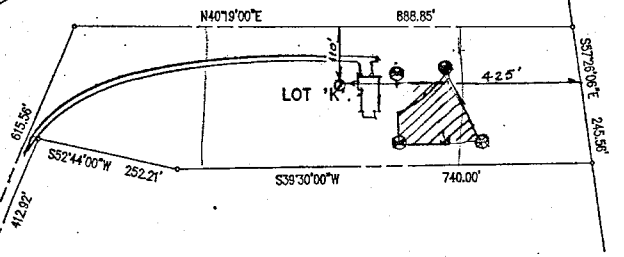


VICINITY MAP  
SCALE: 1" = 2000'




There are no wells or septic systems within 100 ft. of the proposed well and septic system easement.

9-30-92



PLAN  
SCALE: 1" = 200'

**SURVEYORS CERTIFICATE**

I hereby certify that the topographic information shown hereon was established by a field run survey and that is correct as shown. Penetration test locations were located by the same survey and are shown thus:  El. 451.2

*Jack Clark*  
LAND SURVEYOR  
9-30-92

The Lot shown hereon complies with the minimum ownership width and area as required by the Maryland State Dept. of Health and Mental Hygiene.

APPROVED: For private Water and Private Sewerage Systems  
HOWARD COUNTY HEALTH DEPT.  
*James M. Borel*  
COUNTY HEALTH OFFICER  
10-2-92  
DATE.

**PLOT PLAN  
LOT 'K'  
QUIGLEY PROPERTY**

Fifth Election District  
Howard County, Maryland.  
SCALE: 1" = 30' SEPT. 1992

PREPARED BY:  
**THE J.E. CLARK COMPANY**  
LAND SURVEYING AND ENGINEERING  
P.O. BOX 147 LAUREL, MARYLAND 20725  
(301) 725 3442  
920901-2



**MOEHRING RESIDENCE  
BASEMENT REMODEL**  
12580 HALL SHOP ROAD  
FULTON MD 20759  
HOWARD COUNTY

**ARCHITECT**

DESIGN ON THE SQUARE, LLC  
PO BOX 2022  
ROCKVILLE, MD 20847  
(240) 8-DESIGN  
BRIAN VIEHLAND, AIA  
BRIAN@DESIGNONTHESQUARE.COM

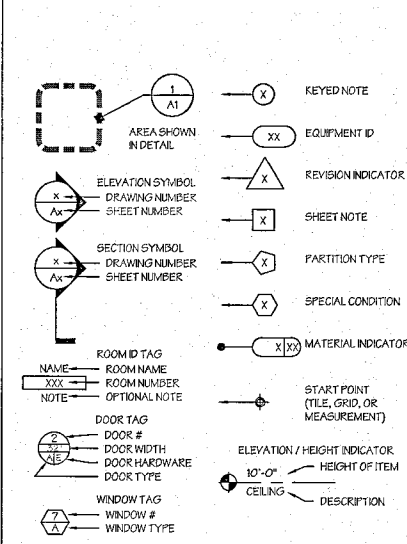
**DRAWING LIST**

- T1 COVER SHEET, PROJECT INFORMATION
- D1 DEMOLITION PLANS, FLOOR AND CEILING
- A1 CONSTRUCTION PLANS, FLOOR AND CEILING
- E1 ELECTRICAL PLANS, FLOOR AND CEILING
- F1 PLUMBING PLANS, DEMO AND NEW

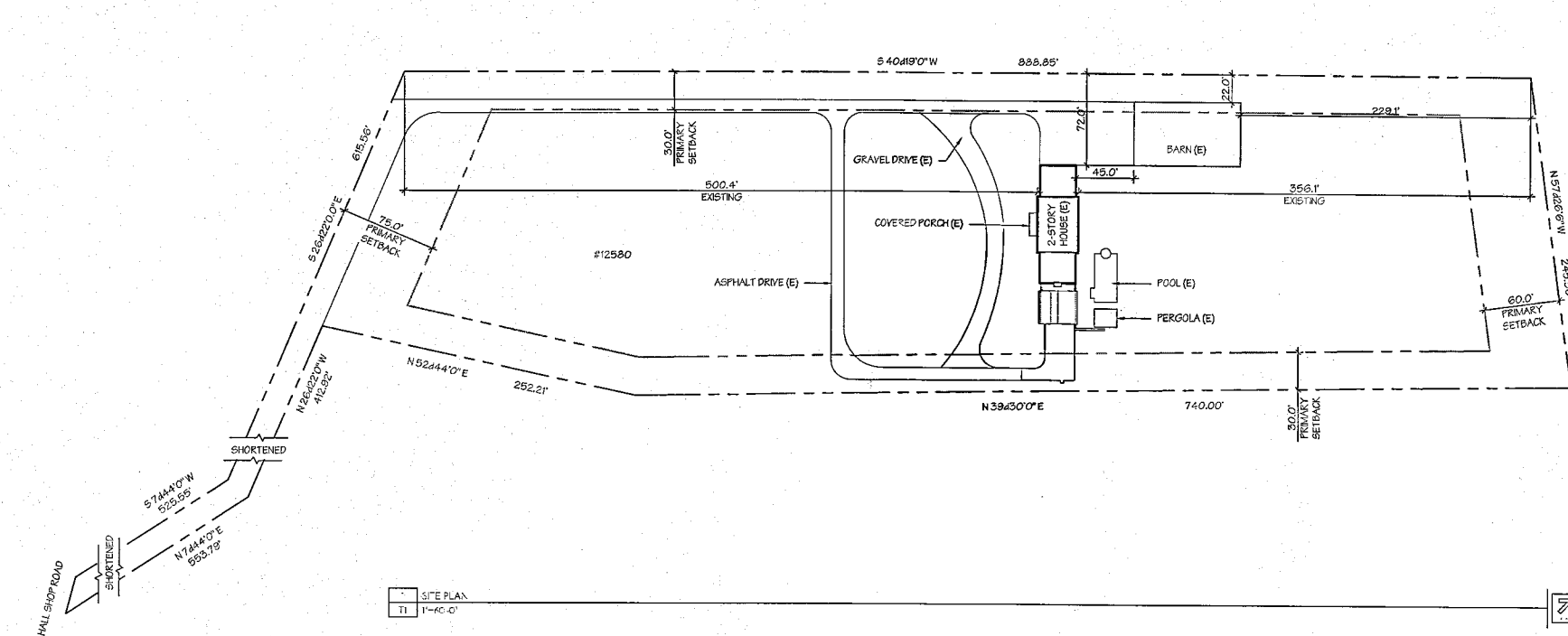
**COMMON ABBREVIATIONS**

ABV ABOVE	MECH MECHANICAL
ADJ ADJUSTABLE	MEP MECHANICAL/ELECTRICAL
AFF ABOVE FINISH FLOOR	PLUMB PLUMBING
ATC ACOUSTICAL TILE CEILING	MN MANTLEM
BLDG BUILDING	MISC MISCELLANEOUS
CLG CEILING	MO MASONRY OPENING
C CENTER LINE	MTD MOUNTED
CLR CLEAR	MTL METAL
COL COLUMN	NC NOT IN CONTRACT
CONC CONCRETE	NCM NOMINAL
COND CONDUIT	NTS NOT TO SCALE
CONT CONTINUOUS	OH OPPOSITE HAND (MARKED)
CT CARPET	OPS OPERATIONS
CTR COUNTER	PC PLUMBING CONTRACTOR
CT CERAMIC TILE	PLM PLASTIC LAMINATE
DET DETAIL	PK PINE
DA DIAMETER	PT/PNT PAINT/PANIED
DM DIMENSION	PLYD PLYWOOD
DSP DISPENSER	QT QUARRY TILE
DN DOWN	RAD RADUS
DWG DRAWING	REQ REQUIRED
EC ELECTRICAL CONTRACTOR	RH RIGHT HAND
EQ EQUAL	RHK RIGHT HAND REVERSE
EQUI EQUIPMENT	RM ROOM
ETR EXISTING TO REMAIN	RO ROUGH OPENING
EX/EXTG EXISTING	RTU ROOF TOP UNIT
EXH EXHAUST	SC SIGN CONTRACTOR
FN FINISH	SF SQUARE FEET
FRX FIXTURE	SHT SHEET
FL FLUORESCENT	SM SIMILAR
FRT FIRE RETARDANT TREATED	SPEC SPECIFICATION
FT FOOT / FEET	SQ SQUARE
FUR FURRING	SS STAINLESS STEEL
FC FIXTURE CONTRACTOR	STD STANDARD
GC GENERAL CONTRACTOR	STL STEEL
G GLASS	STM STONE
GWB GYPSUM WALL BOARD	TEN TENANT
HWD HARDWOOD	TBD TO BE DETERMINED
HM HOLLOW METAL	TAG TONGUE AND GROOVE
HT HEX/HT	TYF TYPICAL
HVAC HEATING, VENTILATION & AIR CONDITIONING	UNO UNLESS NOTED OTHERWISE
HW HOT WATER	VAV VARIABLE AIR VOLUME CONTROL
R RICH	YCT VINYL COMPOSITION TILE
INT INTERIOR	VDU VIDEO DISPLAY UNIT
KP GOK PLATE	VP VERTICAL
LAM LAMINATE	YVL VINYL
LH LEFT HAND	WD WOOD
LHR LEFT HAND REVERSE	WH HOT WATER HEATER
MAX MAXIMUM	±/- DIMENSION MAY VARY
MC MECHANICAL CONTRACTOR	

**STANDARD DRAWING SYMBOLS**



**SITE PLAN**



**CODE NOTES**

- ALL WORK TO COMPLY WITH REQUIREMENTS OF
- THE 2021 INTERNATIONAL RESIDENTIAL CODE, MD EDITION
  - HOWARD COUNTY ZONING CODE
  - OTHER CODES AND REQUIREMENTS THAT MAY BE DEEMED TO BE APPLICABLE

CONSTRUCTION TYPE: V  
NON-SPRINKLERED

DESIGN WIND LOAD: 15PSF DESIGN SNOW LOAD: 25PSF  
DESIGN DEAD LOAD: 15PSF DESIGN LIVE LOAD: 30PSF

ZONING: RR-DEO, RURAL RESIDENTIAL

SITE AND BUILDING PROPERTIES	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	40,000 SF	250,421 SF (8.75 AC)	NO CHANGE
FRONT SETBACK	75 FT	500.4 FT	NO CHANGE
REAR SETBACK	60 FT	356.1 FT	NO CHANGE
SIDE SETBACK	30 FT	72.0/84.6 FT	NO CHANGE
MAX HEIGHT	40 FT	34 FT	NO CHANGE

**SCOPE OF WORK**

**BASEMENT REMODEL:**

- REMODEL KITCHEN INTO WET BAR (REMOVAL OF COOKING APPLIANCES)
- REMOVAL OF WASHER/DRYER CLOSET
- REMODEL TWO EXISTING FULL BATHS
- ADD EGRESS WINDOW AND WINDOW WELL TO EXISTING BEDROOM
- REMOVE NON-BEARING WALLS COMBINING TWO NON-COMFORMING BEDROOMS INTO ONE LIVING SPACE.

**ELECTRICAL:**

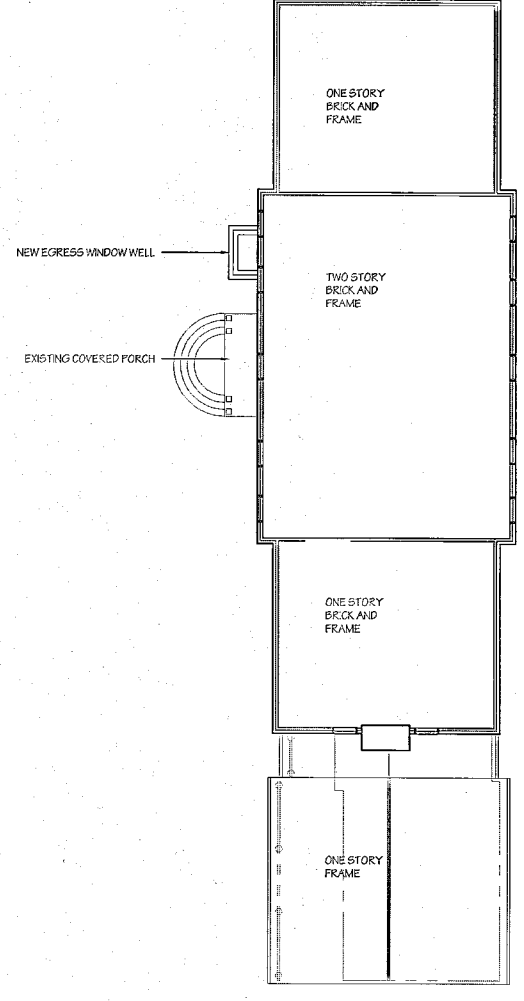
- MOVE ONE ELECTRIC PANEL 3' OVER TO ACCOMMODATE NEW DOORWAY.
- REMOVE OUTLETS FROM WALLS/AREAS TO BE DEMOLISHED.
- REPLACE EXISTING LIGHTING AND SWITCHES WITH NEW AS SHOWN.
- REPLACE/REROUTE CIRCUITS TO OUTLETS AS SHOWN.

**PLUMBING:**

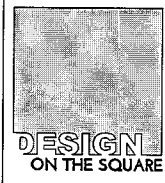
- REMODEL ONE BATH EXPANDING THE SHOWER AREA
- REMODEL ONE BATH, MOVING TOILET AND SINK, AND REPLACING TUB WITH SHOWER
- REMODEL KITCHEN REPLACING SINK AND MOVING ICE MAKER LINE
- DEMOL LAUNDRY, REPLACING WITH PREP SINK

**HVAC:**

- RECONFIGURE EXISTING DIFFUSERS TO ACCOMMODATE NEW CEILING TILES, NEW DIFFUSERS AND RETURN GRILLES



2 1/4" = 1'-0" H/C USE PLAN  
SCALE: 1/8" = 1'-0"



7057 OFFICE BOX 4641  
SUITE 101 FULFORD RD  
FULTON, MD 20759-4641  
(240) 8-DESIGN

VP: BRIAN VIEHLAND, AIA  
ARCHITECT

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