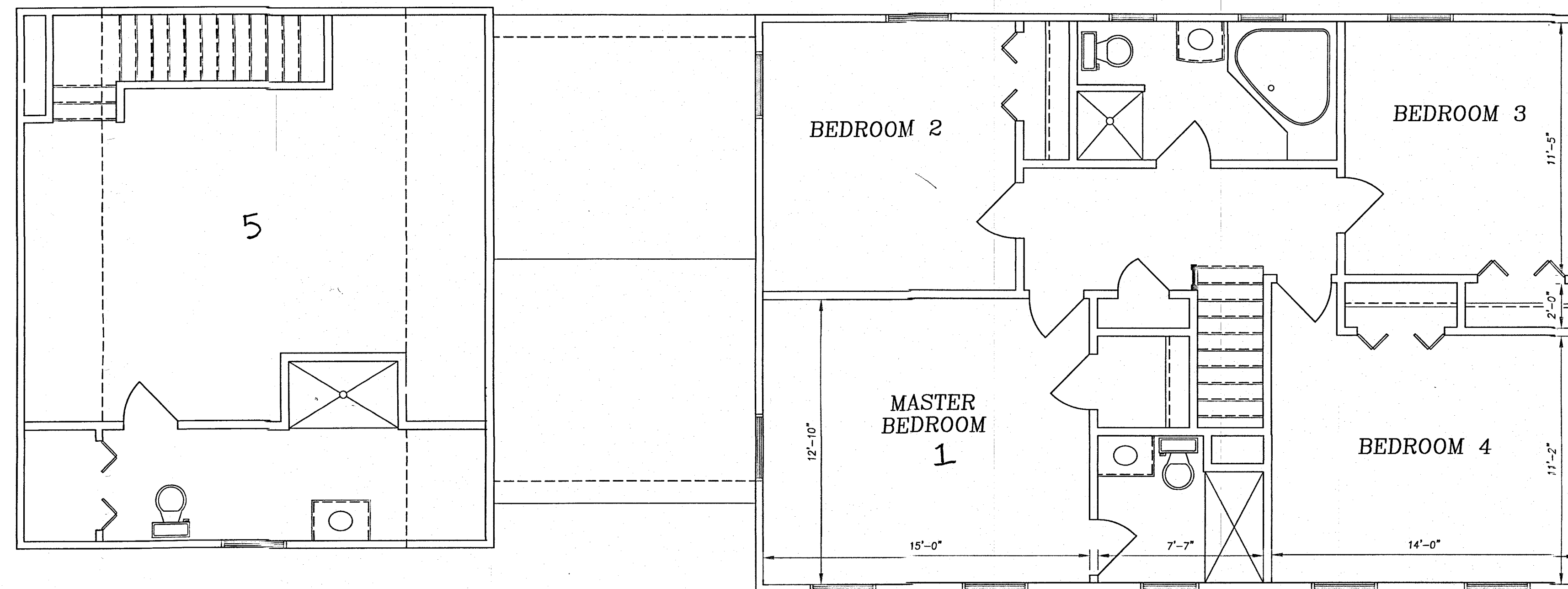
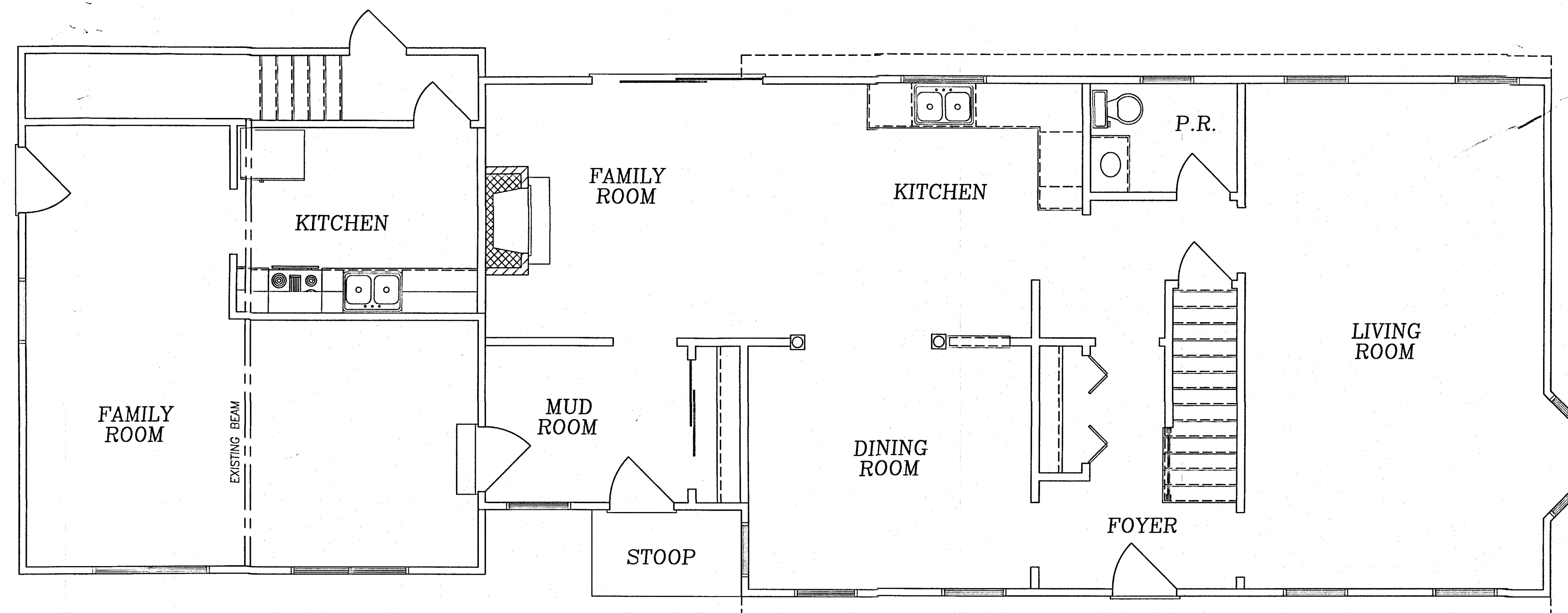




EXISTING SECOND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

REVISIONS

7-14-22
8-4-22
8-23-22
9-8-22
9-25-22

PROPOSED RENOVATION FOR:
MR. & MRS. MURPHY
3272 ROSEMARY LANE
WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB
CUSTOMER: MURPHY
DATE: 7-14-21
SCALE: 1/4" = 1'-0"
SHEET NO. 1 OF 11

DRB
9/27/22

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EXISTING FRONT ELEVATION



EXISTING RIGHT SIDE ELEVATION

REVISIONS

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8-23-22
9-8-22
9-25-22

PROPOSED RENOVATION FOR:

MR. & MRS. MURPHY

3272 ROSEMARY LANE

WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB

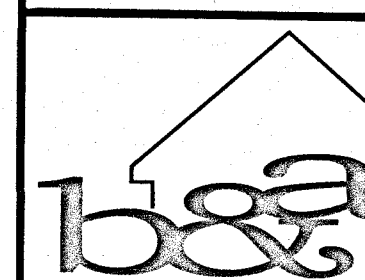
CUSTOMER MURPHY

DATE: 7-14-21

SCALE: 1/4" = 1'-0"

SHEET NO. 2 OF 11

DRB
9/27/22



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A-2

REVISIONS
7-14-22
8-4-22
8-23-22
9-8-22
9-25-22



EXISTING REAR ELEVATION



EXISTING LEFT SIDE ELEVATION

PROPOSED RENOVATION FOR:
 MR. & MRS. MURPHY
 3272 ROSEMARY LANE
 WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB
 CUSTOMER MURPHY
 DATE: 7-14-21
 SCALE: 1/4" = 1'-0"
 SHEET NO. 3 OF 11

DRB
 9/27/22

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DRAWN BY:	DRB
CUSTOMER	MURPHY
DATE:	7-14-21
SCALE:	1/4" = 1'-0"
SHEET NO.	4 OF 11



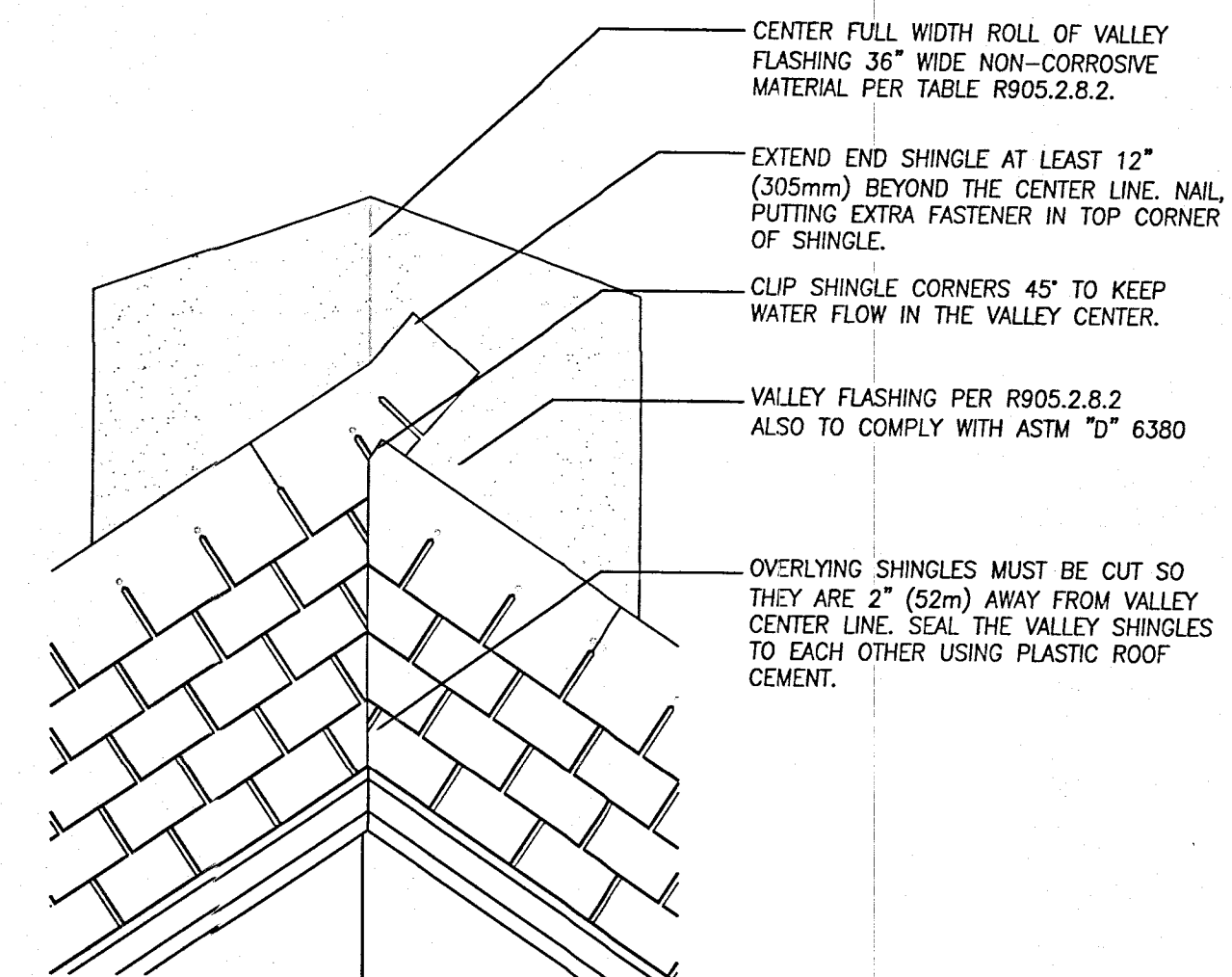
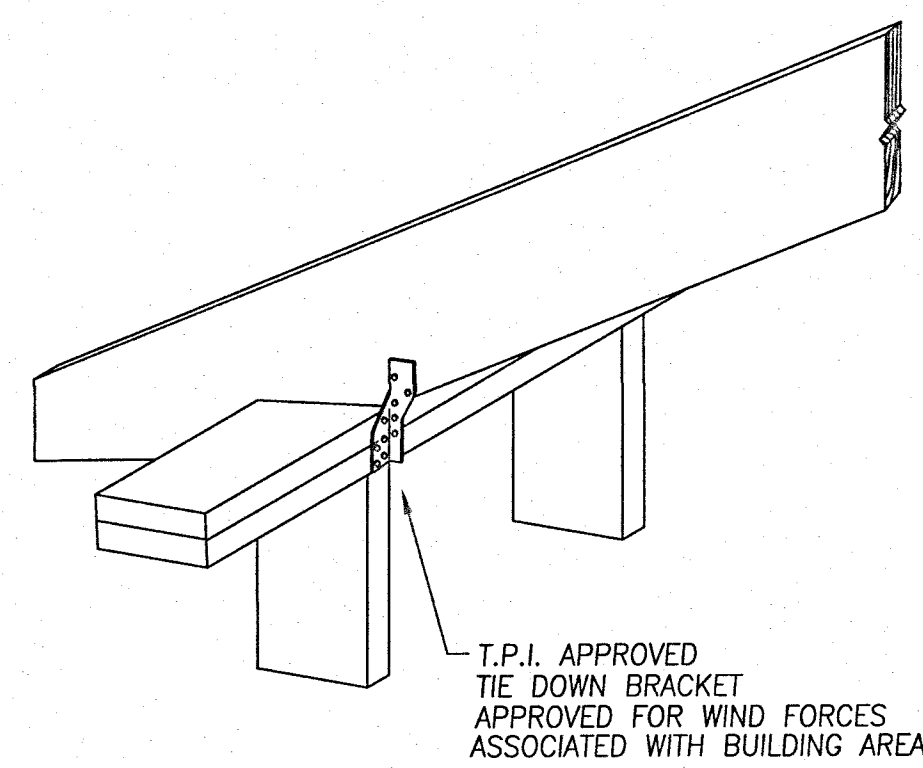
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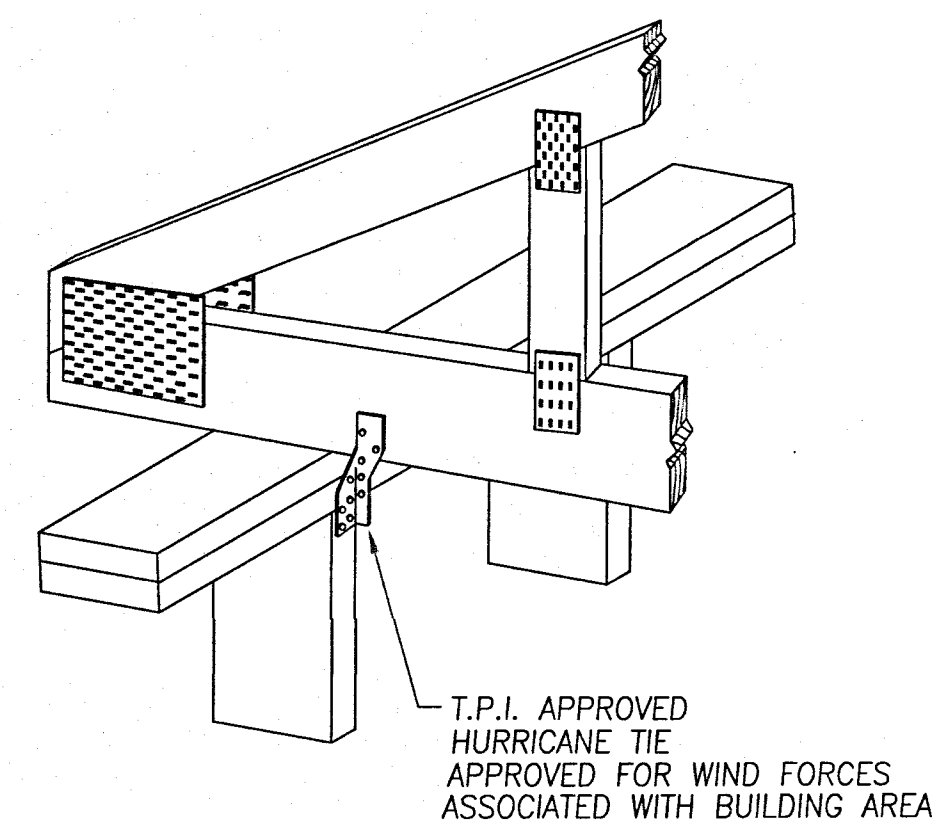


CLIMATIC GEOGRAPHIC DESIGN CRITERIA

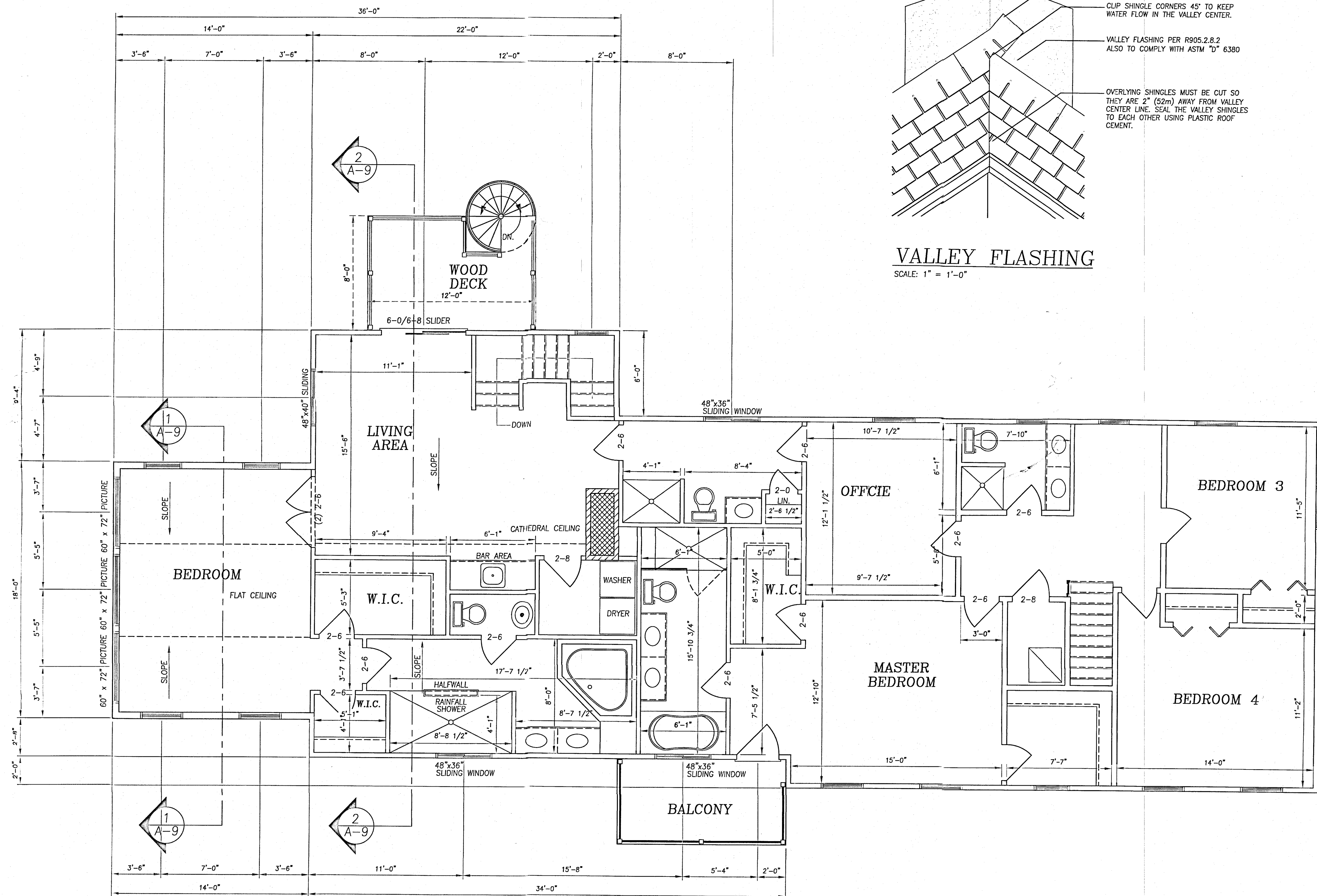
GROUND SNOWLOAD	WIND DESIGN					SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	INSULATION				AIR FREEZING INDEX	MEAN ANNUAL HIGH TEMP.
	SPEED (MPH)	TOPOGRAPHICAL EFFECTS	SPECIAL WIND REGION	WIND BOURNE DESIGN ZONE	EXPLOSION CATEGORY		WEATHERING	FROST LINE DEPTH	TERMITES			ATTIC	2nd WALL	FLOOR	SUB SLAB		
30 POUNDS PER SQUARE FOOT	115 MPH	NO	NO	NO	B	SEISMIC CATEGORY A	SEVERE	30 INCHES	MODERATE TO HEAVY	13°F	YES	R-49	R-20 OF 1345	R-19	R-10	300	55°

VALLEY FLASHING
SCALE: 1" = 1'-0"

HURRICANE TIE DETAIL



HURRICANE TIE DETAIL



PROPOSED SECOND FLOOR PLAN

REVISIONS

7-14-22
8-4-22
8-23-22
9-8-22
9-25-22

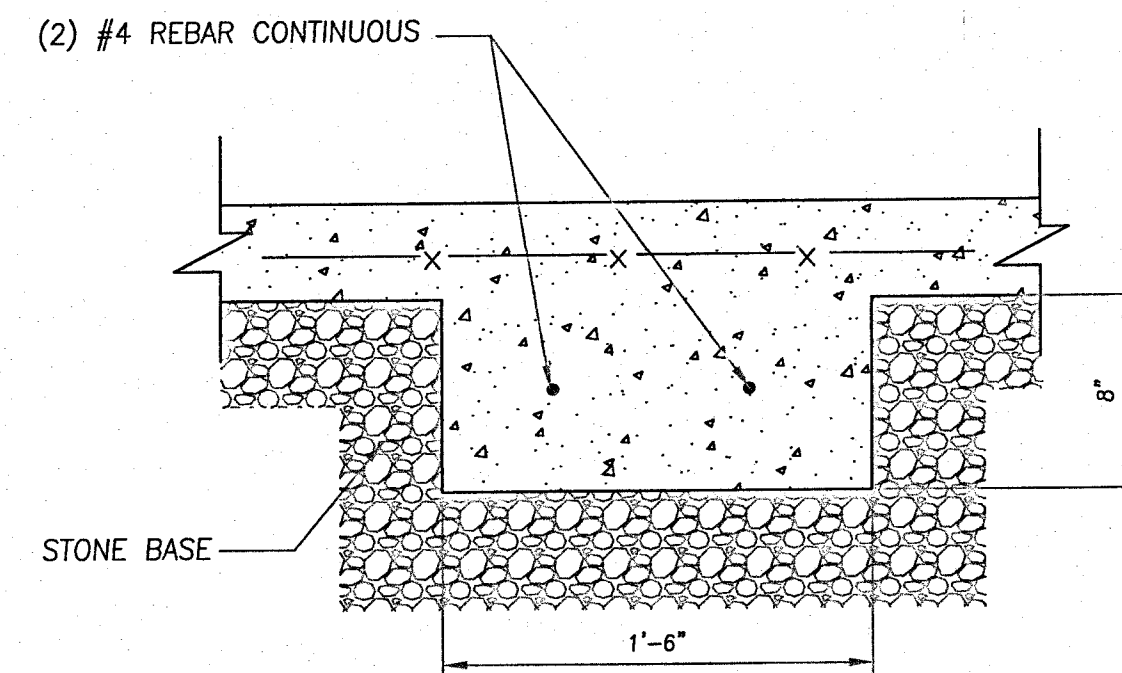
PROPOSED RENOVATION FOR:
MR. & MRS. MURPHY
3272 ROSEMARY LANE
WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB
CUSTOMER: MURPHY
DATE: 7-14-21
SCALE: 1/4" = 1'-0"
SHEET NO. 5 OF 11

DRB
9/21/22

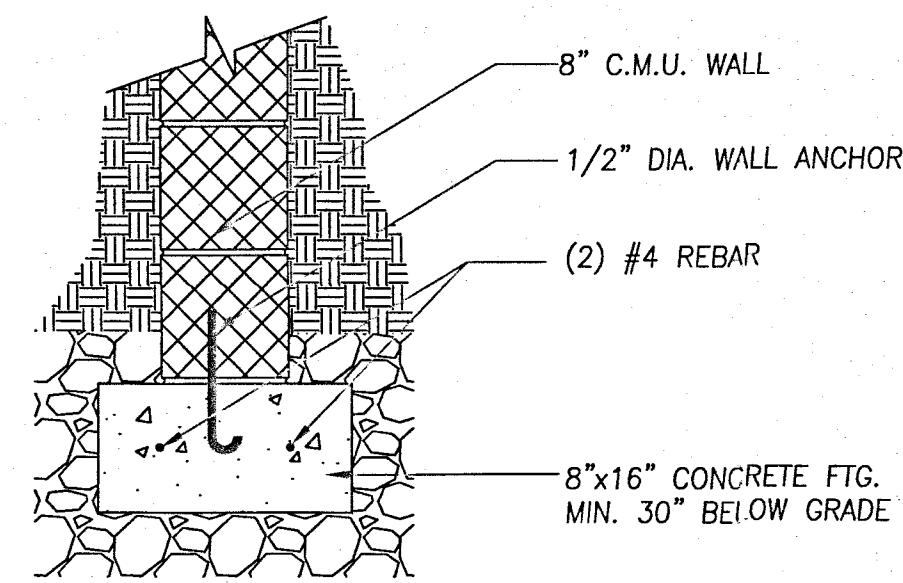
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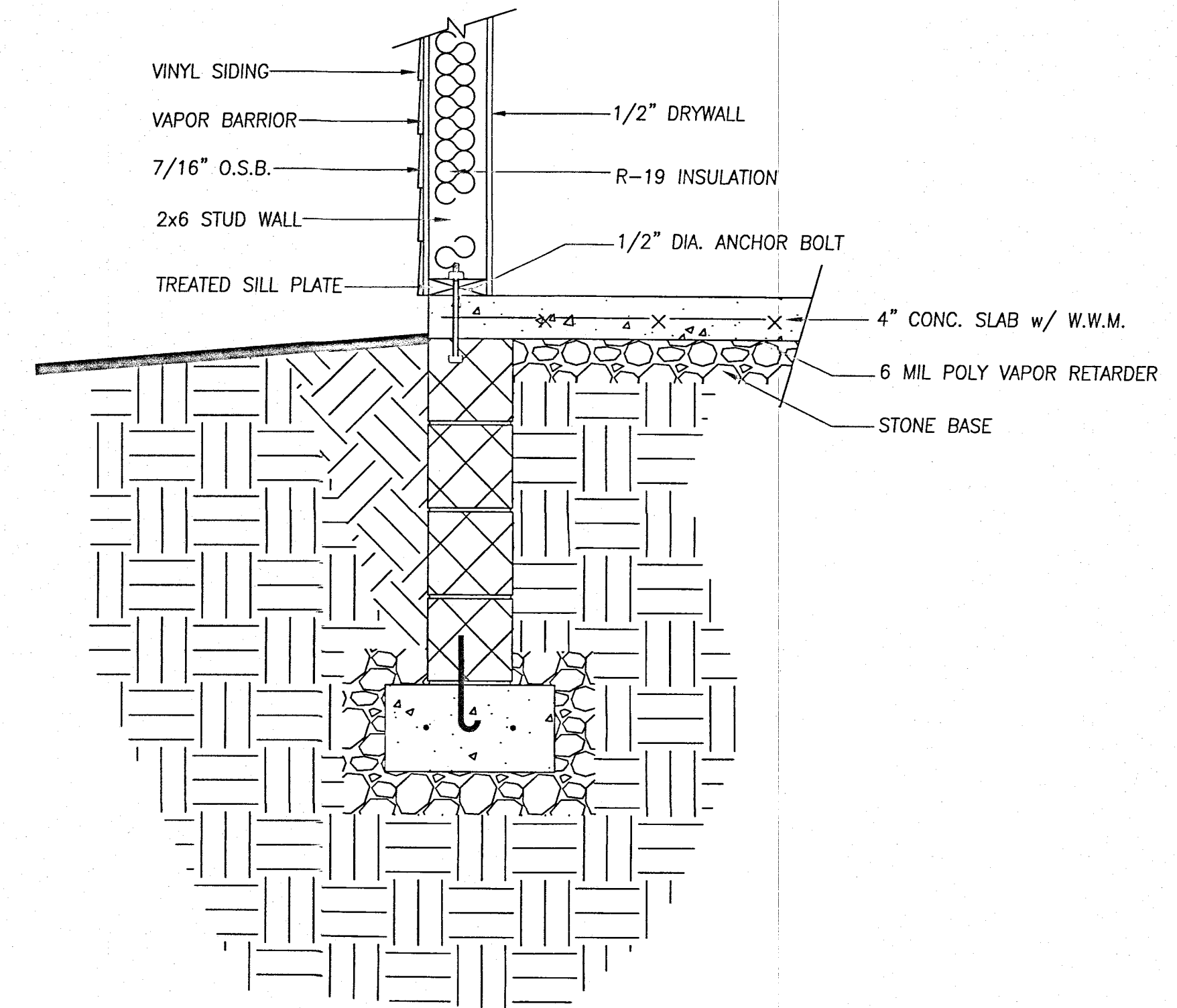
TRENCH FOOTING DETAIL

SCALE: 1-1/2" = 1'-0"



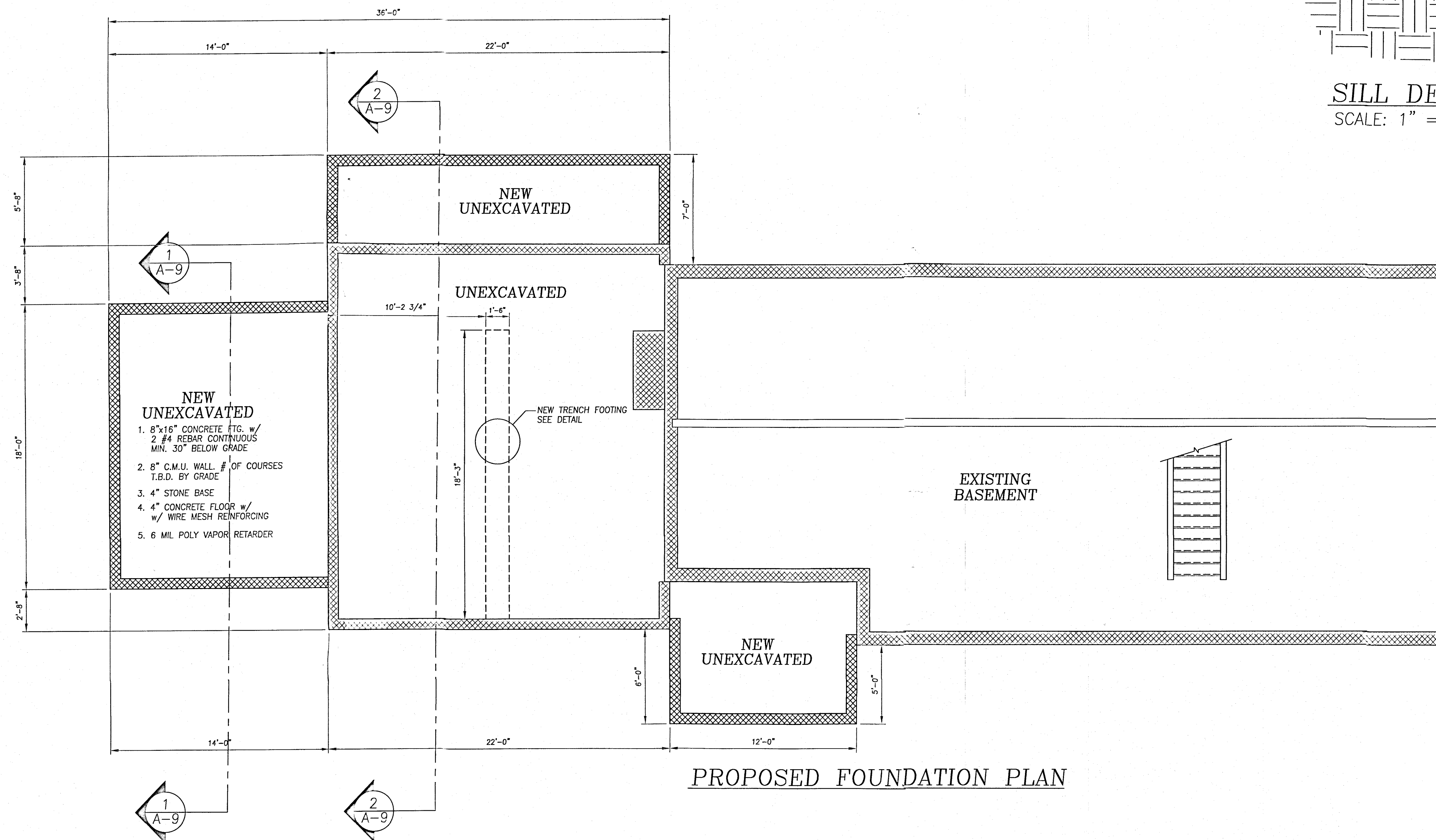
FOOTING DETAIL

SCALE: 1" = 1'-0"



SILL DETAIL

SCALE: 1" = 1'-0"



PROPOSED FOUNDATION PLAN

REVISIONS

7-14-22
8-4-22
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9-8-22
9-25-22

PROPOSED RENOVATION FOR:
MR. & MRS. MURPHY
3272 ROSEMARY LANE
WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB
CUSTOMER MURPHY
DATE: 7-14-21
SCALE: 1/4" = 1'-0"
SHEET NO. 6 OF 11

[Signature]
9/27/22

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REVISIONS
7-14-22
8-4-22
8-23-22
9-8-22
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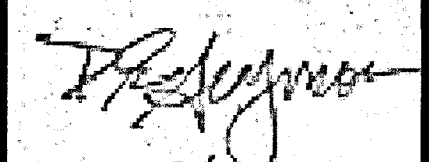
PROPOSED RENOVATION FOR:

MR. & MRS. MURPHY

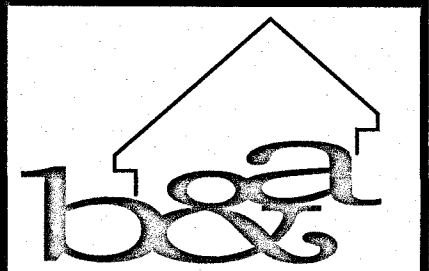
3272 ROSEMARY LANE

WEST FRIENDSHIP MD. 21794

DRAWN BY:	DRB
CUSTOMER	MURPHY
DATE:	7-14-21
SCALE:	1/4" = 1'-0"
SHEET NO.	7 OF 11



9/27/22

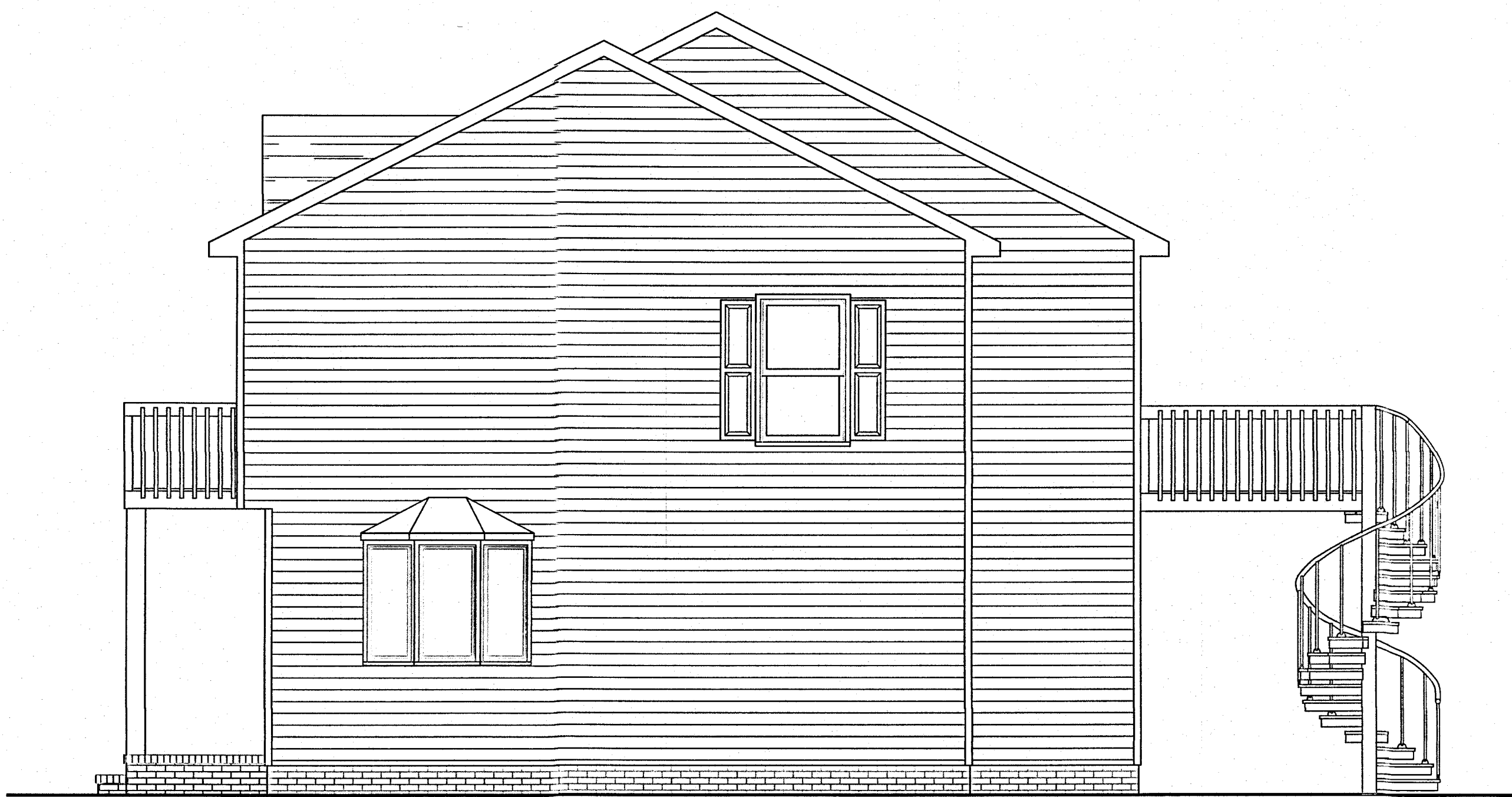


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PROPOSED FRONT ELEVATION



PROPOSED RIGHT SIDE ELEVATION

REVISIONS

7-14-22
8-4-22
8-23-22
9-8-22
9-25-22

PROPOSED RENOVATION FOR:
MR. & MRS. MURPHY
3272 ROSEMARY LANE
WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB
CUSTOMER MURPHY
DATE: 7-14-21
SCALE: 1/4" = 1'-0"
SHEET NO. 8 OF 11

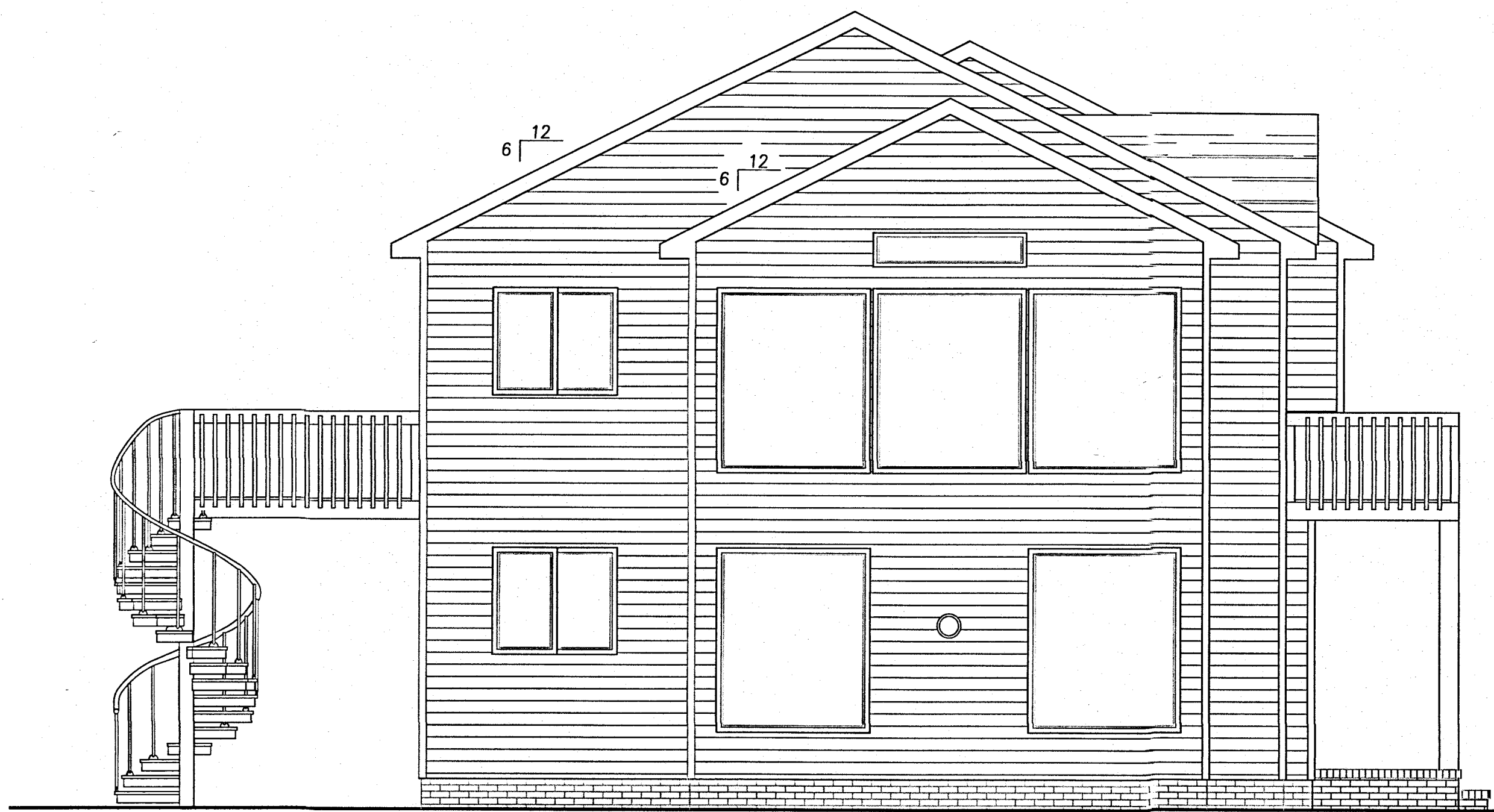
DRB
9/27/22

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PROPOSED REAR ELEVATION



POPOSED LEFT SIDE ELEVATION

REVISIONS

7-14-22
8-4-22
8-23-22
9-8-22
9-25-22

PROPOSED RENOVATION FOR:
MR. & MRS. MURPHY
3272 ROSEMARY LANE
WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB
CUSTOMER MURPHY
DATE: 7-14-21
SCALE: 1/4" = 1'-0"
SHEET NO. 8 OF 11

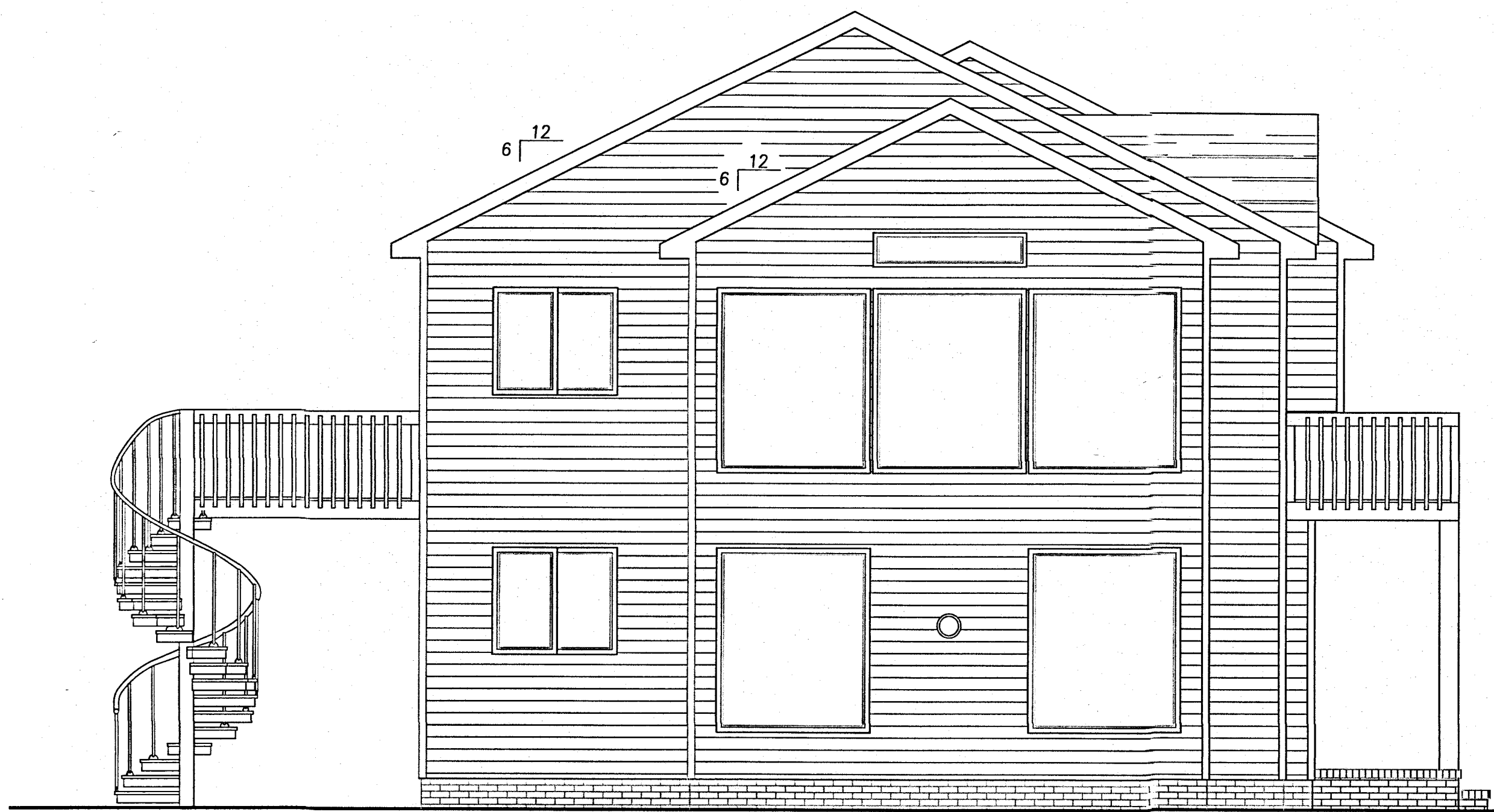
DRB
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PROPOSED REAR ELEVATION



POPOSED LEFT SIDE ELEVATION

1. CODE COMPLIANCE AND STANDARDS

- A) Comply with provisions of Local, County and State laws and regulations
- B) Comply with MD MISS UTILITY, requiring, but not limited to, contractors intending to perform excavation or demolition work in a state within a political subdivision ascertain the location and type of utility lines and pipes at each site and notifies the utility companies three working days in advance of performing the excavation or demo.
Call 811 or 1-800-257-7777
- C) Comply with the Federal Occupational Safety and Health Act (1970) including specific responsibilities to perform, report and record requirements
- D) Comply with the following basic requirements, unless the requirements of the authority having jurisdiction are more strict.

2. FOUNDATION

- A) Bear footings on soil capable of supporting 2,000 psf.
- B) Bottom of footings shall be at least 30" below grade, 12" into undisturbed soil or on engineered fill, whichever is lower. (N/A for Superior Walls)
- C) Unless noted otherwise, for formed wall footings provide cont. conc. 20" wide x 10" deep for trench footings provide cont. conc. 24" wide x 8" deep (N/A for Superior Walls)
- D) Step wall footings (where required) at a ratio of 2 vertical to 1 vertical with a max. rise of 24" in any individual step. (N/A for Superior Walls)
- E) Do not back fill against foundation walls until the wall has sufficient strength and has been anchored according to manufacturers requirements
- F) At sill plates provide anchored per drawing details

3. CONCRETE

- A) Concrete shall be air entrained. total air content shall not be less than 5% or more than 7%
- B) Min. compression strength:
Basement walls, foundations and other conc. not exposed to weather: 2,500
Basement slabs and interior slabs on grade, except garage floor slabs: 2,500
Basement walls, foundations walls, exterior walls and other vertical conc. work exposed to the weather: 3,000
Porches, carports slabs and steps exposed to the weather, and garage floor slabs: 3,500

4. STRUCTURAL STEEL

- A) Materials
- 1) Structural steel shapes, plates and bars: ASTM A 36, carbon steel
 - 2) Electric resistance welded steel pipe: ASTM A 53 Grade B
 - 3) Common bolts: ASTM A 307
 - 4) High-strength bolts: ASTM A 325
 - 5) Threaded / unthreaded anchor bolts / tie rods: ASTM A 36 or 307 as applicable.
- B) Shop prime steel with lead and chromate free, non-asphaltic, rust-inhibiting primer.
- C) fabricate and erect structural steel according to AISC specs. and tolerance limits
- D) Set base and bearing plates on wedges, shims, or setting nuts. tighten anchor bolts cut off wedges or shims flush with edge of plate and pack grout solidly between bearing surfaces and plates.
- E) Weld connections: comply with AWS D1.1

5) FRAMING

- A) DESIGN LOADS
- 1) Habitable rooms (other than sleeping rooms)
 - a) Live load: 40 psf
 - b) Dead load: 10 psf
 - 2) Sleeping areas
 - a) Live load: 30 psf
 - b) Dead load: 10 psf
 - 3) Attic (limited storage accessible with areas of vertical open rectangular section 24" wide x 42" high)
 - a) Live load: 20 psf
 - b) Dead load: 10 psf
 - 4) Attic (no living area, no storage)
 - a) Live load: 10 psf
 - b) Dead load: 10 psf
 - 5) Stairs:
 - a) See stair detail drawing
 - 6) Hand & guardrails:
 - a) See stairs detail drawing
 - 7) Roof:
 - a) Snow load: 30 psf
 - b) Dead load: 10 psf top chord, 10 psf bottom chord
 - 8) Decks:
 - a) Live load: 40 psf
 - b) Dead load: 10 psf
- B) Provide double trim joists where dimensional floor joists run parallel to exterior walls. Engineered floor systems: comply with the system manufacturer's requirements
- C) Load bearing walls: 2x6 studs @ 16" O.C. with 1/2" min. GWB. on at least one side. Provide double top plates.
- D) Interior partitions: 2x4 studs @ 24" O.C. with 1/2" min GWB. Provide on top plate
- E) All beam / header supporting studs (columns) shall transfer load (including through any floor levels) to a supporting beam, header, column or foundation
- F) A PA licensed design professional shall design wood roof trusses, laminated wood structural members and structural steel not sized on the drawings. Provide engineered calculations and truss designs (stamped with Engineer's professional seal)
- G) Provide 2x wood nailer for steel supporting joists. Fasten nailer to steel with 1/2" diameter bolts spacing as provided by steel manufacturer.
- H) Openings in the floor framing shall be framed with header and trimmer joists.
- 1) when header joist span does not exceed 4'-0" the header joists may be a single member the same size as the floor joists
 - 2) Single trimmer joist may be used to carry header joists located within 3'-0" of trimmer joists bearing.
 - 3) When header joist spans exceed 4'-0" trimmer joists and header joists shall be doubled and of sufficient cross section to support the floor joists framing into the header
 - 4) use approved hangers for the header joist to trimmer joist connection when the header joist span exceeds 6'-0"

- K) Provide double floor joists or trusses beneath walls which run parallel to the joists / trusses (verify with builder)
- L) Provide pressure treated wood for:
- 1) Sill plates (see termite protection detail)
- M) Install engineered wood products to comply with certified manufacturer's requirements
- N) Install a continuous horizontal blocking row at mid-height of single story partitions greater than 10'-0" high and at midpoint of multistory partitions

6) GLAZING

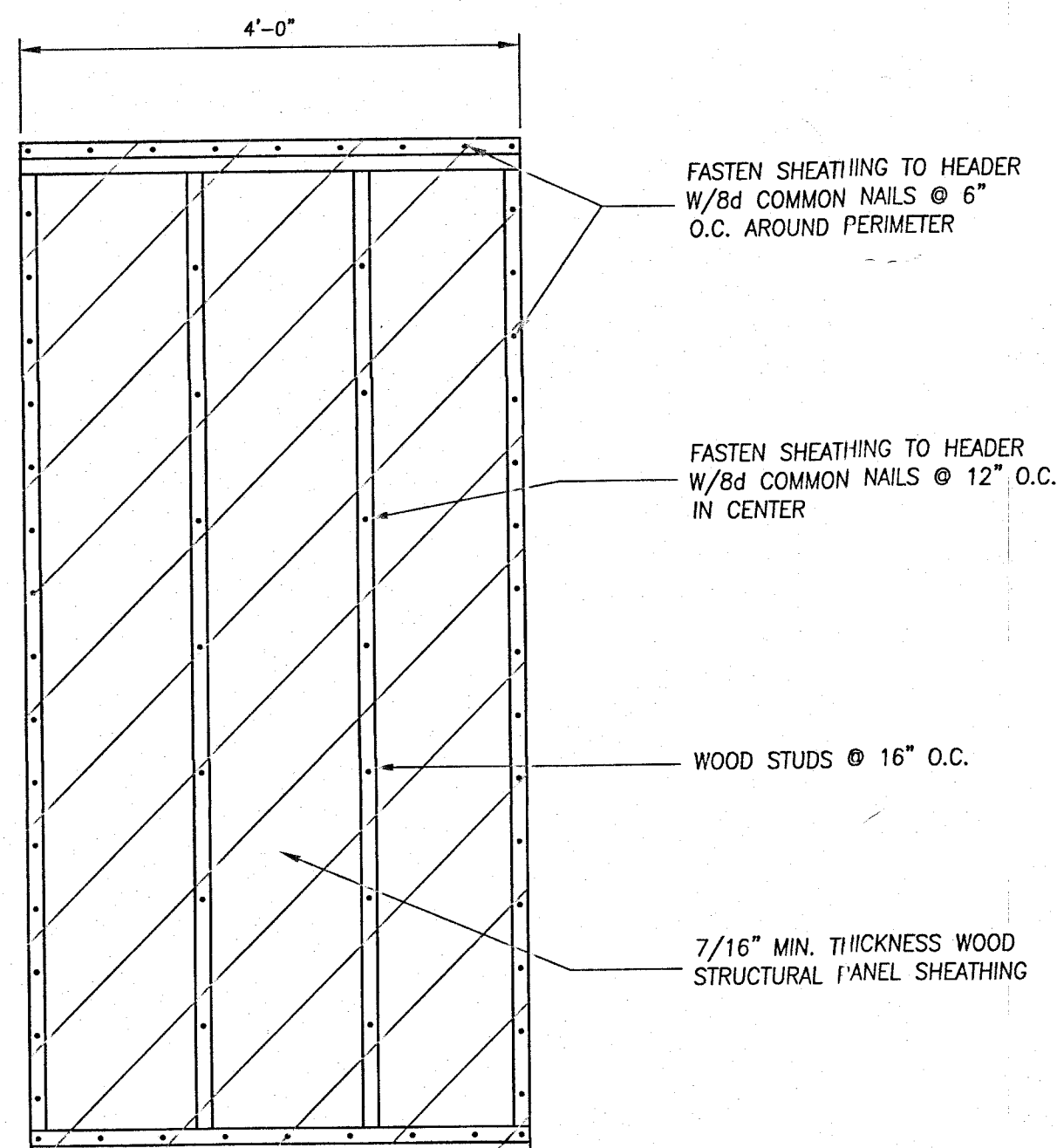
- A) Provide safety glazing in the following locations.
- 1) Ingress and means of egress doors
 - 2) Fixed and sliding panels of sliding (patio) door assemblies and panels in swinging doors
 - 3) Storm doors and glazing of unframed swinging doors
 - 4) in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24" arc of the door in a closed position and whose bottom edge is less than 60" above the floor or walking surface.
 - 5) In doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers.
above drain inlet
 - 6) In an individual fixed or operable panel other than those listed above that meets ALL of the following criteria:
 - a) Individual pane size exceeds 9 sq. ft.
 - b) Bottom edge less than 18" above the floor
 - c) Top edge is greater than 36" above the floor
 - d) One or more walking surfaces within 36" horizontally of the glazing
 - 7) All glazing in railings regardless of an area or height above a walking surface
 - 8) Glazing in walls and fences enclosing indoor and outdoor swimming pools, hot tubs, and spas where the bottom edge of the glazing is less than 60" above a walkway surface and within 60" horizontally of the waters edge.
 - 9) Glazing adjacent to stairways, landings and ramps within 36" horizontally of a walking surface when the exposed surface of the glass is less than 60" above the plane of the adjacent walking surface
 - 10) Glazing adjacent to stairways within 60" horizontally of the bottom tread of a stairway the adjacent walking surface

7) SMOKE DETECTORS

- Ceiling mounted 120V Interconnected smoke detectors w/ battery backup are to be installed in each sleeping room, outside each separate sleeping area in the immediate vicinity of the bedroom. There is to be one located on each additional story of the dwelling including basements but excluding crawl spaces and attics

8) EXITS

- A) Each sleeping room shall have at least one operable window approved for egress, complying with the following:
- 1) Sill height = 44" maximum
 - 2) net clear opening = 5.7 sq. ft.
 - 3) net clear opening height = 24"
 - 4) Net clear opening width = 20"
- operable from the interior without the use of a key. provide a 3'x3' (min.) landing on each side of the egress door.



WOOD STRUCTURAL PANEL ELEVATION
SCALE: 3/4" = 1'-0"

9) STAIRWAYS

- A) See stair detail drawings

10) GUARDRAILS

- A) See stair detail drawings

11) GARAGES

- A) The garage shall be separated from the residence and it's attic area by not less than 1/2" gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8" type "X" gypsum board or equivalent. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2" gypsum board or equivalent.
- B) Door and frame assemblies between a garage and adjacent interior space shall have a min. fire rating of 20 minutes
- C) Slope garage floor toward the vehicle entry door.

12) INSULATION

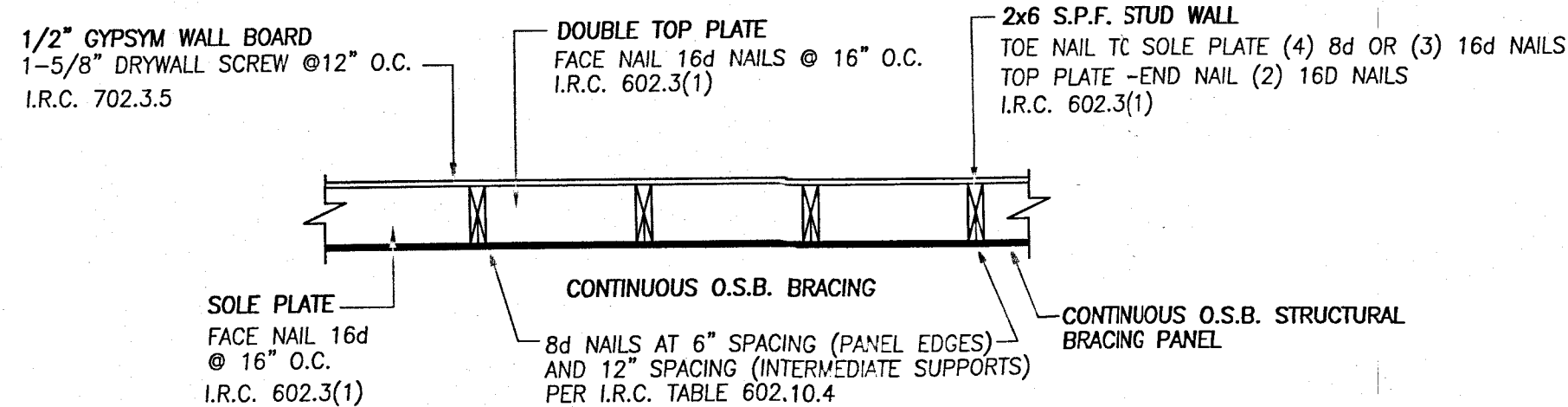
Climate Zone = 4
Hdd = 5,000 - 5,499
Max. Glazing (U FACTOR) = 0.35
Cly. R Value = R-42
Wall R Value = R-21
Floor R Value = R-19
Basement wall R Value = R-9 with < 50% exposed / R-18 > 50% exposed
Slab Perimeter & Depth = R-6 / 2FT.
Crawl Space R Value = R-10

13) MISC.

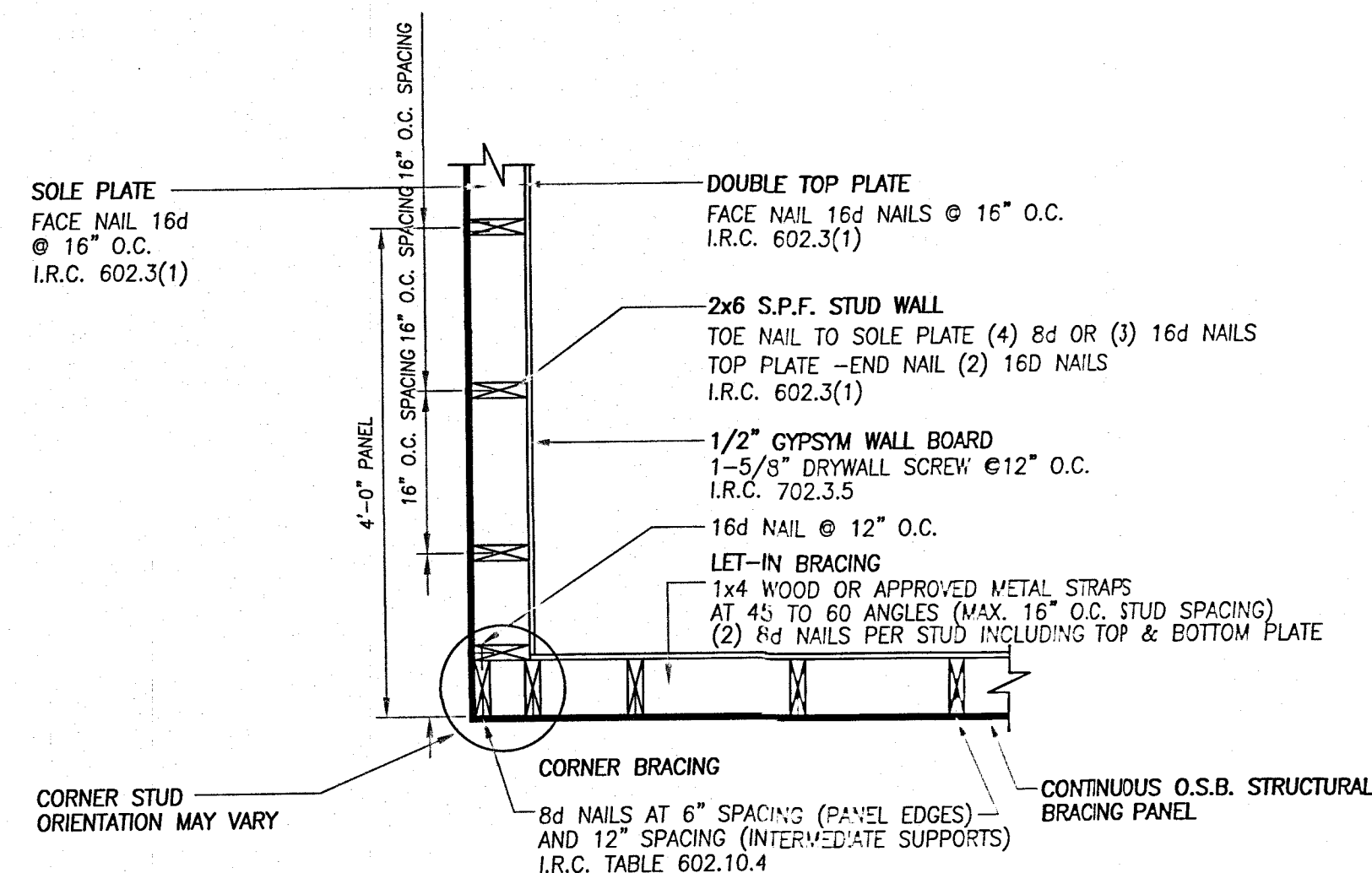
- ☐ BATHROOM EXHAUST FAN (VENTED TO SOFFIT) TO BE MIN. 50 CFM
1. BEARING WALL HEADERS TO BE (2) 2 x10 SPF KD #2 UNLESS OTHERWISE NOTED
 2. DOUBLE 2x SOLID WOOD STUDS TO BEAR UNDER EACH END OF (2) 2 x10 HEADERS 8'-0" SPAN OR GREATER. SINGLE 2x JACK STUDS (IN EACH END OF HEADERS WITH A CLEAR SPAN LESS THAN 8'-0" UNLESS NOTED

CLIMATIC GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	INSULATION				AIR FREEZING INDEX	MEAN ANNUAL HIGH TEMP.	
	SPEED (MPH)	TOPOGRAPHICAL EFFECTS	SPECIAL WIND REGION	WIND BOURNE DEBRIS ZONE		EXPOSURE CATEGORY	WEATHERING	FROST LINE DEPTH			TERMITE	ATTIC	2nd WALL	FLOOR			SUB SLAB
30 POUNDS PER SQUARE FOOT	115 MPH	NO	NO	NO	B	SEISMIC CATEGORY A	SEVERE	30 INCHES	MODERATE TO HEAVY	13°F	YES	R-48	R-20 or 15+5	R-19	R-10	300	55°



WOOD STRUCTURAL PANEL PLAN VIEW
SCALE: 3/4" = 1'-0"



WOOD STRUCTURAL PANEL CORNER WALL BRACING DETAIL
SCALE: 3/4" = 1'-0"

REVISIONS

7-14-22
8-4-22
8-23-22
9-8-22
9-25-22

PROPOSED RENOVATION FOR:

MR. & MRS. MURPHY

3272 ROSEMARY LANE

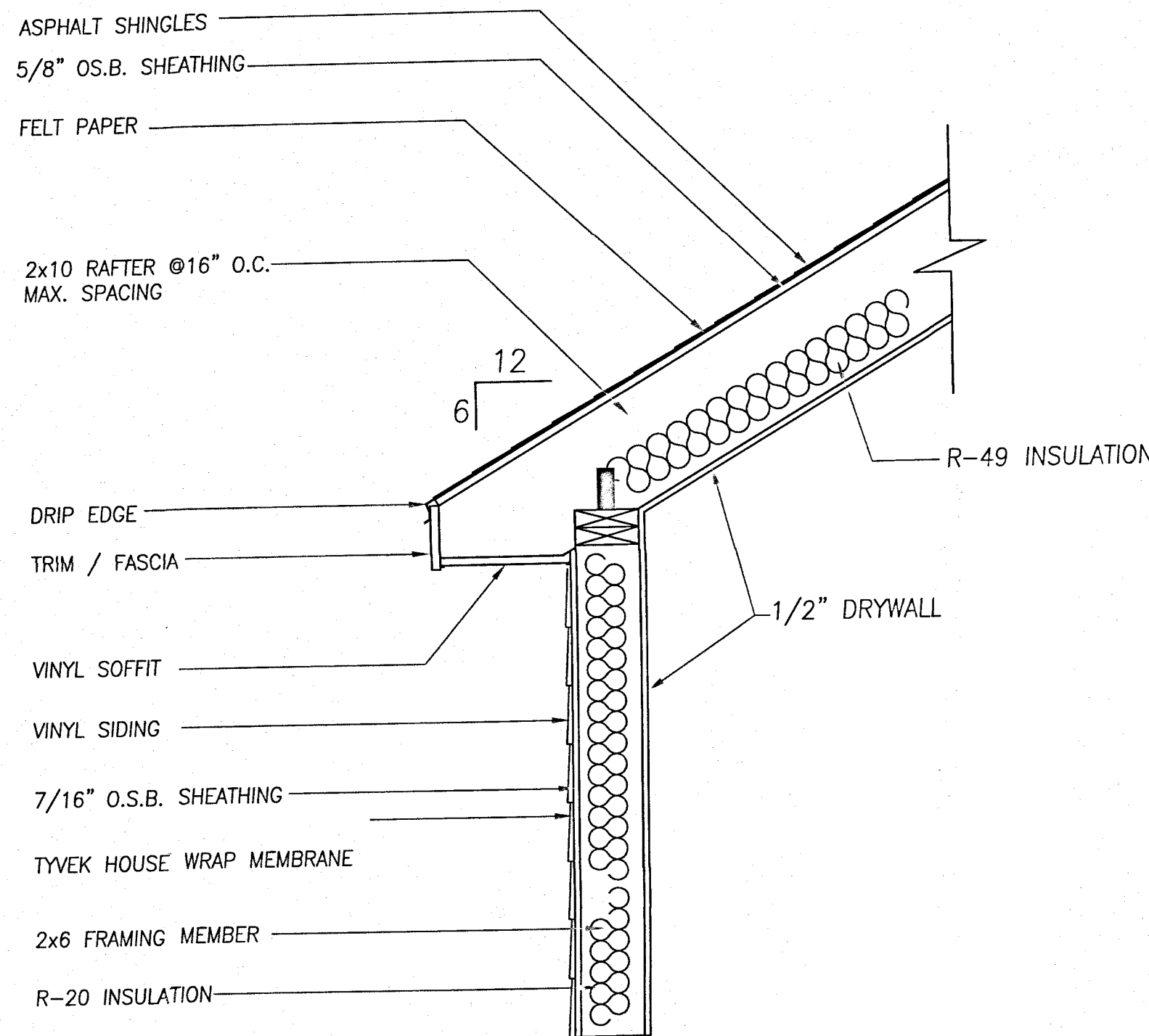
WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB
CUSTOMER: MURPHY
DATE: 7-14-21
SCALE: 1/4" = 1'-0"
SHEET NO. 9 OF 11

[Signature]
9/27/22

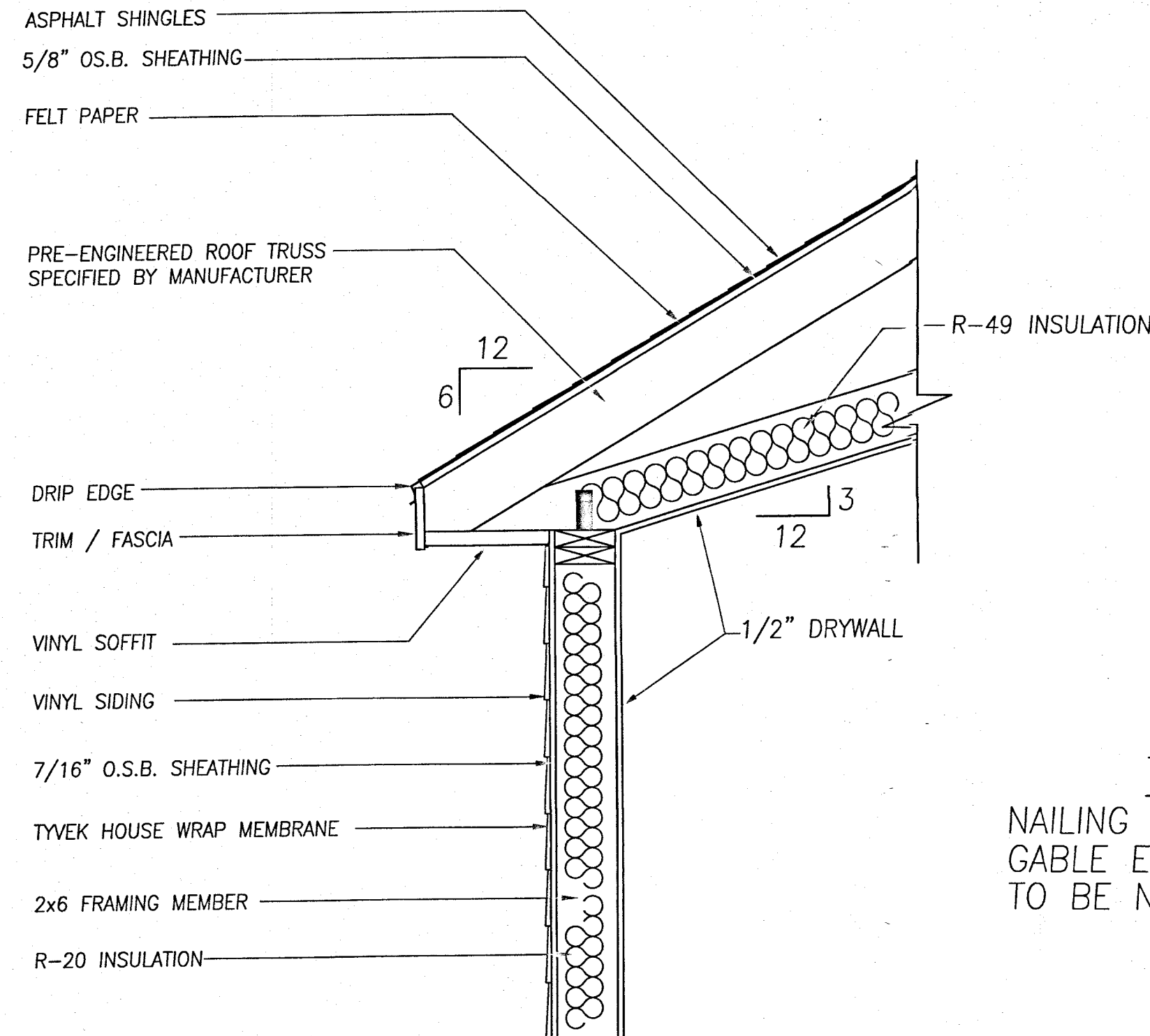
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NEW FREEDOM, PA 17349
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RAFTER EAVE DETAIL

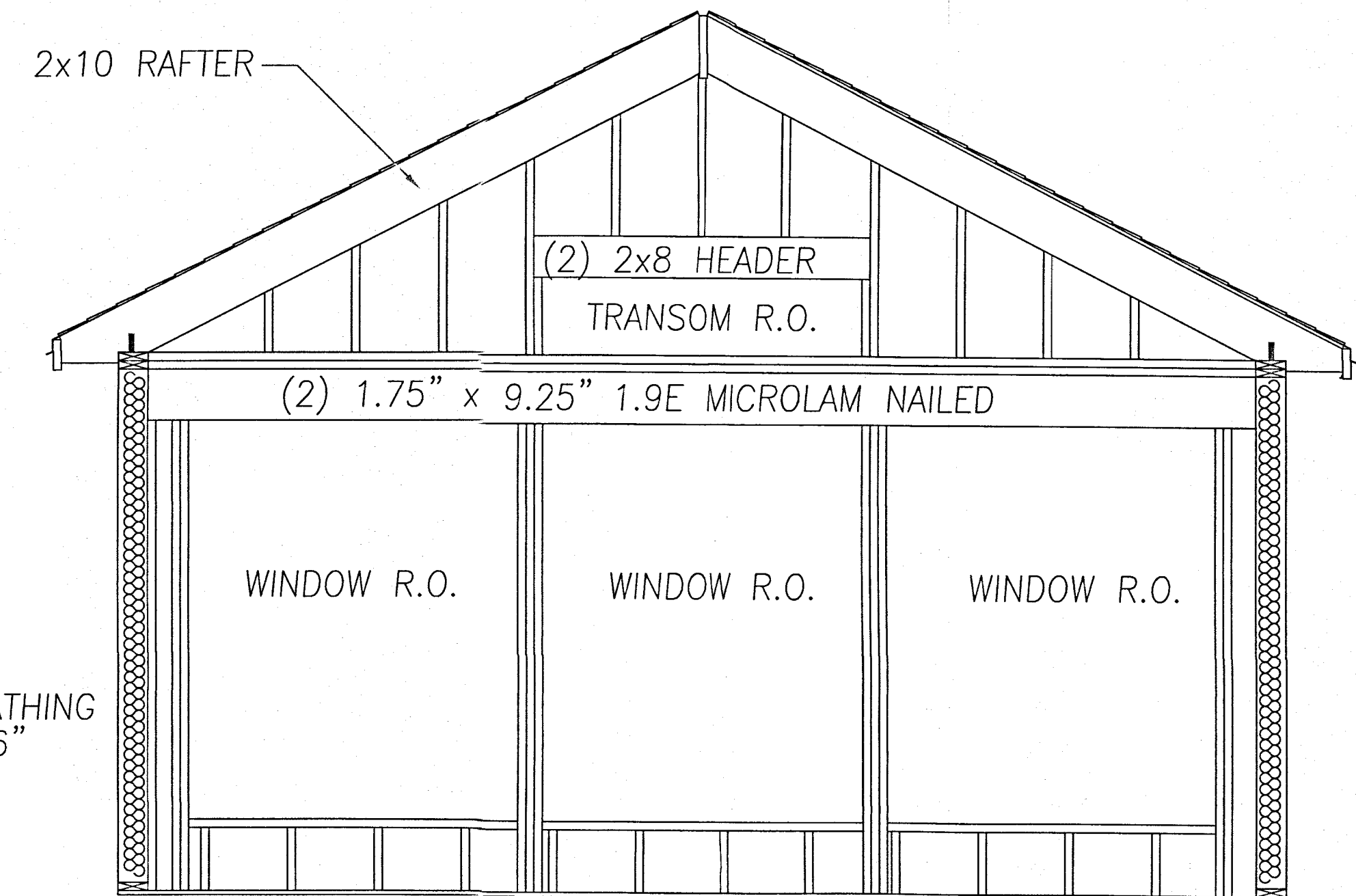
SCALE: 1" = 1'-0"



TRUSS EAVE DETAIL

SCALE: 1" = 1'-0"

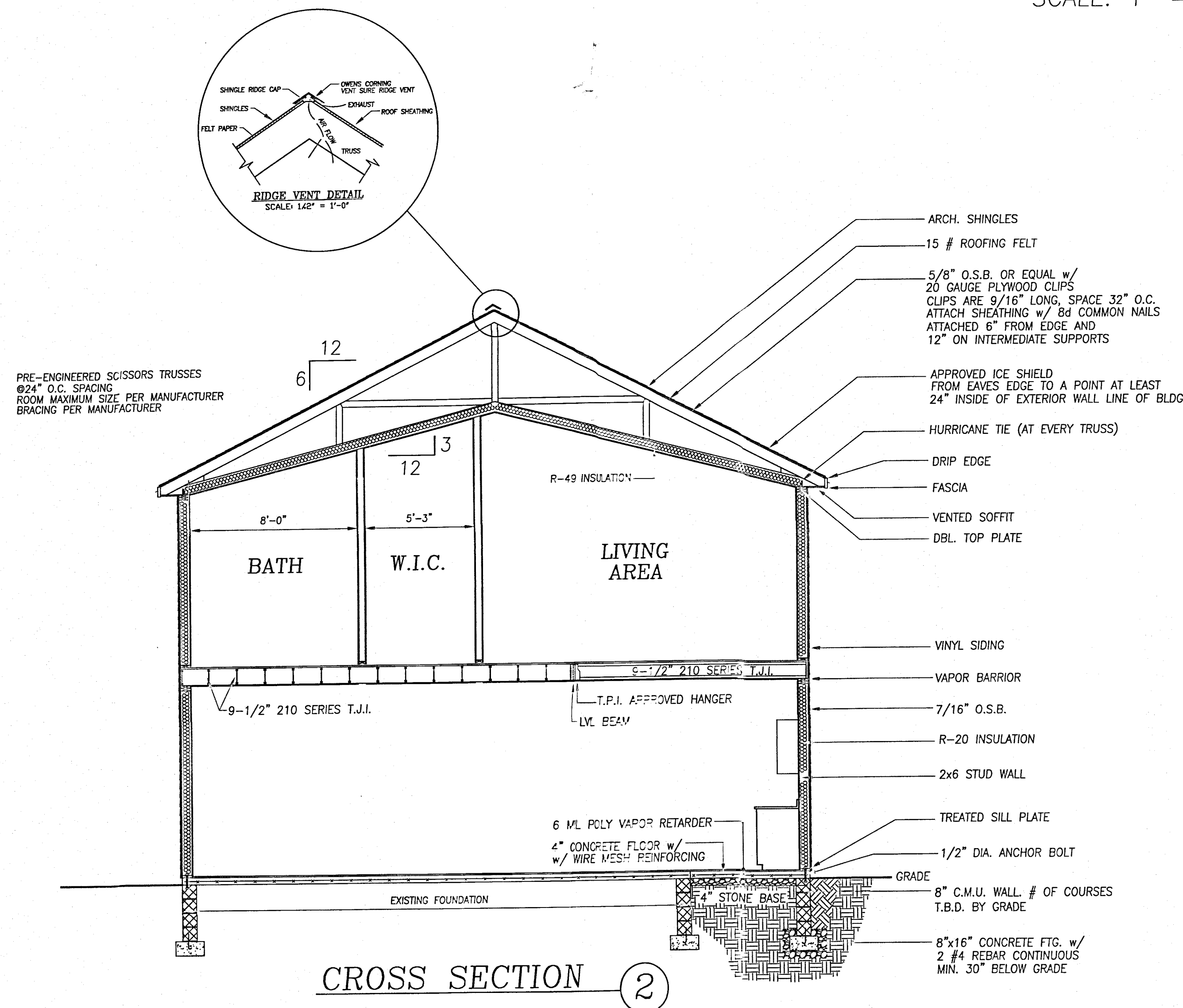
CLIMACTIC GEOGRAPHIC DESIGN CRITERIA																	
GROUND SNOW LOAD	WIND DESIGN					SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	INSULATION				AIR FREEZING INDEX	MEAN ANNUAL HIGH TEMP.
	SPEED (MPH)	TOPOGRAPHICAL EFFECTS	SPECIAL WIND REGION	WIND BOUNDARY DESIGN ZONE	EXPOSURE CATEGORY		WEATHERING	FROST LINE DEPTH	TERMITES			ATTIC	2nd WALL	FLOOR	SUB SLAB		
30 POUNDS/ PER SQUARE FOOT	115 MPH	NO	NO	NO	B	SEISMIC CATEGORY A	SEVERE	30 INCHES	MODERATE TO HEAVY	13°F	YES	R-49	R-20 or 13+5	R-19	R-10	300	55°



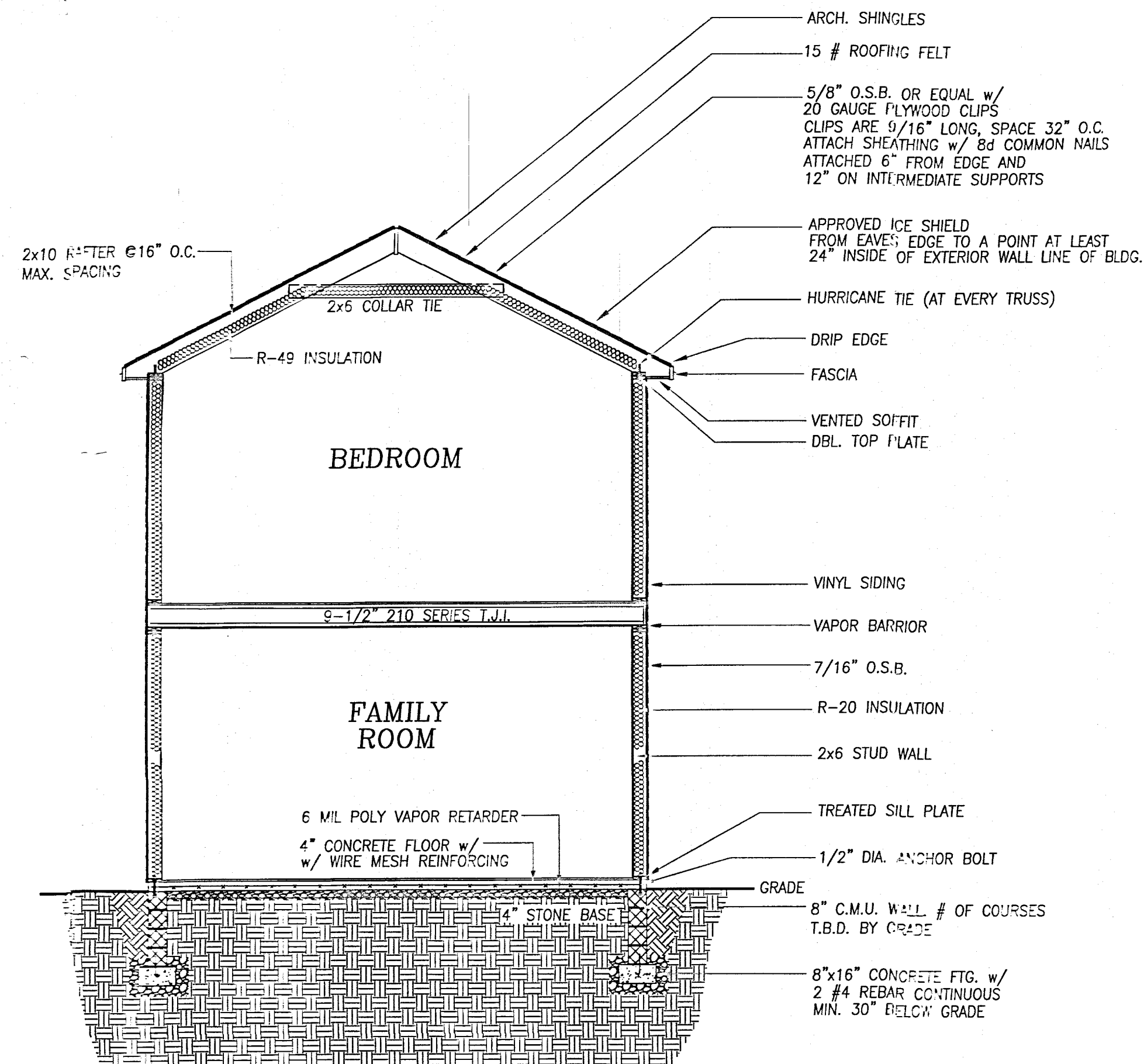
END WALL FRAMING DETAIL

SCALE: 1/2" = 1'-0"

NOTE:
NAILING PATTERN FOR
GABLE END WALL SHEATHING
TO BE NAILED EVERY 6"



CROSS SECTION 2



CROSS SECTION 1

REVISIONS

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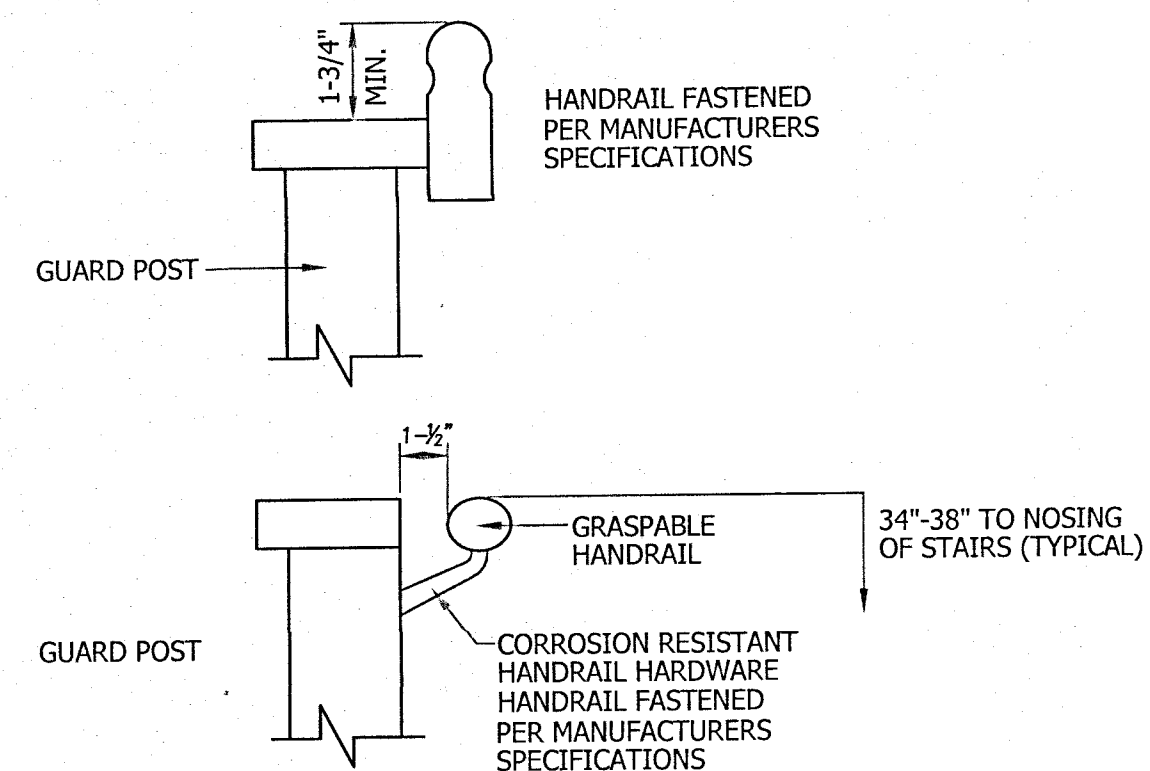
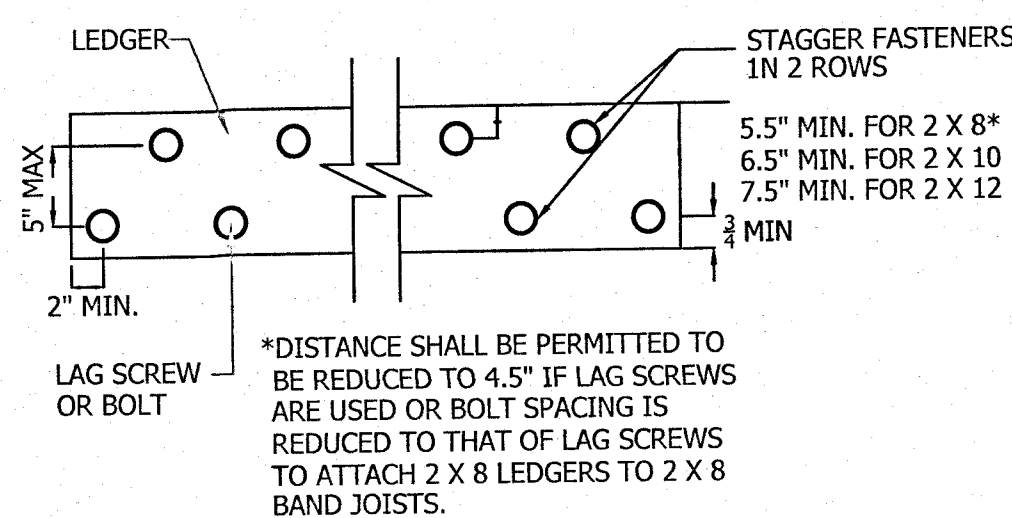
PROPOSED RENOVATION FOR:
MR. & MRS. MURPHY
3272 ROSEMARY LANE
WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB
CUSTOMER: MURPHY
DATE: 7-14-21
SCALE: 1/4" = 1'-0"
SHEET NO. 10 OF 11

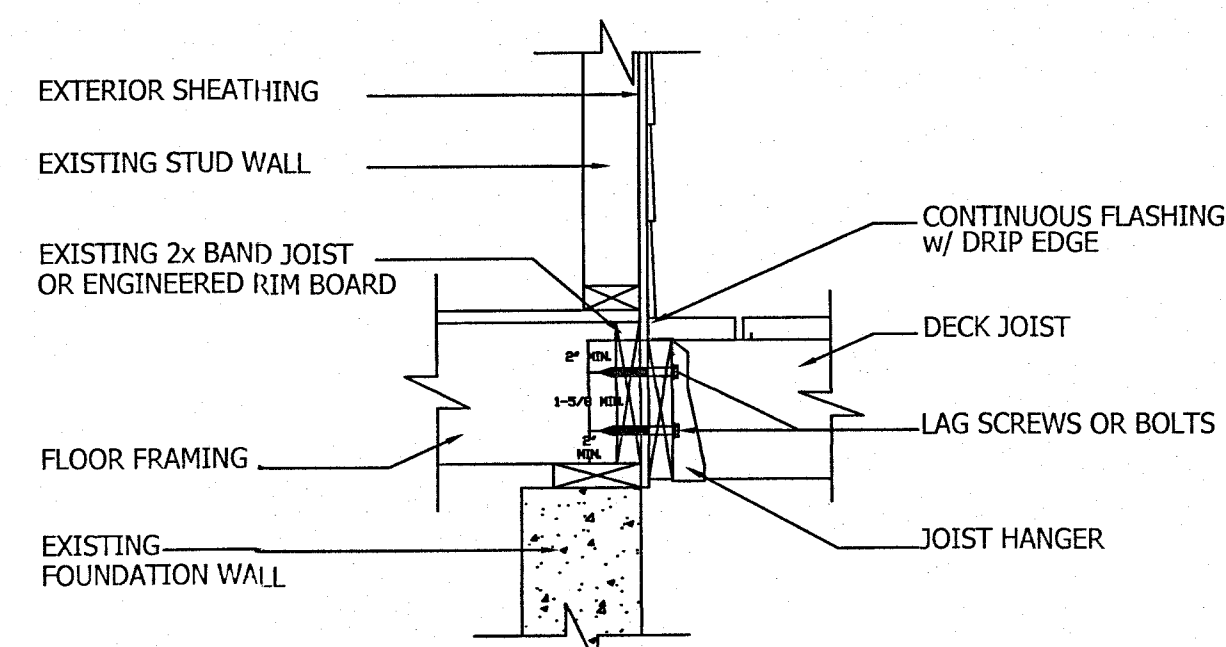
Handwritten signature and date
9/27/22

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BRYANT & ASSOC.
7 LONG QUARTER ROAD
NEW FREEDOM, PA 17349
PH. (717) 880-2696

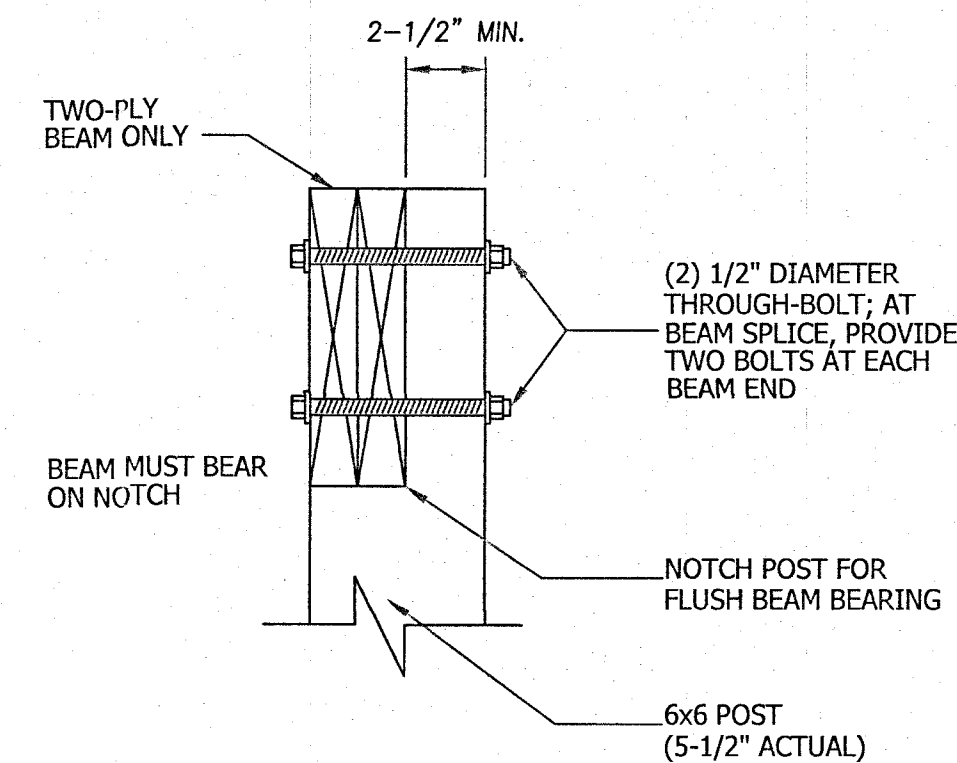
A-10



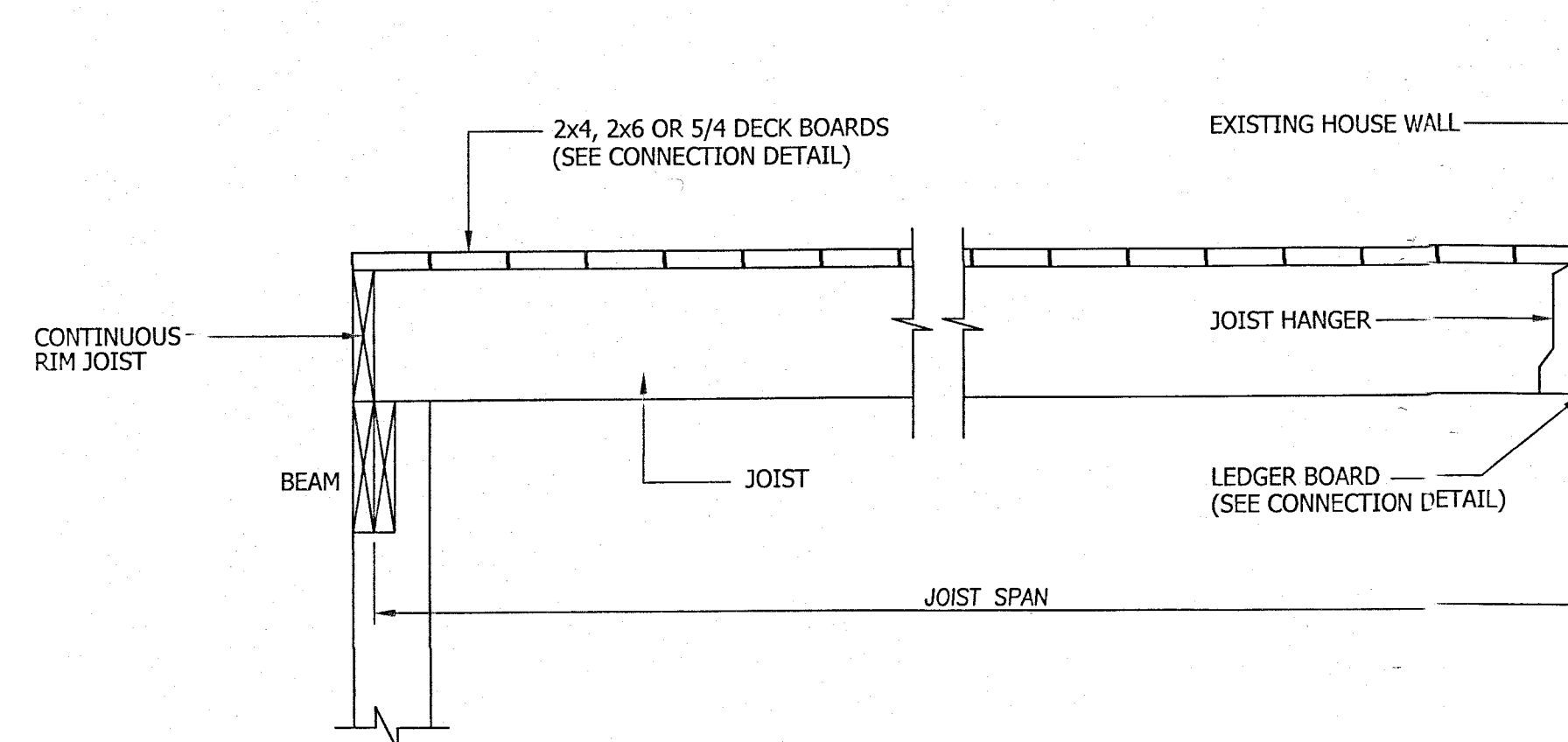
STAIR HANDRAIL DETAIL OPTIONS
SCALE: N.T.S.



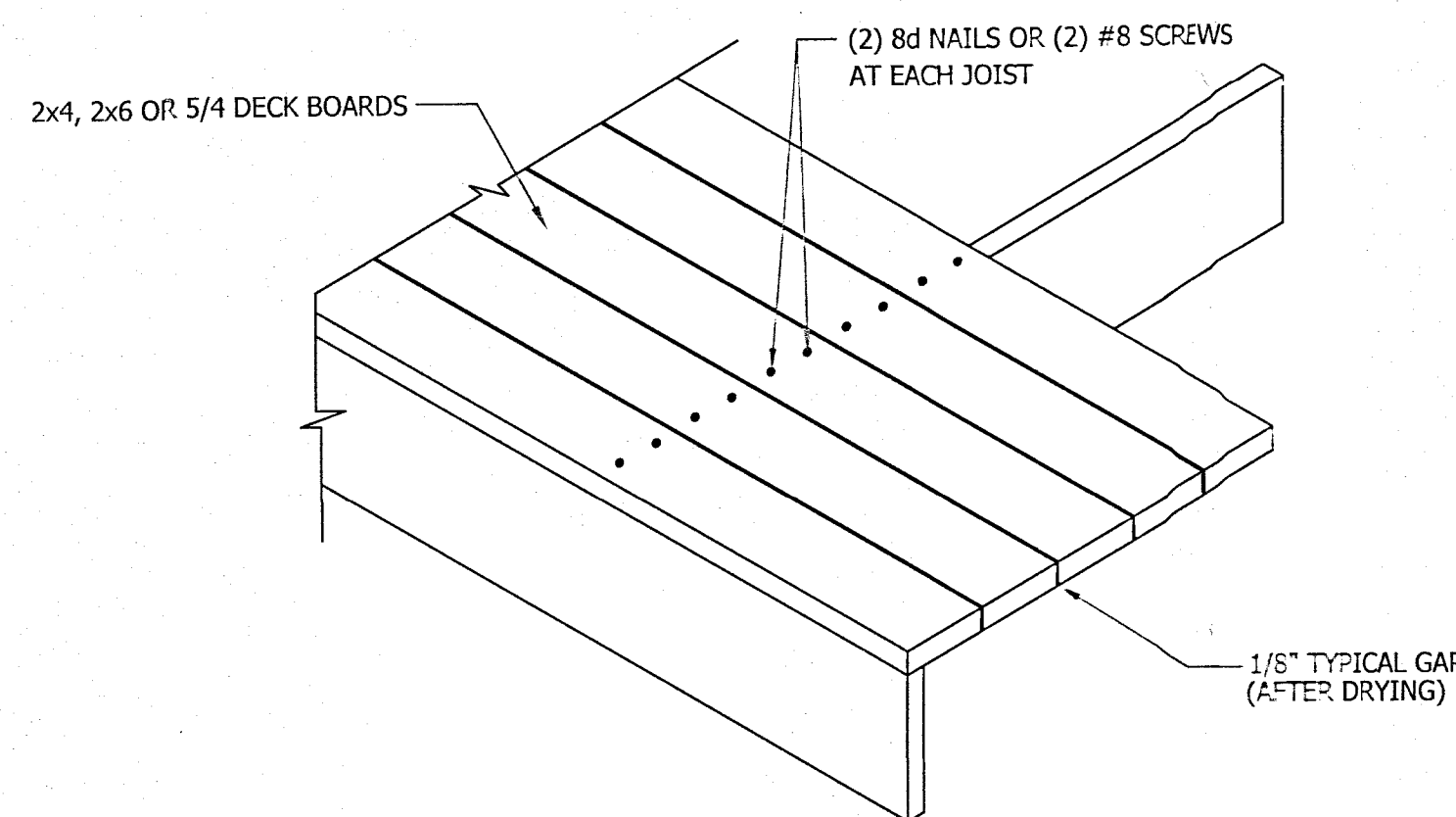
DECK LEDGER CONNECTION



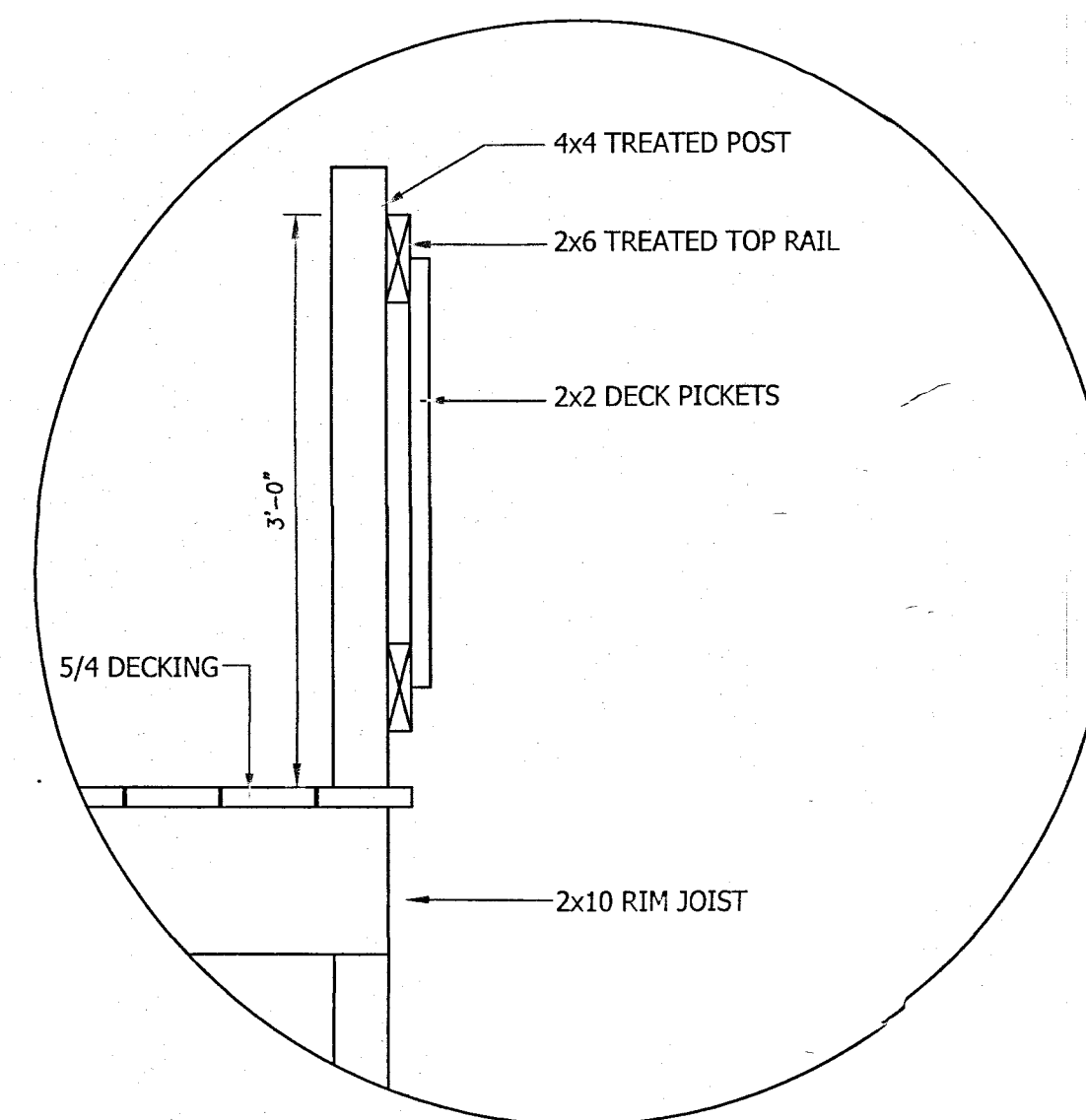
NOTCHED POST CONNECTION DETAIL
SCALE: N.T.S.



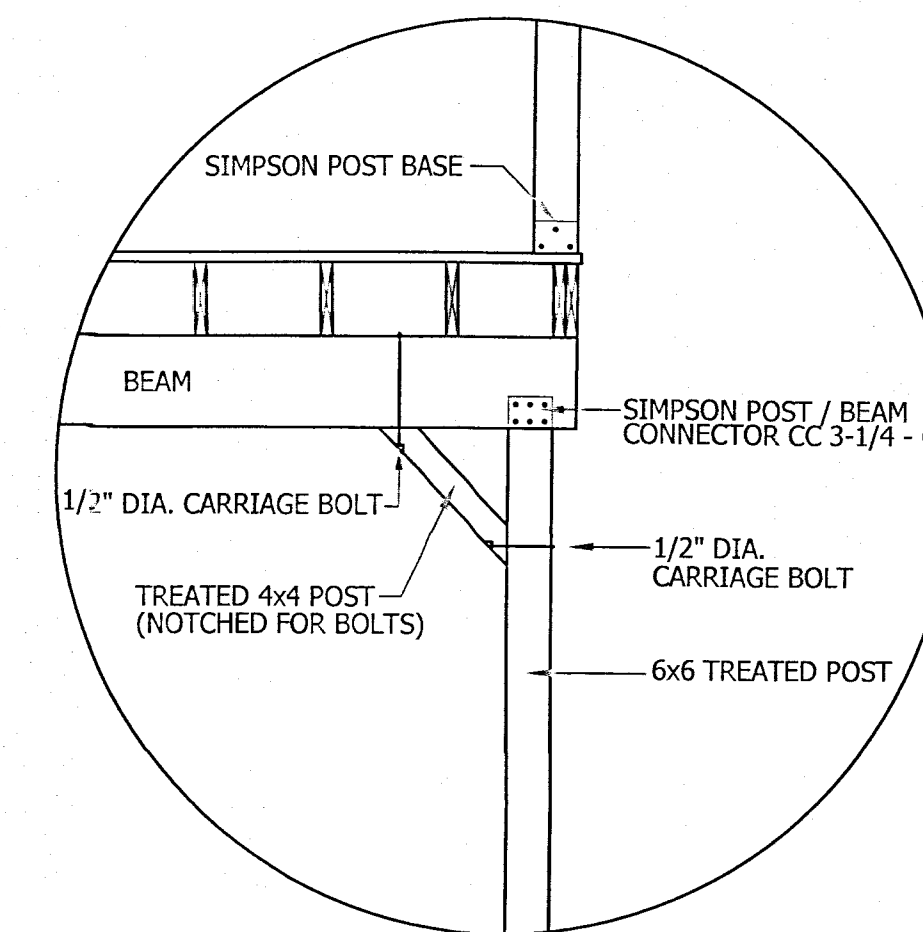
DROPPED SUPPORT BEAM DETAIL
SCALE: 1" = 1'-0"



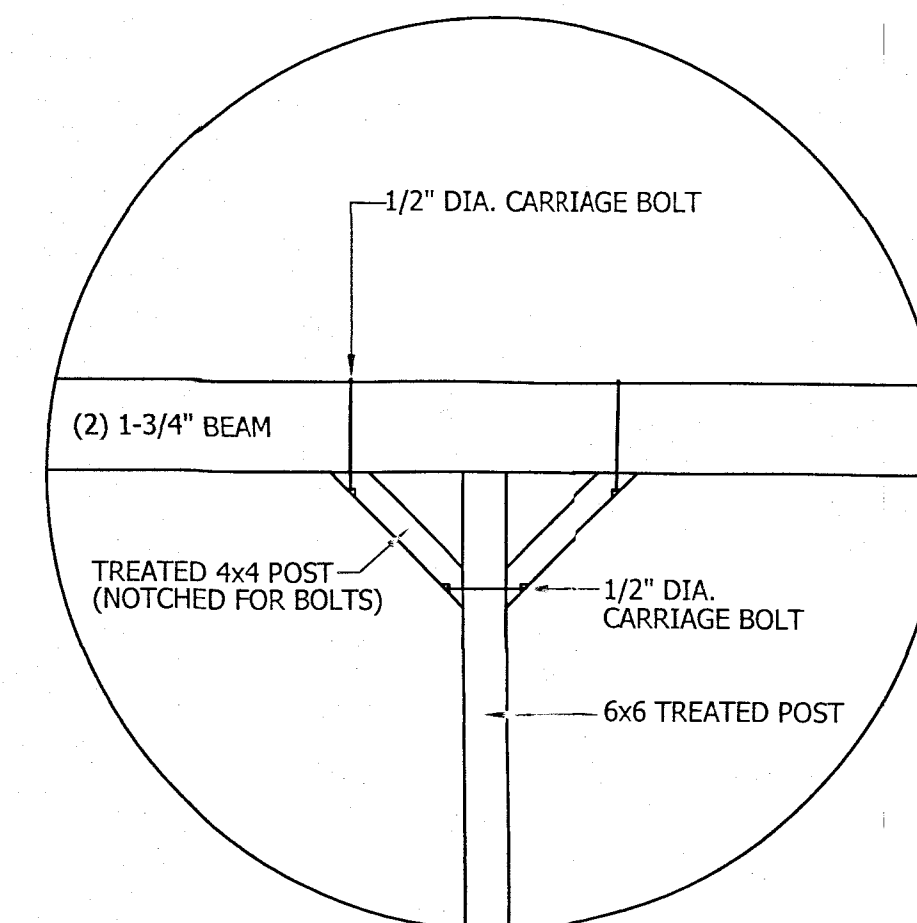
DECK BOARD CONNECTION DETAIL
SCALE: 1" = 1'-0"



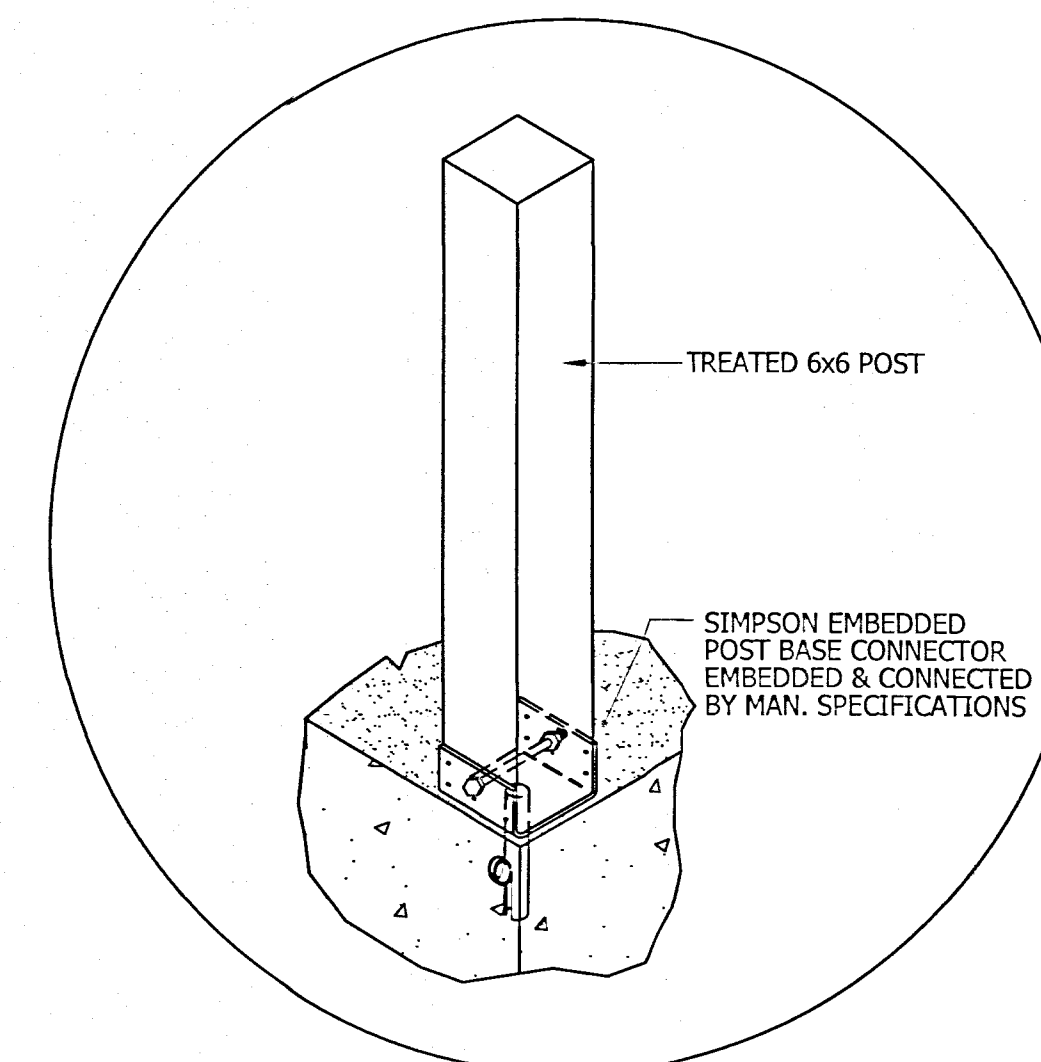
DECK RAILING DETAIL
SCALE: 1" = 1'-0"



END POST BRACING DETAIL
SCALE: 1/2" = 1'-0"



CENTER POST BRACING DETAIL
SCALE: 1/2" = 1'-0"



POST BASE DETAIL
SCALE: 1" = 1'-0"

REVISIONS

7-14-22
8-4-22
8-23-22
9-8-22
9-25-22

PROPOSED RENOVATION FOR:

MR. & MRS. MURPHY

3272 ROSEMARY LANE

WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB

CUSTOMER: MURPHY

DATE: 7-14-21

SCALE: 1/4" = 1'-0"

SHEET NO. 11 OF 11

Redesign
9/27/22

b8&
BRYANT & ASSOC.
7 LONG QUARTER ROAD
NEW FREEDOM, PA 17349
PH. (717) 880-2696

A-11

GENERAL NOTES

CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION IN DISTRICT OF BALTIMORE COUNTY.
ALL TRADES PERFORMING WORK SHALL MEET OR EXCEED CODE REQUIREMENTS WITH REGARD TO MATERIALS, CONSTRUCTION, AND INSTALLATION METHODS.

ALL TRADE (PLUMBING, ELECTRICAL AND MECHANICAL) DWGS ARE SCHEMATIC EACH APPLICABLE CONTRACTOR TO INTRODUCE NEW WORK AND TIE INTO EX. WHERE APPROPRIATE IN MOST EFFICIENT MANNER WHILE COMPLYING WITH ALL CODES.

THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION WITH PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED COMPLEMENT EACH OTHER.

REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO ANY WORK IN QUESTION. IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS TO PAY SUCH COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED.

COORDINATE WORK WITH THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

CONTRACTOR SHALL ENSURE THAT CONTRACTOR EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT.

INCLUDE THESE IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
COORDINATE WITH TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATION.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

WORK AREAS TO BE SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	7-14-22	DRB
2	FLOOR PLAN / WINDOWS	8-4-22	DRB
3	ELEVATIONS / FLOOR PLAN	8-23-22	DRB
4	DECK / FLOOR PLAN	9-8-22	DRB
5	FINAL	9-23-22	DRB

SCOPE WORK.

REMOVE ATTIC LIVING AREA ABOVE CONVERTED GARAGE
ADD FULL SECOND FLOOR ABOVE.

TWO STORY ADDITION TO LEFT SIDE OF THE HOME.
NEW BEDROOM AND LIVING AREA IN ADDITION

PARTIAL RENOVATION OF EXISTING SECOND FLOOR.

BUILDER INFORMATION:
LUCIA PROPERTIES LLC
3272 ROSEMARY LANE
WEST FRIENDSHIP MD. 21794

PROPERTY INFORMATION

EXISTING CONDITION

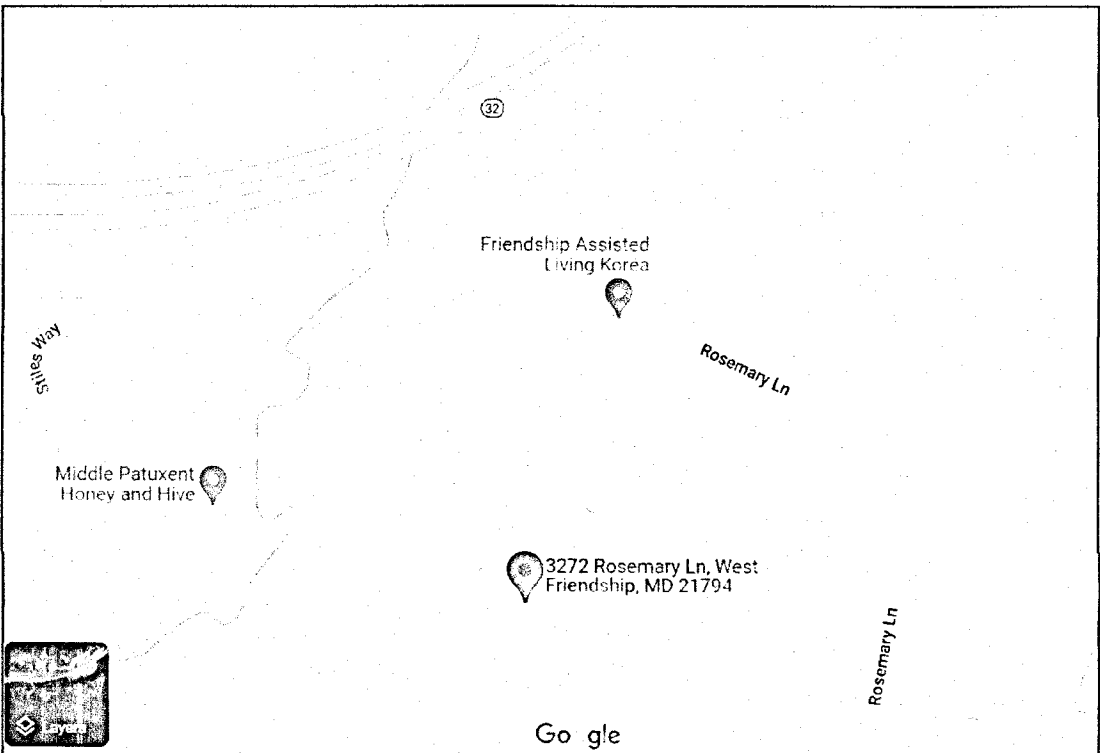
SDF 2 STORY w/ BASEMENT
SQUARE FOOTAGE:
1ST FLOOR - 1,695 SQ.FT.
2ND FLOOR - 1,528 SQ.FT.
TOTAL - 3,223 SQ.FT.
LOT:
BUILT:
PARCEL #:

PROPOSED

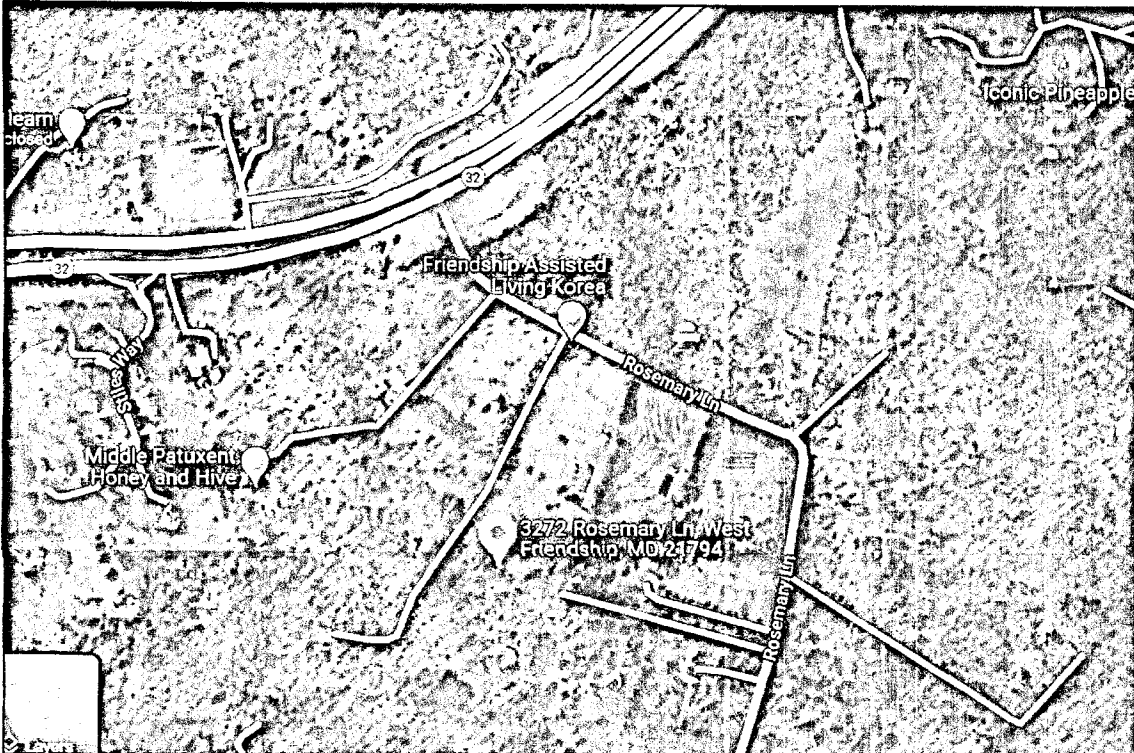
SDF 2 STORY w/ BASEMENT
SQUARE FOOTAGE:
1ST FLOOR - 2,072 SQ.FT.
2ND FLOOR - 2,188 SQ.FT.
TOTAL - 4,260 SQ.FT.
1 NEW BEDROOM
4 NEW BATHROOMS
NEW KITCHEN (REPLACE EXISTING)
NEW LIVING AREA

PROPERTY RESIDENTIAL RENOVATION

VICINITY MAP



SATELLITE VIEW



STREET VIEW

DRAWING INDEX

CS-1	COVER SHEET	A-8	PROPOSED ELEVATIONS
A-1	EXISTING FLOOR PLANS	A-9	NOTES / DETAILS
A-2	EXISTING ELEVATIONS	A-10	SECTIONS / DETAILS
A-3	EXISTING ELEVATIONS	A-11	DECK DETAIL
A-4	PROPOSED FIRST FLOOR PLAN		
A-5	PROPOSED SECOND FLOOR PLAN		
A-6	PROPOSED FOUNDATION PLAN		
A-7	PROPOSED ELEVATIONS		

APPLICABLE CODES

HOWARD COUNTY
2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL RESIDENTIAL CODE
CB71 IBC IRC
2021 INTERNATIONAL ENERGY CONSERVATION
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL PLUMBING CODE
CB72 PLUMBING
2021 NFPA 101 LIFE SAFETY CODE
2020 NFPA 70 NATIONAL ELECTRICAL

IRC 2021 DESIGN CRITERIA

FLOOR LIVE LOAD	40 spf
ROOF LIVE LOAD	30 spf
DEAD LOADS	10 spf
GROUND SNOW LOAD	30 spf
WIND SPEED EXPOSURE	115 mph
SEISMIC	Category B
WEATHERING	Severe
FROST LINE DEPTH	30"
TERMITE AREA	Moderate to Heavy
DECAY AREA	Slight to Moderate
WINTER DESIGN TEMPERATURE	13 F
ICE SHIELD UNDERLAYMENT	Yes, Required
FLOOD HAZARD	July 18, 1975 / September 29, 2006
AIR FREEZING INDEX	300
MEAN ANNUAL TEMPERATURE	55 F
FRAMING LUMBER	SPF # 2
E (MODULUS OF ELASTICITY):	1.3 MPSI
Fb (BENDING):	850 PSI
Fv SHEAR (PARALLEL TO GRAIN):	150 PSI
Fc COMPRESSION (PARALLEL TO GRAIN):	405 PSI

INSULATION / ENERGY NOTES

CLIMATE ZONE: 4
WINDOWS/DOORS GLAZED
FENESTRATION U- FACTOR: 0.32
WINDOWS/DOORS GLAZED
FENESTRATION SHGC: 0.55
SKYLIGHT U- FACTOR: 0.40
SKYLIGHT SHGC: 0.40
CEILING R -VALUE: 49
WOOD FRAME WALL R -VALUE: 20 OR 13+5
MASS WALL R -VALUE: 8/13
FLOOR R -VALUE: 19
BASEMENT c WALL R -VALUE: 10/13
SLAB d R -VALUE & DEPTH: 10.2ft
CRAWL SPACE c WALL R - VALUE: 10/13

GENERAL NOTES:

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.
ALL DIMENSIONS NOTED ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION.
NEW WALL DIMENSIONS GIVEN FINISH TO FINISH, UNLESS NOTED OTHERWISE.
ALL WALL INFILLS (NEW) ALONG EXISTING WALLS TO MATCH EXISTING.
PATCH & REPAIR ALL FINISHES, SUBSTRATES, ETC. IN ALL AREAS AFFECTED BY THE WORK & BETWEEN SPECIFIC WORK LOCATIONS.
ALL NEW WALLS TO HAVE 1/2" GYP BOARD FOR PAINT EXCEPT TILE & WET LOCATIONS WHICH ARE TO HAVE CEMENTITIOUS BACKER BOARD.
TO INSTALL STRUCTURAL, CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.
TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.
ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO

REVISIONS

PROPOSED RENOVATION FOR:

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WEST FRIENDSHIP MD. 21794

DRAWN BY: DRB

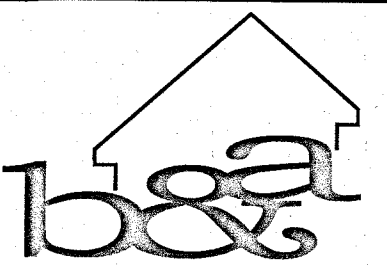
CUSTOMER MURPHY

DATE: 7-14-21

SCALE: 1/4" = 1'-0"

SHEET NO. 1 OF 1

DRB
9/27/22



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CS-1