

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B26001454	05/05/2026
Description of Work		
SFD/ CONSTRUCT 16 X 18 (1) STORY ADDITION FOR SUNROOM AND 15 X 18 OPEN DECK W/ STEPS/, 2 STORY, Existing, 1R, 0FB, 0HB, 0FP, OTHER STRUCTURE = Attached Garage, 0BR, PORCH/DECK = Deck, ENERGY METHOD = UA Alternative,		

Online BP. gld 5/13/26

5/22
Set revisions
required since
new plans
came in

[check spelling](#)

Address * (This section is required.)

Search	Reset	Clear	Get Parcel & Owner
Street #	Street Name	Street Type	
11753	FARSIDE	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.91717	39.25366
City	State	Zip Code	Primary
ELLICOTT CITY	MD	21042	Yes

★ Thursday
Site Visit

Parcel * (This section is required.)

Search	Reset	Clear	Get Address & Owner			
GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
889047	126	3.7	386400	945300	558900	RURAL
Legal Description						
IMPSLOT 36 3.709 AR[]11753 FARSIDE RD NW[]FARSIDE						

Approved. Radium levels below MCLs.
gld 7/24/26

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	36	603000	5				
Plan Area	State Tax Id	Subdivision Name					
	1403307123	FARSIDE					
Section	Area	Tax Map					
		23					
Grid	Zoning District	ADC Map					
23-20	RC-DEO	4814-D10					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
4410			Yes				
Owner Occupied	Year Built	Historic District					
☐ Yes ☐ No	1984	☐ Yes ☒ No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-09A	☐ Yes ☒ No					
Building No							

Owner (This section is not required.)

Search	Reset	Clear
Name *		
Zachar		
Address Line 1		
11753 FARSIDE RD		
Address Line 2		
Address Line 3		
Mail City		
ELLICOTT CITY		
Mail State		
MD		
Mail Zip Code		
21042		
Phone		
240-888-8542		
Primary		
Yes		
E-mail		

haileybanda@gmail.com

Cell Number

Fax Number

Professionals (This section is not required.)

License # *	Business Name		
23050035708	NW2 ENGINEERS		
License Type *	First Name	Middle Name	Last Name
Engineer	▼ JOSHUA		NICODEMUS
Primary	Address Line 1		
No	▼ 12 SUGARVALE WAY		
	Address Line 2		
	City	State	ZIP Code
	LUTHERVILLE	MD	21093-0000
	Phone 1	Phone 2	Fax
	0000000000		
	E-mail		
	JOSH@NW2ENGINEERS.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	▼ Gina		Campbell
Relationship	Full Name		
Applicant	▼ Gina Campbell		
Primary	Organization Name		
No	NW2 Engineers		
	Street Address		
	819 Light St		
	Address Line 2		
	City	State	Zip Code
	Baltimore	MD	▼ 21230
	Phone	Cell	Fax
	410-491-3246		
	E-mail *		
	gina@nw2engineers.com		

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Contact	▼ JOSHUA		NICODEMUS
Relationship	Full Name		
Licensed Professional	▼ JOSHUA NICODEMUS		
Primary	Organization Name		
Yes	▼		
	Street Address		
	12 SUGARVALE WAY		
	Address Line 2		
	City	State	Zip Code
	LUTHERVILLE	MD	21093
	Phone	Cell	Fax
	0000000000		
	E-mail		
	JOSH@NW2ENGINEERS.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
15000	0	0	No
Construction Type			▼
--Select--			▼

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *

☐ Yes ☒ No

Capital Project Number

(Text)

Fee Exempt *

☐ Yes ☒ No

Roadside Tree Project Permit

☐ Yes ☒ No

Roadside Tree Pr

No of Stories * 2 (Text) Foundation * Existing Basement * N/A No of Rooms * 1 (Text) Full Baths * 0 (Number) Ha 0

Model * SFD/ CONSTRUCT 16 X 18_(1) STORY ADDITION FOR SUNROOM AND 15 X 18 OPEN DECK W/ STEPS/ [check spelling](#)

Other Structure * Attached Garage W & S Fees Paid ☐ Yes ☐ No 1st Floor Width 16 FT (Number) 1st Floor Depth 18 FT (Number) 2nd Floor Width 0 FT (Number) 2nd Floor Depth 0 FT (Number) Basement Width 0 FT (Number) Basement Depth 0 FT (Number) Height 0 FT (Number) Total Square Footage * 544 SQFT (Number) Occupiable Square Footage * 0 SQFT (Number) Affordable Housing Funding * N/A Foundation Measurement (Text) Walls (Text) Roof (Text) Change In Use ☐ Yes ☒ No Grading Permit No (Text) Senior Housing ☐ Yes ☒ No MIHU Outside Downtown Columbia ☐ Yes ☒ No Expiration Date 11/4/2026 MIHU Required Units 0 (Num)

GREEN INFORMATION Goal Level --Select-- Actual Level --Select-- Leed Registration Number (Text) Date of Leed Certification

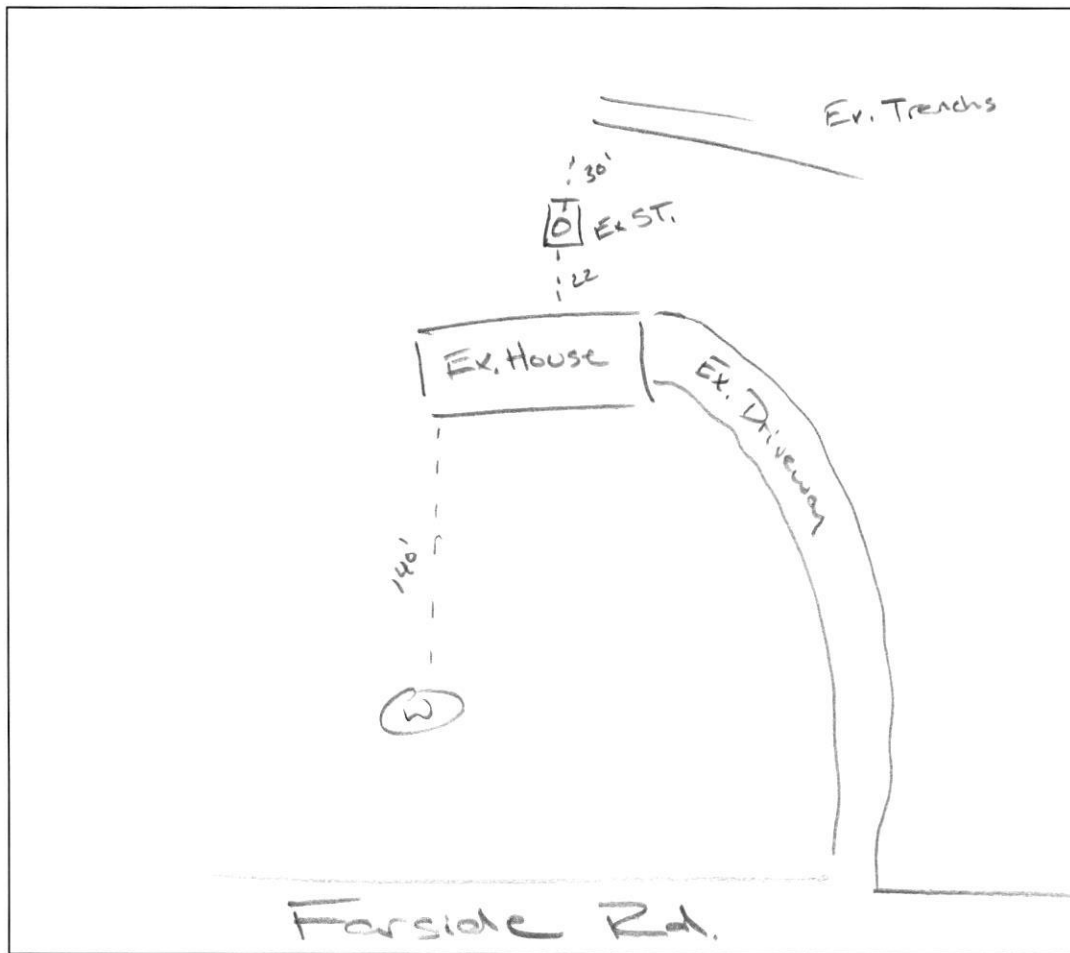
STORM WATER MANAGEMENT Green Roofs A1 ☐ Yes ☐ No Permeable Pavements A2 ☐ Yes ☐ No Reinforced Turf A3 ☐ Yes ☐ No Disconnection of Rooftop Runoff N1 (Number) Sheetflow to Conservation Areas N3 ☐ Yes ☐ No Rainwater Harvesting M1 (Number) Submerged Gravel Wetlands M2 (Number) Landscape Infiltration (Number) Dry Wells M5 (Number) Micro Bioretention M6 (Number) Rain Gardens M7 (Number) Swales M8 (Number) PSWM Certification Received in CID on

Submit Cancel

SITE INSPECTION SHEET

OWNER: _____ PHONE #: _____
ADDRESS: 11753 Farside CONTRACTOR: _____
Ellicott City WELL TAG #: HO-73-3421
SUBDIVISION: _____ LOT: _____ COUNTY #: Howard
PROPOSAL: B26001454: Sunroom 16'x18' and Open Deck 15'x18'

LOCATION DIAGRAM



COMMENTS: Well in satisfactory condition w/ two
piece secure cap. No signs of failure w/ OSDS.
W&S locations match septic permit of 10/21/83.
Need radionu testing.

DATE: 5/21/2026 INSPECTOR: RSF

11753 FARSIDE ROAD

ELLICOTT CITY, MARYLAND 21042

NEW 1ST FLOOR REAR ADDITION, NEW 1ST FLOOR REAR DECK W/ STEPS TO GRADE

LOT INFORMATION:

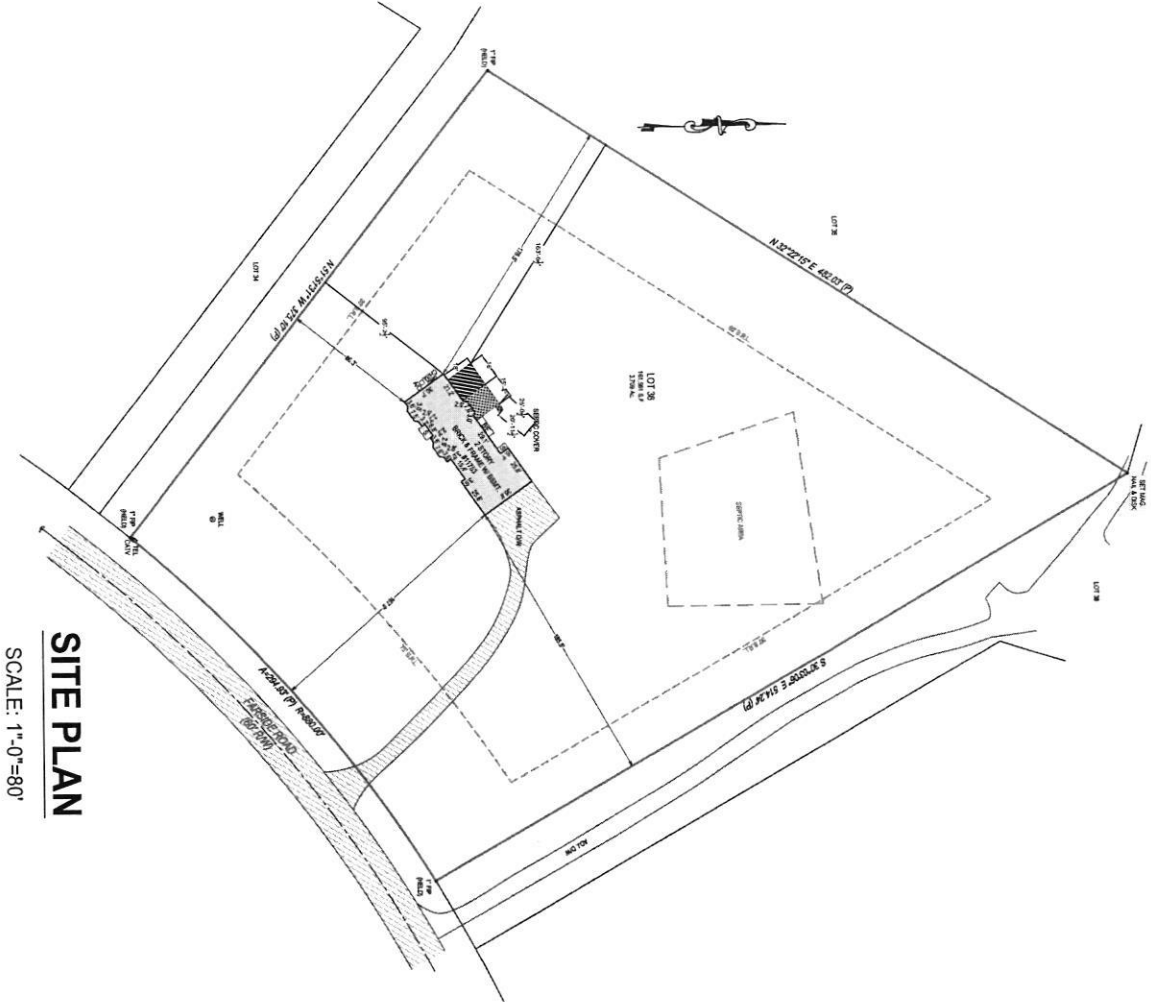
BUILDING CLASSIFICATION - RESIDENTIAL
USE TYPE - SINGLE FAMILY DWELLING
LOT SIZE - 3,700 ACRES
EXISTING BUILDING FOOTPRINT - VARIES (2,854 SQFT)
PROPOSED BUILDING FOOTPRINT - VARIES (3,142 SQFT)
EXISTING ENCLOSED AREA - 3,165 SQFT
PROPOSED ENCLOSED AREA - 3,423 +/- SQFT
MAP - 0023
SUBDIVISION - 2004
PARCEL - 0126
SECTION - N/A
BLOCK - N/A
LOT - 36
ZONING - RC-DEO
GRID - 0021
TAX# - 307123
DEED REF# - 22066/00170
STRUCTURE BUILT - 1984
OWNER INFORMATION:
ZACHARY A. LAMER, LANDOWNER
11753 FARSIDE RD
ELLICOTT CITY, MD 21042
SCOPE OF WORK:
CONSTRUCT A NEW 1ST FLOOR REAR SUNROOM, ADDITION, NEW 1ST FLOOR REAR DECK W/ STEPS TO GRADE, ADJUTANT LANS AND CONSTRUCTION CORNER.

PLANS TO COMPLY WITH:

IBC 2024
IRC 2024
IECC 2024
IECC 2024 + MD PRESCRIPTIVE R-VALUE
IECC 2024 + MD ALTERNATIVE METHOD
MINISPLIT INSTALLED* (HIGH PERFORMANCE HEAT PUMP SYSTEM (GREATER THAN OR EQUAL TO 10 HSPF/18 SEER AIR SOURCE HEAT PUMP*))

LEGEND

- EXISTING 1-STORY BUILDING TO REMAIN
- NEW 1ST FLOOR REAR SUNROOM ADDITION (18'x16'x28'8")
- NEW 1ST FLOOR REAR DECK W/ STEPS TO GRADE (18'x15'x7")



SITE PLAN

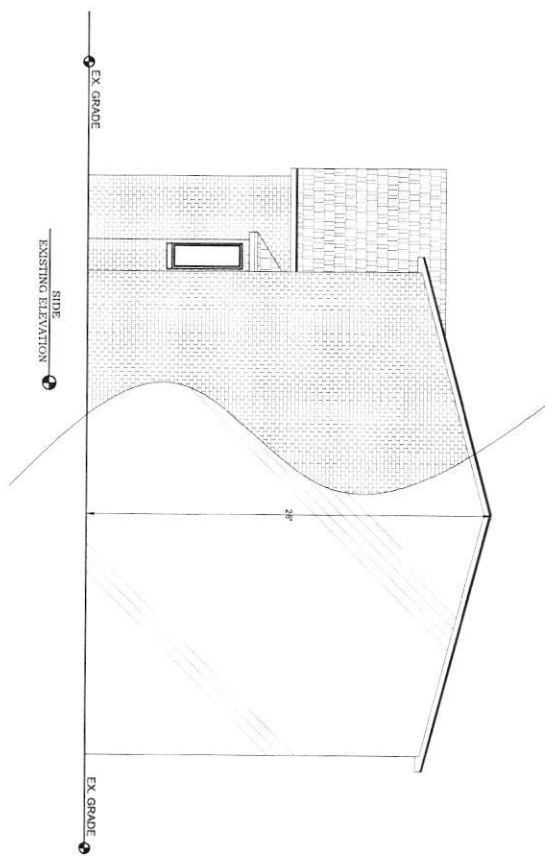
SCALE: 1"=0"=80'

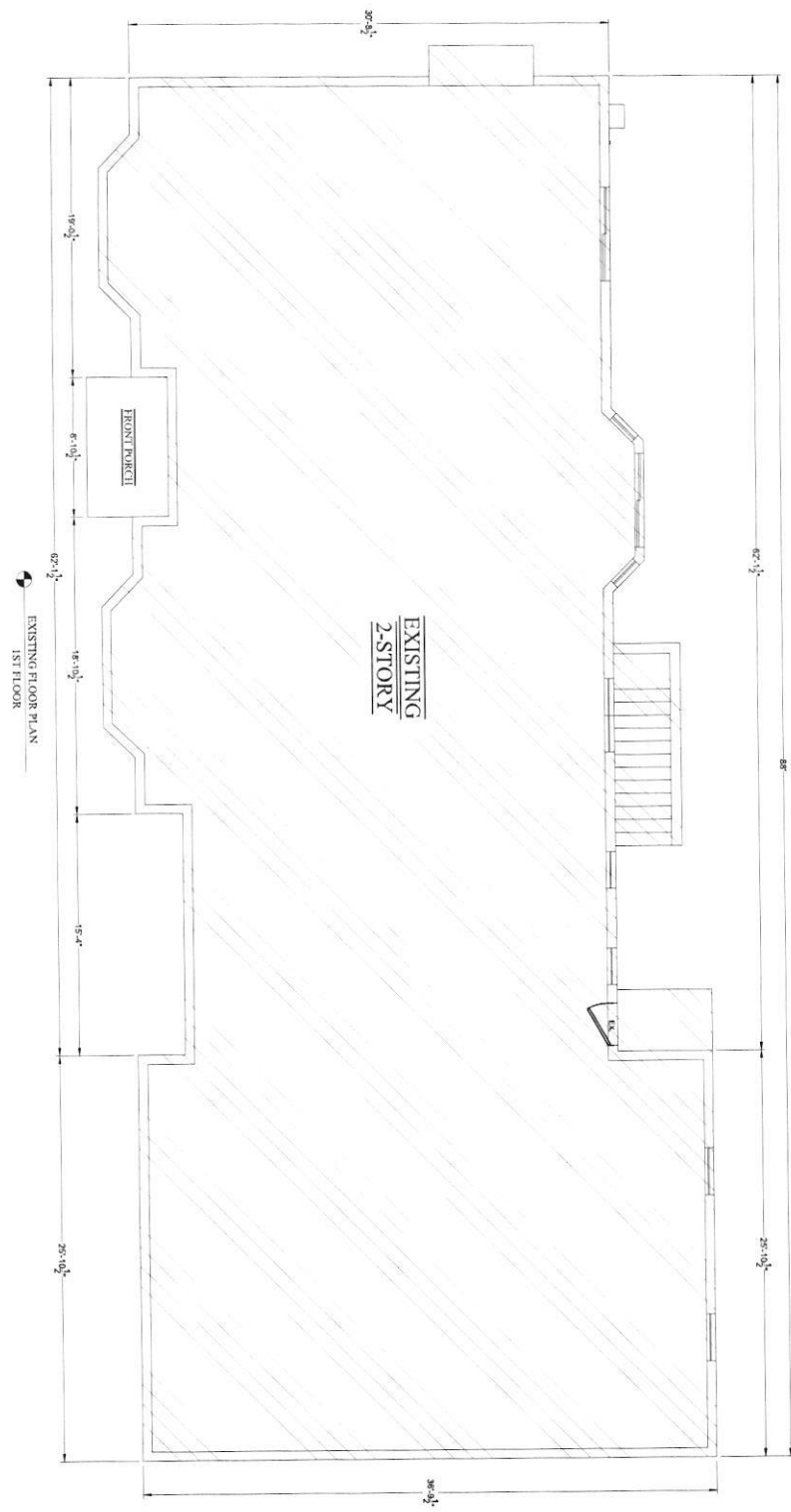
PROJECT ADDRESS
11753 FARSIDE RD
ELLICOTT CITY, MD 21042
DESCRIPTION:
SITE PLAN



DESIGNED BY:
DRAWN BY:
REVIEWED BY:
DATE 4/28/2026
SCALE: 1" = 80'

NW2
NW2 ENGINEERS
819 Light St
Baltimore, MD 21224
(410) 443-8600
(410) 443-8600
nw2engineers.com





A-3

PROJECT ADDRESS: 11753 FARNSIDE RD.
 DESCRIPTION: EXISTING FLOOR PLAN

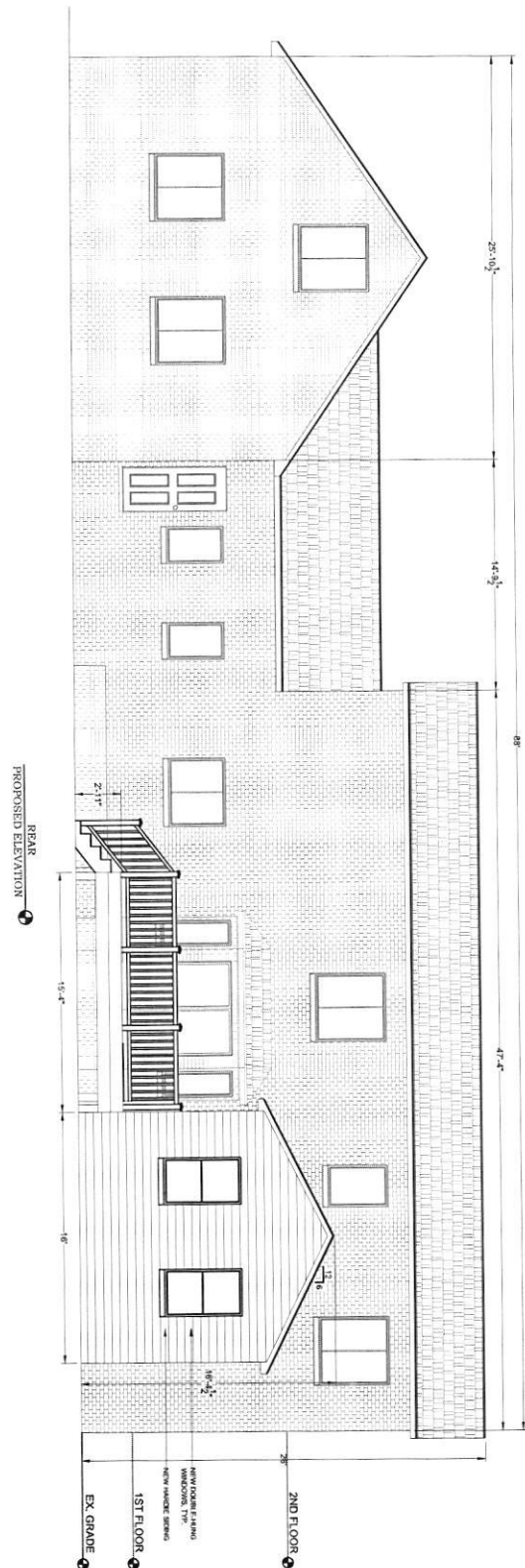


DESIGNED BY:	TA
DRAWN BY:	TA
REVIEWED BY:	
DATE:	4/11/2025
SCALE:	1/8" = 1' 0"

NW2² ENGINEERS

619 Light St.
 Baltimore, MD 21204
 (P) 410.596.0008
 (F) 410.596.1333
 nw2engineers.com

819 Light St
Baltimore, MD 21224
(P) 443.990.0008
(F) 443.568.1333
rw2engineers.com



FLOOR FRAMING SCHEDULE

- J1 - NEW 2"x12" FLOOR JOISTS @ 16" O.C
- J2 - NEW 2"x12" ROOF JOISTS @ 24" O.C
- J3 - NEW 2"x10" PRESSURE TREATED JOISTS @ 16" O.C
- B1 - NEW (3) 1-3/4" x 11-7/8" LVL BEAM
- B2 - NEW (2) 2"x12" PRESSURE TREATED BEAM
- B3 - NEW PRESSURE TREATED 2"x10" BAND BOARD
- B4 - NEW 2"x10" LEDGER BOARD, BOLTED TO STRUC. WALL, w/ 1/2" THRU BOLTS @ 16" O.C
- B5 - NEW 2"x10" LEDGER BOARD, BOLTED TO STRUC. WALL, w/ 1/2" THRU BOLTS @ 16" O.C

LINTEL SCHEDULE

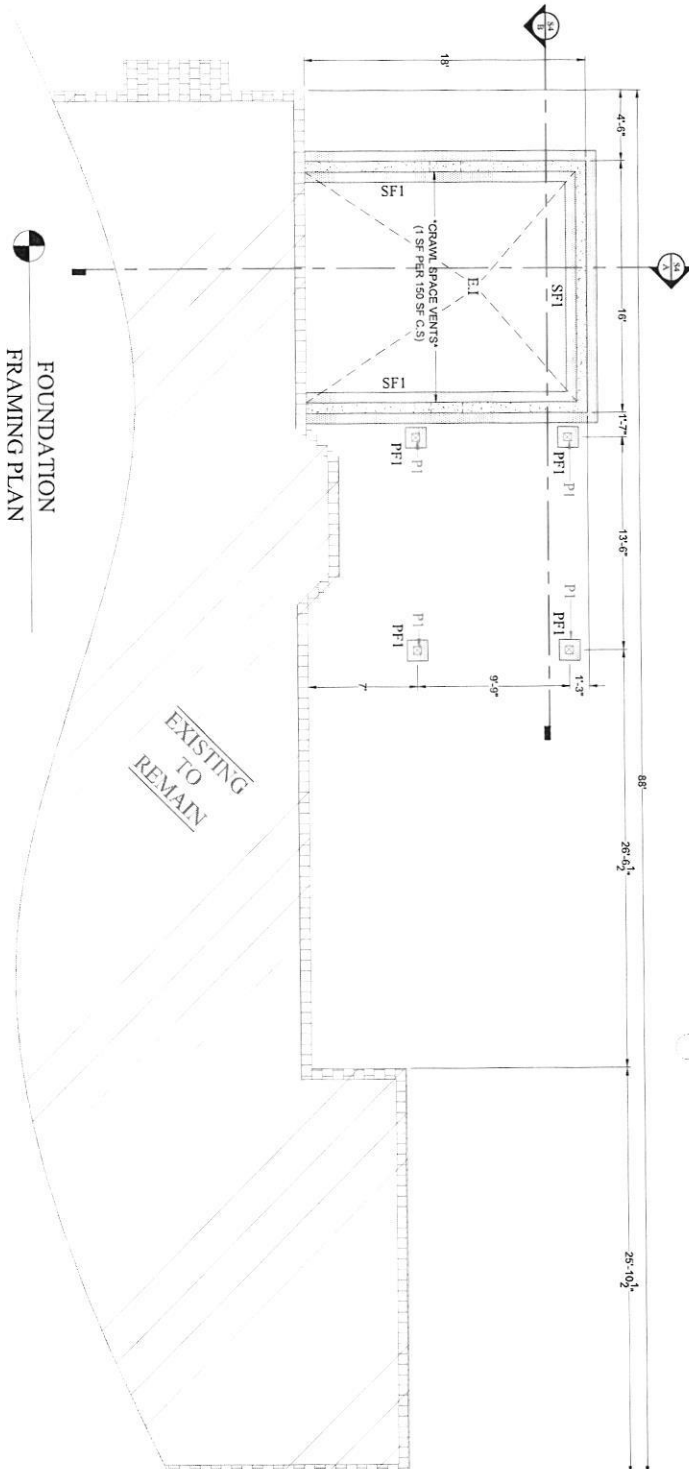
- L1 - EXISTING LINTEL TO REMAIN
 - L2 - NEW 2-PLY 2"x8" WOOD LINTEL
 - L3 - NEW 2-PLY 2"x10" WOOD LINTEL
 - L4 - NEW L-ANGLE 6"x3"x1/4" LINTEL
- * CONTRACTOR TO VERIFY *
ALL EXISTING LINTELS CONDITION / SIZE w/ ENGINEER PRIOR TO CONSTRUCTION

FOOTING & SLAB LEGEND

- E1 - EARTH INFILL
 - SF1 - NEW 24"x12" D STRIP FOOTING w/ 2-#5 REBAR CONT. @ 24" O.C
 - PF1 - NEW 16"x16" POST FOOTING w/ 2-#4 REBAR E.W
- * CONTRACTOR TO VERIFY *
ALL EXISTING FOUNDATION CONDITION / SIZE w/ ENGINEER PRIOR TO CONSTRUCTION
** ALL EXISTING FOOTINGS TO HAVE 1,500 PSI CONCRETE & SET 30" MIN. BELOW GRADE TO FROST DEPTH

WALL & POST SCHEDULE

- ☒ - NEW 8" POURED CONCRETE FOUNDATION &/or NEW 8" CMU BLOCK FOUNDATION
- ☐ - EXISTING STUD WALL TO REMAIN
- ☐ - NEW 2"x6" STUD WALL @ 16" O.C
- ☐ - NEW 6"x6" PRESSURE TREATED POST



FOUNDATION
FRAMING PLAN

S-1

PROJECT ADDRESS
11753 FARFIDE RD
DESCRIPTION
FOUNDATION
FRAMING PLAN



DESIGNED BY: CD
DRAWN BY: CD
REVIEWED BY: JN
DATE: 4/22/2026
SCALE: 1/8" = 1' 0"



FLOOR FRAMING SCHEDULE

- J1 - NEW 2"x10" FLOOR JOISTS @ 16" O.C
- J2 - NEW 2"x12" ROOF JOISTS @ 24" O.C
- J3 - NEW 2"x10" PRESSURE TREATED JOISTS @ 16" O.C
- B1 - NEW (2) 1-3/4" x 9-1/2" LVL BEAM
- B2 - NEW (3) 1-3/4" x 11-7/8" LVL BEAM
- B3 - NEW (2) 2"x12" PRESSURE TREATED BEAM
- B4 - NEW PRESSURE TREATED 2"x10" BAND BOARD
- B5 - NEW 2"x10" LEDGER BOARD, BOLTED TO STRUC. WALL, w/ 1/2" THRU BOLTS @ 16" O.C
- B6 - NEW 2"x12" LEDGER BOARD, BOLTED TO STRUC. WALL, w/ 1/2" THRU BOLTS @ 16" O.C

FOOTING & SLAB LEGEND

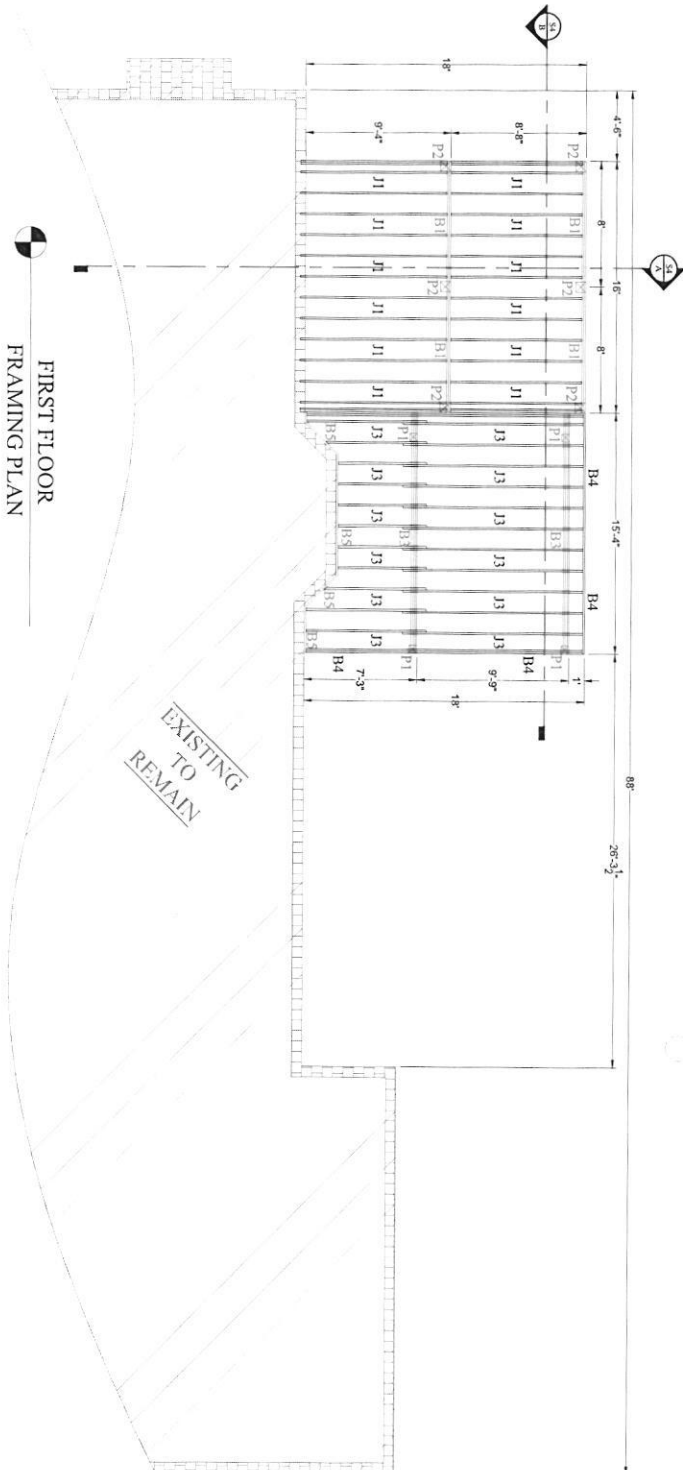
- E.1 - EARTH INFL.
 - SF1 - NEW 24"x12" D STRIP FOOTING w/ 2#5 REBAR CONT. @ 24" O.C
 - PF1 - NEW 16"x16" POST FOOTING w/ 2#4 REBAR E.W
 - PF2 - NEW 30"x30" POST FOOTING w/ 2#5 REBAR E.W
- * CONTRACTOR TO VERIFY *
ALL EXISTING FOUNDATION CONDITION / SIZE
w/ ENGINEER PRIOR TO CONSTRUCTION
** ALL EXTERIOR FOOTINGS TO HAVE 3,500 psi CONCRETE
& SET 30" MIN. BELOW GRADE TO FROST DEPTH

WALL & POST SCHEDULE

- ☐ - NEW 8" POURED CONCRETE FOUNDATION &/or NEW 8" CMU BLOCK FOUNDATION
- ☐ - EXISTING STUD WALL TO REMAIN
- ☐ - NEW 2"x6" STUD WALL @ 16" O.C
- ☐ - NEW 6"x6" PRESSURE TREATED POST
- ☐ - NEW 8"x8" PRESSURE TREATED POST

LINTEL SCHEDULE

- L1 - EXISTING LINTEL TO REMAIN
 - L2 - NEW 2-PLY 2"x8" WOOD LINTEL
 - L3 - NEW 3-PLY 2"x10" WOOD LINTEL
- * CONTRACTOR TO VERIFY *
ALL EXISTING LINTELS CONDITION / SIZE
w/ ENGINEER PRIOR TO CONSTRUCTION



S-2

PROJECT ADDRESS
11753 FARFIDE RD

DESCRIPTION
FIRST FLOOR
FRAMING PLAN



DESIGNED BY: CD
DRAWN BY: CD
REVIEWED BY: JN
DATE: 5/1/2026
SCALE: 1/8" = 1' 0"



FLOOR FRAMING SCHEDULE

- J1 - NEW 2"x10" FLOOR JOISTS @ 16" O.C
- J2 - NEW 2"x12" ROOF JOISTS @ 24" O.C
- J3 - NEW 2"x10" PRESSURE TREATED JOISTS @ 16" O.C
- B1 - NEW (2) 1-3/4" x 9-1/2" LVL BEAM
- B2 - NEW (3) 1-3/4" x 11-7/8" LVL BEAM
- B3 - NEW (2) 2"x12" PRESSURE TREATED BEAM
- B4 - NEW PRESSURE TREATED 2"x10" BAND BOARD
- B5 - NEW 2"x10" LEJDER BOARD, BOLTED TO STRUC. WALL, w/ 1/2" THRU BOLTS @ 16" O.C
- B6 - NEW 2"x12" LEJDER BOARD, BOLTED TO STRUC. WALL, w/ 1/2" THRU BOLTS @ 16" O.C

FOOTING & SLAB LEGEND

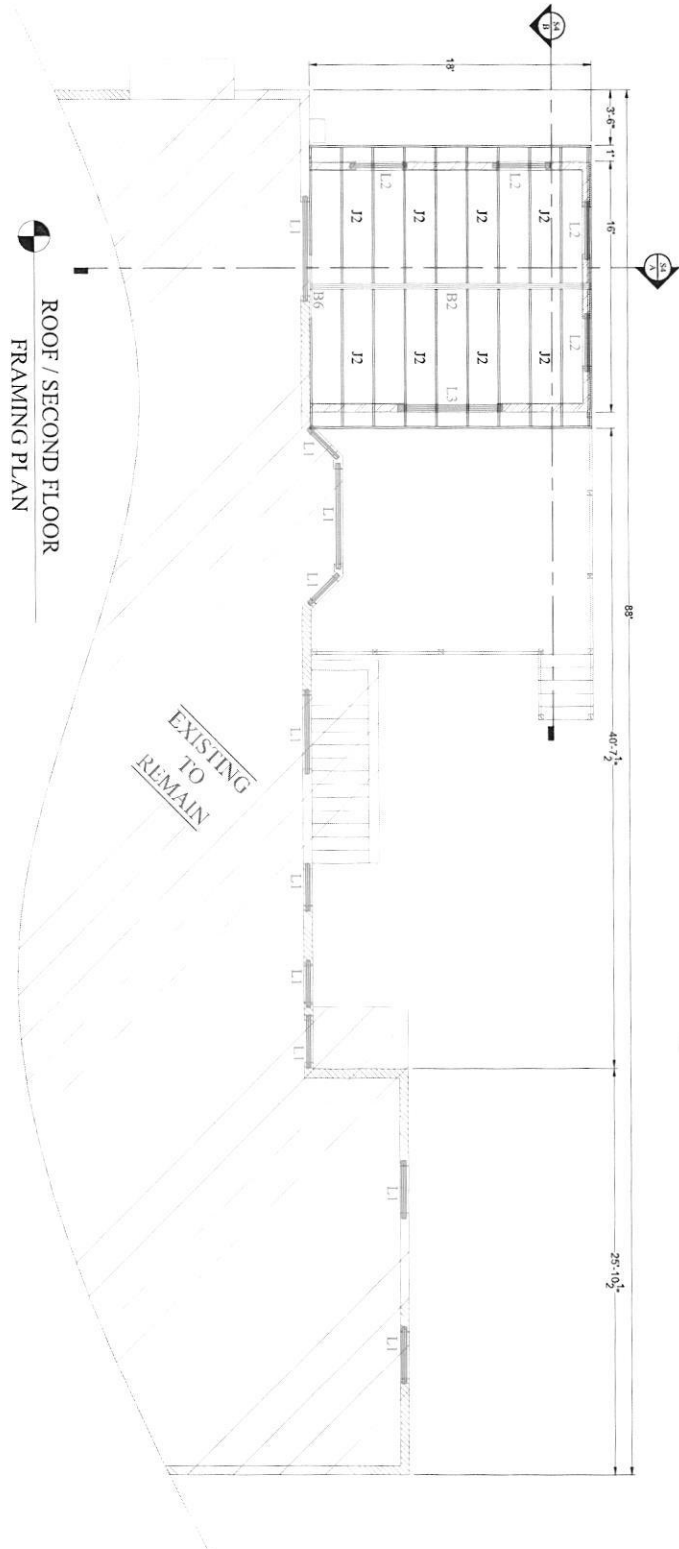
- E.I. - EARH INFTL.
- SFI - NEW 24"x12" D STRIP FOOTING w/ 2-#5 REBAR CONT. @ 24" O.C
- PH - NEW 16"x6" POST FOOTING w/ 2-#4 REBAR E.W
- PF2 - NEW 30"x30" POST FOOTING w/ 2-#5 REBAR E.W
- * CONTRACTOR TO VERIFY
- ALL EXISTING FOUNDATION CONDITION / SIZE
w/ ENGINEER PRIOR TO CONSTRUCTION
- ** ALL EXTERIOR FOOTINGS TO HAVE 500 MC CONCRETE
& SET 30' MIN. BELOW GRADE TO FROST DEPTH

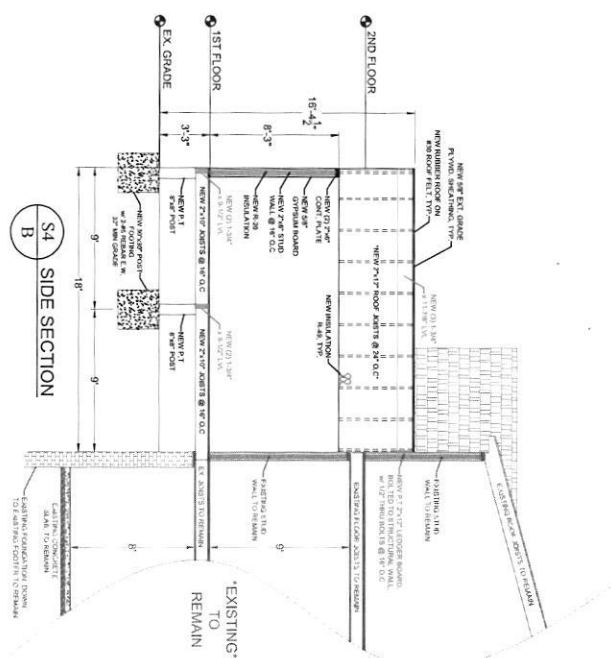
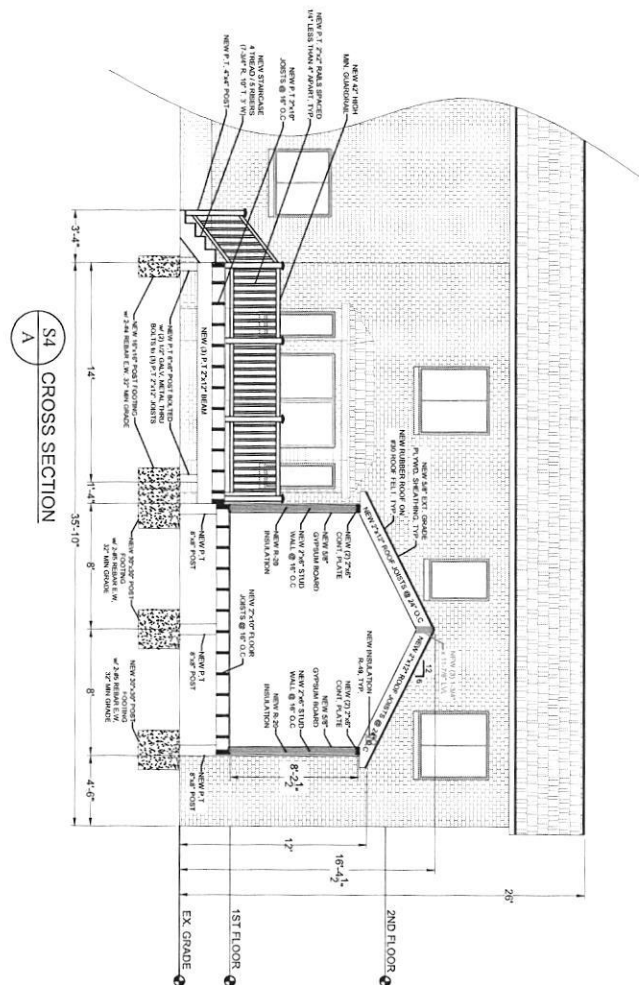
WALL & POST SCHEDULE

- NEW 8" POURED CONCRETE FOUNDATION
for NEW 8" CMU BLOCK FOUNDATION
- EXISTING STUD WALL TO REMAIN
- NEW 2"x6" STUD WALL @ 16" O.C
- NEW 6"x6" PRESSURE TREATED POST
- NEW 8"x8" PRESSURE TREATED POST

LINTEL SCHEDULE

- L1 - EXISTING LINTEL TO REMAIN
L2 - NEW 2-PLY 2"x8" WOOD LINTEL
L3 - NEW 3-PLY 2"x10" WOOD LINTEL.
* CONTRACTOR TO VERIFY *
ALL EXISTING LINTEL'S CONDITION / SIZE
w/ ENGINEER PRIOR TO CONSTRUCTION





DECK NOTES

HANDRAILS/GUARDRAILS ARE REQUIRED WITH 4 OR MORE RISERS, 34" MIN. & 38" MAX. MEASURED VERTICALLY FROM NOSING OF TREADS. ENDS OF RAILING SHALL BE RETURNED OR TERMINATED AT POST FOR SAFETY.

ALL STAIRS MUST BE 36" MIN. WIDTH. MAXIMUM RISER HEIGHT SHALL BE 7-3/4" AND MINIMUM TREAD DEPTH SHALL BE 10". A 1" NOSING SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISER. A 1" NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11". 3/8" MAX. DIFFERENCE IN RISER HEIGHT.

TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL, ARE PERMITTED TO BE OF SUCH A SIZE THAT A 6" SPHERE CANNOT PASS THROUGH.

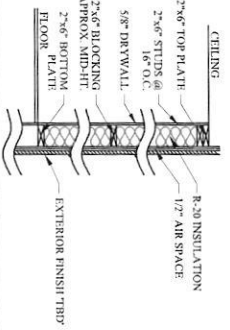
3-6" GUARD HEIGHT WHERE GRADE LINE IS ABOVE 6'-0"

OPENINGS IN GUARD NOT GREATER THAN 4"

ALL WOOD USED IN THE CONSTRUCTION OF ALL DECKS & RAILINGS, ETC. TO BE PRESSURE TREATED. APPLY BUILDING PAPER BETWEEN DECKING & JOISTS.

ALL NAILS, BOLTS & HANGERS MUST BE HOT DIP GALVANIZED, STAINLESS STEEL, OR TRIPLE COATED ZINC POLYMER MATERIAL.

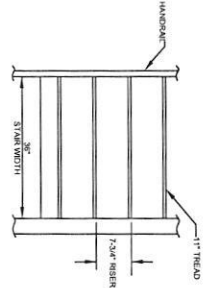
TYP. EXTERIOR ADDITION WALLS



SCALE: 3/8" = 1'-0"

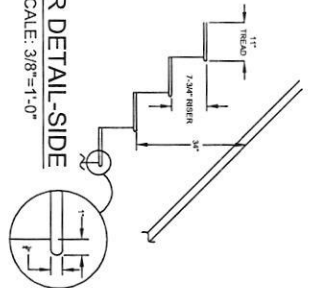
STAIR DETAIL-FRONT

SCALE: 3/8" = 1'-0"



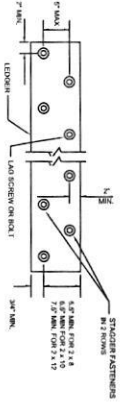
STAIR DETAIL-SIDE

SCALE: 3/8" = 1'-0"



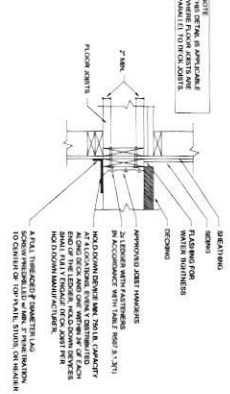
LAG BOLT LEDGER DETAIL

SCALE: 1/2" = 1'-0"



DECK ATTACHMENT FOR LATERAL LOAD

SCALE: 3/8" = 1'-0"



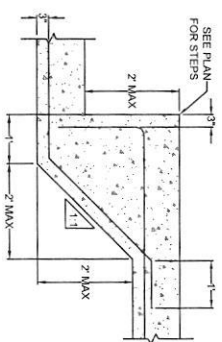
GUTTER CONNECTION DETAIL

SCALE: 3/8" = 1'-0"



TYPICAL STEPPED FOOTING DETAIL

SCALE: 3/8" = 1'-0"



11753 Farside Rd.

From Freemon, Robert <rfreemon@howardcountymd.gov>

Date Fri 5/22/2026 9:00 AM

To haileybanda@gmail.com <haileybanda@gmail.com>

Cc SRVHOMES08@GMAIL.COM <SRVHOMES08@GMAIL.COM>; gina@nw2engineers.com
<gina@nw2engineers.com>; JOSH@NW2ENGINEERS.COM <JOSH@NW2ENGINEERS.COM>

 1 attachment (252 KB)

Homeowner's Guide 2 10-2018 Final Updates 2-6-20 MW.pdf;

Hi,

After review of building permit B26001454 here are my comments. Prior to building permit approval, the well water needs to be tested for radium. If the results come back over the Maximum Contaminant Level (MCL) a Reverse Osmosis System (R&O system) may need to be installed. Attached is information regarding radium testing. Since this will be the first time this property has been tested for radium, there will be no cost to you for the sampling and testing. You will need to call our Community Hygiene Program (410-313-1773) to schedule an appointment for testing. If you have any further questions let me know.



8930 Stanford Blvd. Columbia, MD 21045

Bureau of Environmental Health

Well and Septic Program

Robert "Spencer" Freemon

PHONE: 410-313-6357

EMAIL: rfreemon@howardcountymd.gov

INTERACTIVE GIS: <https://data.howardcountymd.gov/InteractiveMap.html>

WEBSITE: <https://www.howardcountymd.gov/health/well-septic-program>