

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Case

EH-PLANS-26-0

Type

EnvHealth/Environmental Health/Plan Check/Application

Status

In Review

Opened Date

06/30/2026

Single Entry Edit-View Record Form

Application Name

B26002065

Description

SFD/ CONSTRUCT 11' X 14' ADDITION FOR KITCHEN. CONSTRUCT 36' X 7'6" OPEN DECK AND 4' X4' LANDING W/ STEPS, 0 STORY, Post & Pier, 1R, 0FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = Deck, ENERGY METHOD = Prescriptive Method.

Total Invoiced

0.00

Total Paid

0.00

Balance

0.00

Assigned to Department Current Department

Well and Septic Program

Assigned to Staff Current User

Zack Silvest

Address * (This section is required.)

New Search Delete Set Primary

☐ Primary	Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type	U
☒	1921		Davis B...	RD	Wood...	MD	20781				

Parcel (This section is not required.)

Search Delete Get Address & Owner Set Primary

Owner (This section is not required.)

Search Delete Set Primary

☐ Primary	Name	Mail Address Line1	Mail Address Line2	Mail Address Line3	Mail City	Mail State	Mail Zip Code	Phone	Country/Region
☒	Rajesh Bansal	1921 Davis Branch Rd.			Woodstock	MD	21163		US

Applicant * (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form

Type *

Applicant

Primary

Yes

Full Name

First Name *

Jonatan

Middle Name

Last Name *

Urrutia

Organization Name *

Paradise Home Upgrades LLC

Mobile Phone ((xxx)xxx-xxxx)

Approved MRE
7/1/26

Online BP. 6/30/26

(240) 808-3668

Home Phone ((xxx)xxx-xxxx)

E-mail

paradiseupgrades@gmail.com

Business Phone ((xxx)xxx-xxxx)

Preferred Channel

--Select--

Applicant Address

New

Look Up

Deactivate

Remove

Custom Fields

DATE TRACKING

Received Date

6/30/2026

Due Date

7/15/2026

Dates to Complete

14

(Number)

Received by Food

Food Review Type

--Select--

Equipment Specification Sheets Submitted

Equipment Specification Sheet

Received by Community Hygiene

Received by Well and Septic

6/30/2026

FACILITY INFORMATION

Name of Business (dba) *

n/a (Text)

Associated Building Permit Number

(Text)

Owner Switch Date

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.

☐ Yes ☐ No

Does the project include Private Septic? If Yes, forward to WS Program.

☐ Yes ☐ No

Is this a Prototype Food Service Facility? If Yes, refer to State.

☐ Yes ☐ No

Facility Fax

(Text)

Days of Operation

(Text)

Does this project have a Building Permit?

☐ Yes ☐ No

Building Permit Issued Date

☐ Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.

☐ Yes ☐ No

Does the project include Food Services? If Yes, forward to FP Program.

☐ Yes ☐ No

Facility Phone

(Text)

Facility Email

(Text)

PROPERTY INFORMATION

Water Source

--Select--

Sewage Disposal

--Select--

Design Wastewater Flow

(Number)

Permit Type

--Select--

DEVELOPMENT PLANS

Property Type

Residential

Plan Version

Initial

Signature Required

☐ Yes ☐ No

Engineer

(Text)

Number of paper copies

(Number)

Number of mylar copies

(Number)

Number of buildable lots created

(Number)

Number of non-buildable lots created

(Number)

Total Number of Lots

0

Associated Plans

(Number)

WELL AND SEPTIC INTERNAL

State Review Required

Coordinate State Review

☐ Yes ☐ No☐ Yes ☐ No

Proposed Septic System Type

--Select--

FOOD ESTABLISHMENT FACILITY

Priority Assessment

--Select--

Licensed Type

--Select--

License Category

--Select--

FOOD ESTABLISHMENT INFORMATION

Hours of Operation

(Text)

☐ Operating Seasonally Only

If Operating Seasonally, What is the start month?

(Text)

Are pets allowed in a outdoor seating area?

☐ Yes ☐ No

Full Bar?

☐ Yes ☐ No**RESTAURANT AND FOOD SERVICE**

Food Service Facility Secondary Category

--Select--

Total Seating Capacity

(Number)

Number of Restrooms

(Number)

Interior Restaurant Seating Capacity

(Number)

Bar Seating Capacity

(Text)

Outdoor Seating Capacity

(Text)

Does the restaurant have outdoor seating

☐ Yes ☐ No**EQUIPMENT**

Evaluated non NSF, ANSI, CF or other standards

☐ Yes ☐ No

Description of Refrigeration Units

Number of Walk-In Refrigerator Units

(Number)

Description of Walk-In Freezer Units

(Text)

Is there a bulk ice machine available

☐ Yes ☐ No

Space Limitation

Number of Hand Sinks Available

(Number)

Hood System

(Text)

Ventless Equipment

(Text)

PLUMBING

Size and installation of the water heater?

(Text)

Is there a grease interceptor or grease trap?

--Select--

REFUSE AND RECYCLABLES

Dumpsters Located on a impervious surface?

--Select--

Will there be a grease receptacle?

--Select--

WAREWASHING DISHWASHING

Dishwashing Method

--Select--

HACCP

Plan Review Response Letter Received

☐ Yes ☐ No

Date HACCP Approved by the State

☐

Date HACCP Plan Submitted

HACCP Plan Approved

☐

HACCP Plan Review

☐

Plan Review Letter Mailed

☐

HACCP Plan Revision Submitted

☐

HACCP Fee Type

--Select--

GENERAL NOTES

- THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT NO. 23868. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
- SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER CP-22-0632.
- TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY D. WALKER, INC., SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
- ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
- THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-1214, WAS FIELD LOCATED BY DWM AND IS BELIEVED TO BE ACCURATELY SHOWN.
- THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED SEPTIC SYSTEMS.
- ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ONE MICRO-BIOTRETENTION (NOTE M-6).
- RAINWATER SHALL BE CONVEYED TO THE SWM FACILITY WITH HOPE PIPES, ROOF LEADERS AND TRENCH DRAINS, AS SHOWN.

Proposed Kitchen Addition 11' x 14'
Open composite deck 7'6" x 3'5" and 12'4" landing and 4' wide steps to ground

REVISED
Date: 6/30/22
Comments: Good
Adding Bedroom

Professional Certification: I hereby certify that I was prepared or approved by me, and that I am a professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-



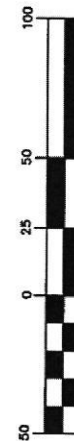
BEI-AAM

*REVISED MAY 2022 TO RELOCATED DECK TO OPPOSITE SIDE OF HOUSE, AND TO ADJUST FOOTPRINT OF SUNROOM.

2022.05.26 16:29:27 -0

PROJECT:	MYRTUE PROPERTY LOT 18
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1921 DAVIS BRANCH RD, WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 35252
TITLE:	*REVISED BUILDING PERMIT PLAN
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES
DATE:	MAY, 2022
SCALE:	AS SHOWN
PROJECT NO.	201
DRAWING	1 OF

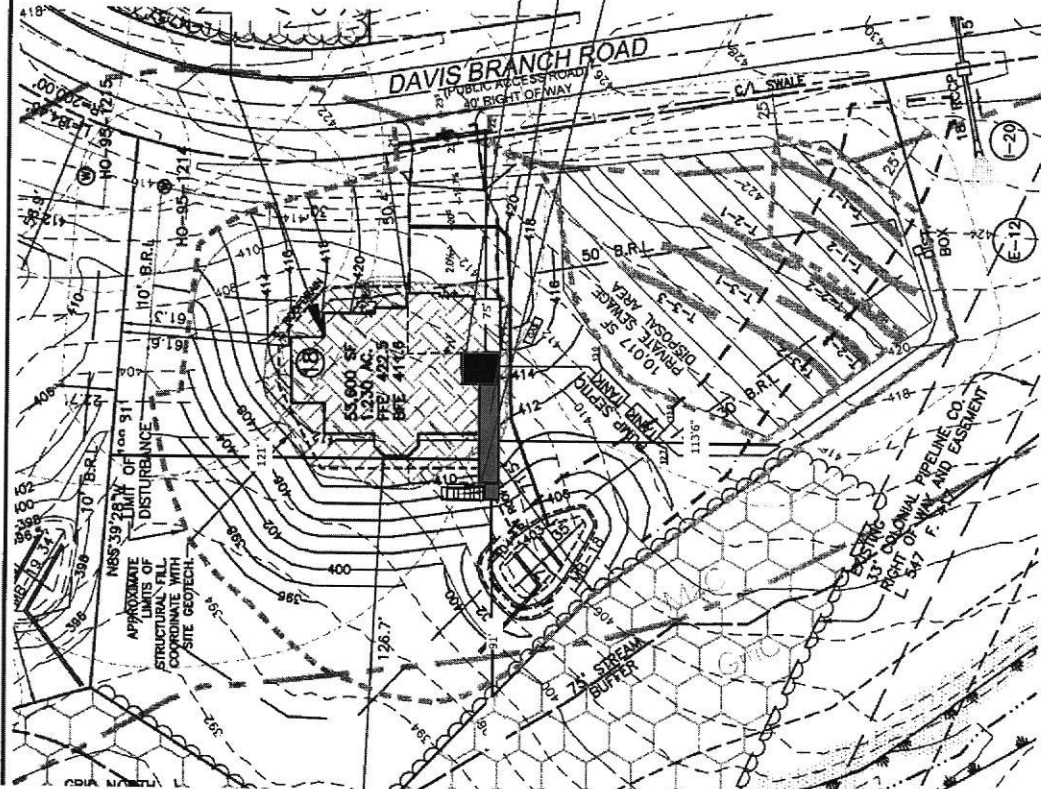
ESD STORMWATER MANAGEMENT SUMMARY TABLE									
Practice	#	DA to practice	Imp Area	Q _{eq}	ESD#	771	cf	Rev (AC)	Ownership
(M-6) Micro-Biotretention	#18	12,164	5,034	243	480	PASS	629	1.98	200.00
				Depth of Stone:		12.6 inches			



OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

BENCHMARK
ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-485-6105 A (F) 410-485-8844
WWW.BE-CIVLENGINEERING.COM

R'S DATA
ED FLOOR: 422.5
F WALL: 421.3
ENT FLOOR: 411.6
ENT SUBGRADE: 410.7
E FLOOR: 421.3
E LIP: 421.0
BELOW SLAB
E FLOOR IS EVEN WITH TOP OF THE REAR FOUNDATION WALL



PROJECT SCOPE OF WORK

Property Owner: Rajesh Bansal

Project Address: 1921 Davis Branch Road, Woodstock, MD 21163

Kitchen Addition (11' x 14')

Construct a new elevated floor system measuring 11 feet by 14 feet. Floor framing shall be built using pressure-treated lumber with double 2x10 beams and 2x10 floor joists spaced 16 inches on center. Install insulation beneath the floor system and throughout the walls and ceiling assembly. Install 1/2-inch plywood subflooring. Provide and install all required plumbing, electrical, and HVAC systems. Construct 2x4 framed walls. Install ceramic tile flooring. Install one exterior door providing access to the deck and one interior door providing access to the existing house. Exterior finish shall be stucco. Roofing shingles shall match the existing house. Install matching gutters and downspouts.

Open Deck

Construct a new open deck measuring approximately 36 feet long by 7 feet 6 inches wide. The new deck shall connect to the existing deck as shown on the approved drawings. Construct one 4' x 4' landing and one staircase with seven steps to grade.

Deck Structure

All framing materials shall be pressure-treated lumber for exterior use. Double 2x10 beams. 2x10 joists at 16 inches on center. Structure to comply with applicable building code requirements.

Decking and Railings

Install composite decking as shown on elevation drawings. Install almond-colored PVC railings. Wrap all support posts with almond-colored PVC trim. Wrap all exposed beams with matching almond-colored PVC trim. Install solar post-cap lights on all railing posts.

Under-Deck Storage Area

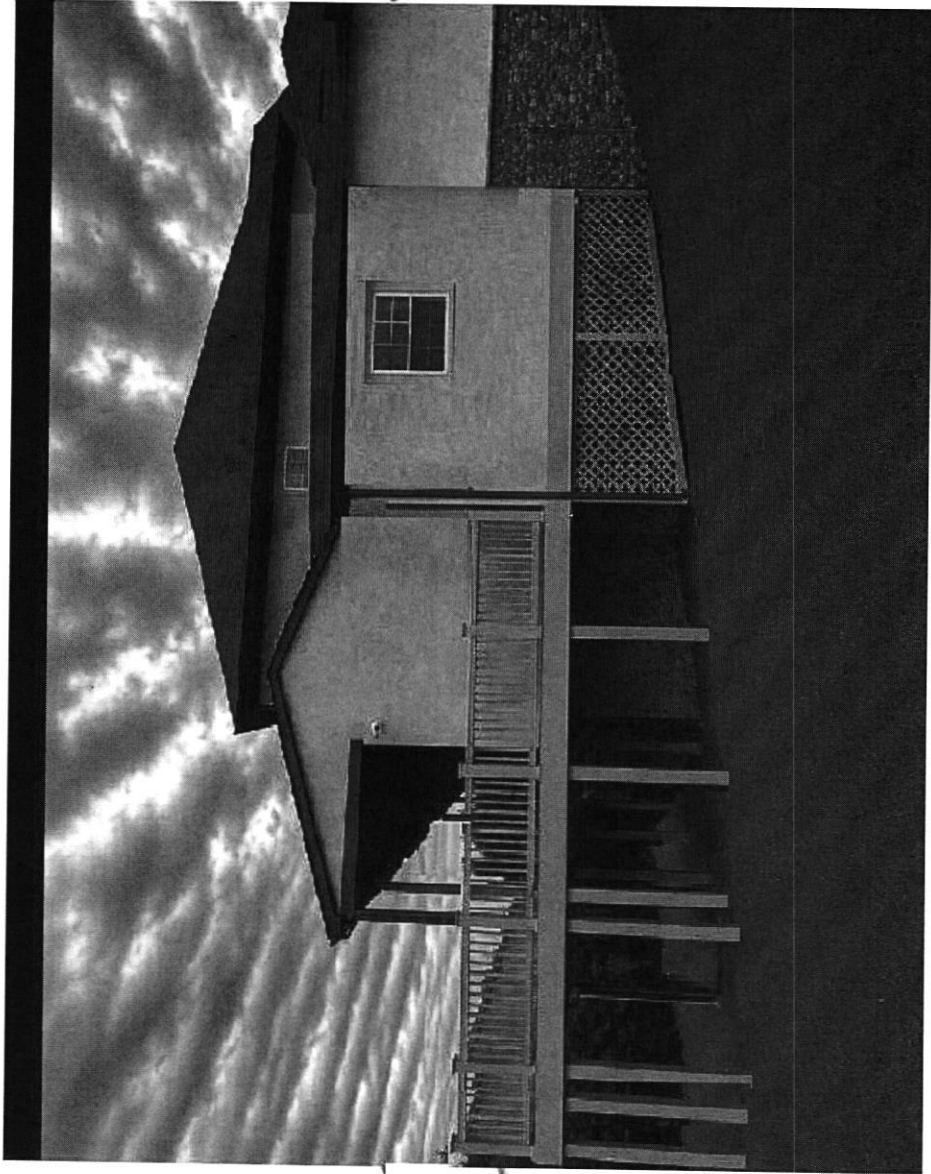
Install privacy lattice beneath the kitchen addition to create an enclosed storage/storage-access area.

Included Work

All labor, materials, framing, decking, railings, PVC wraps, privacy lattice, ceramic flooring, insulation, plumbing, electrical, HVAC, stucco exterior finish, roofing, gutters, and downspouts. All work shall be performed in accordance with the approved plans, foundation drawings, and elevation drawings.

Elevation

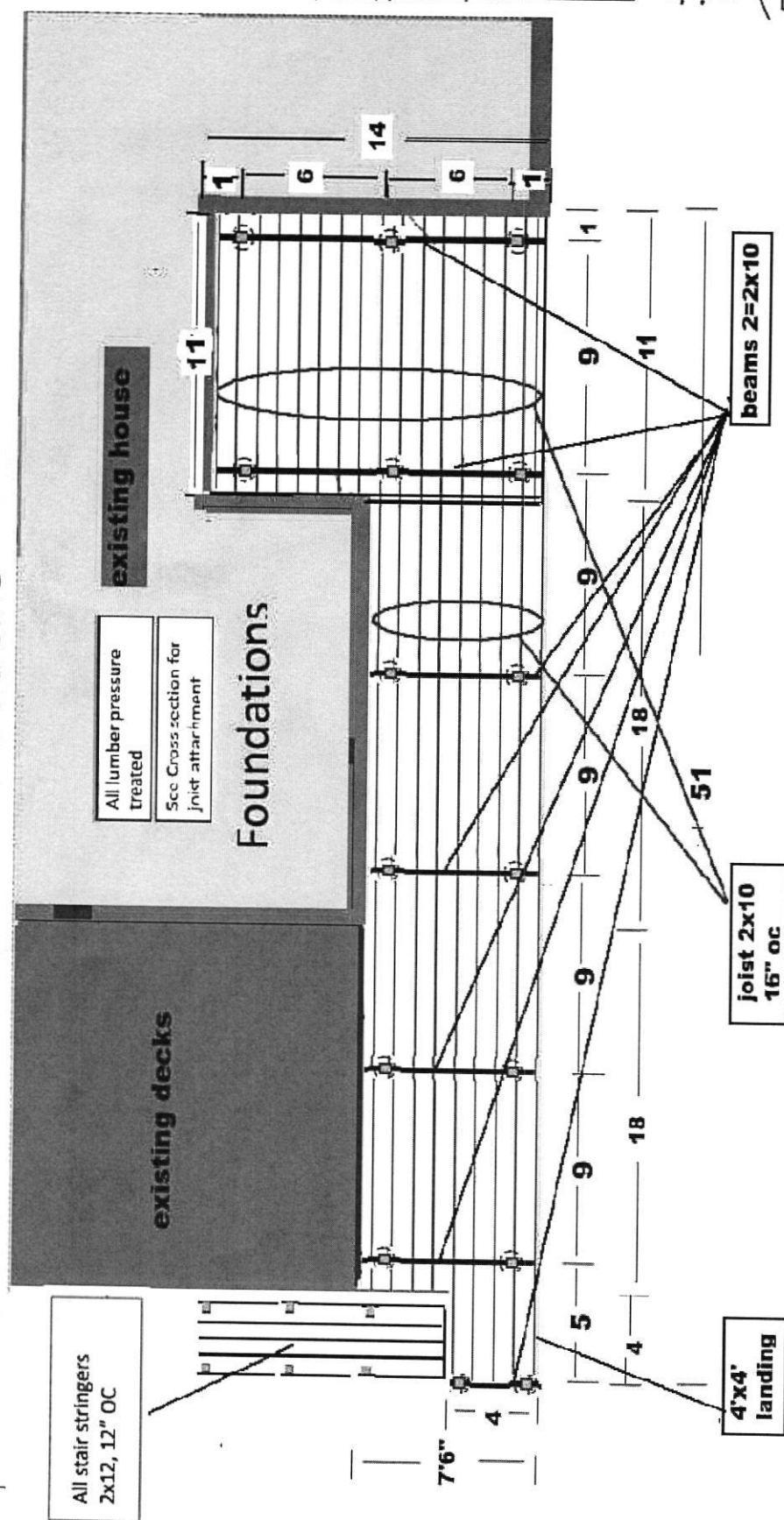
drywall walls and ceiling
2 doors to access home and exterior & window
Additional electrical outlet.
4/12 A-Frame roof
Header wrapped in aluminum
Gutter downspout roof drop at base of post
Deck approximately 8' off ground
Composite Decking
exterior stucco walls
Shingles to match existing



11'x14 deck with covered roof structure: kitchen
7'6"x 36' open composite deck
36" guard rails
Baluster spacing NTE 4" OC
4x4 and 6x6 posts with vinyl post sleeves almond
Deck beams with PVC wraps almond
Solar lights on the caps of the railing posts, landings and stairs
Fascia/Trim Selection: almond

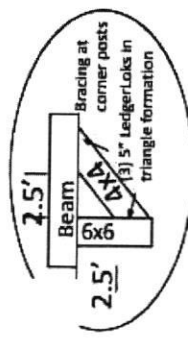
2

Foundations



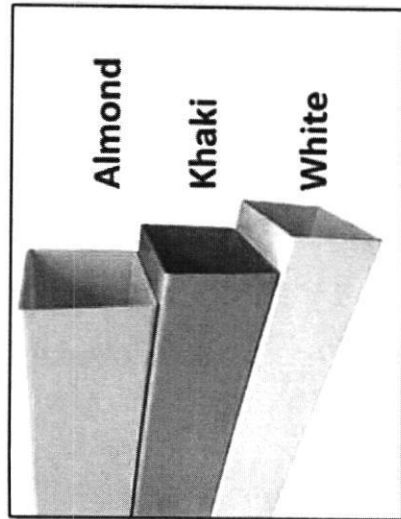
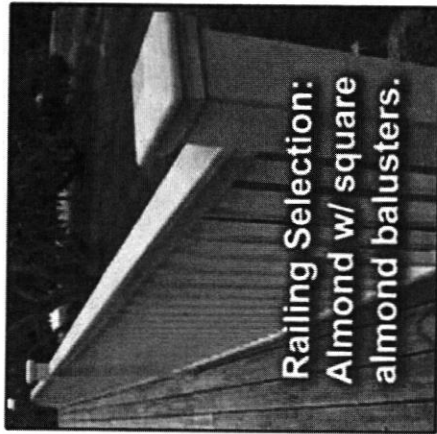
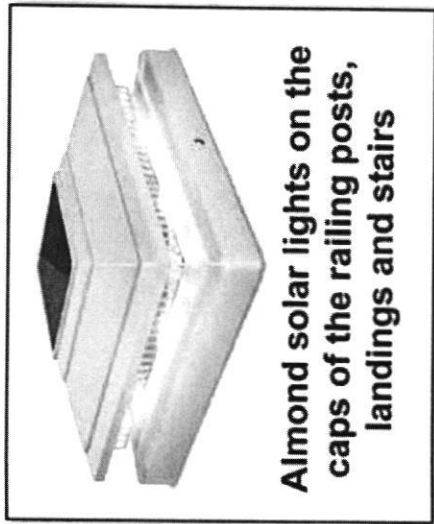
All lumber pressure treated
See Cross section for joist attachment
Joists 2x10 16"OC
Beam: 2(2x10)
Minimum 8x18 concrete footings
Top of deck approx 5' above ground

Double Joists 2x8
Front up set beam



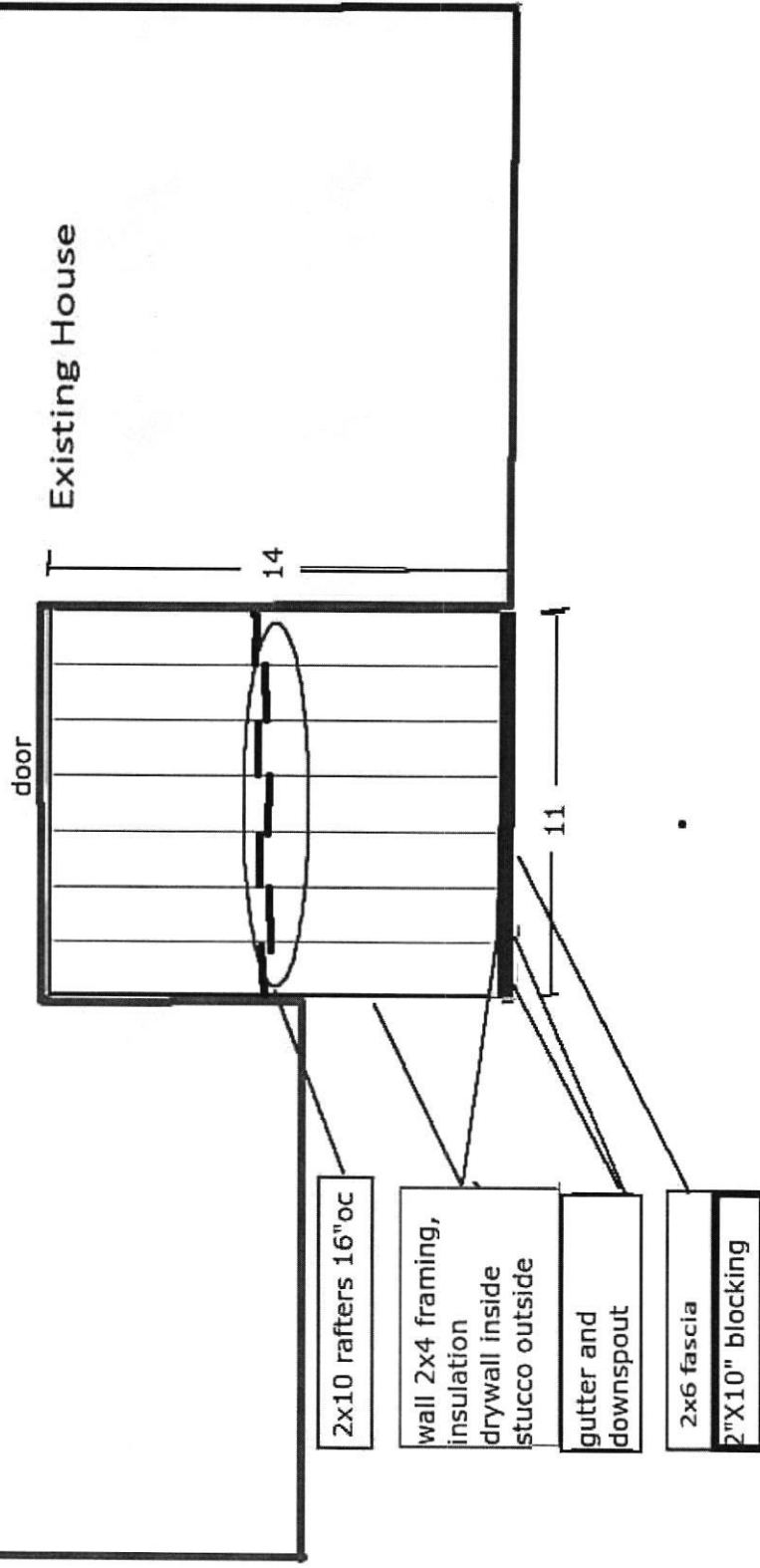
1/2"x4" lag screws as illustrated in cross section

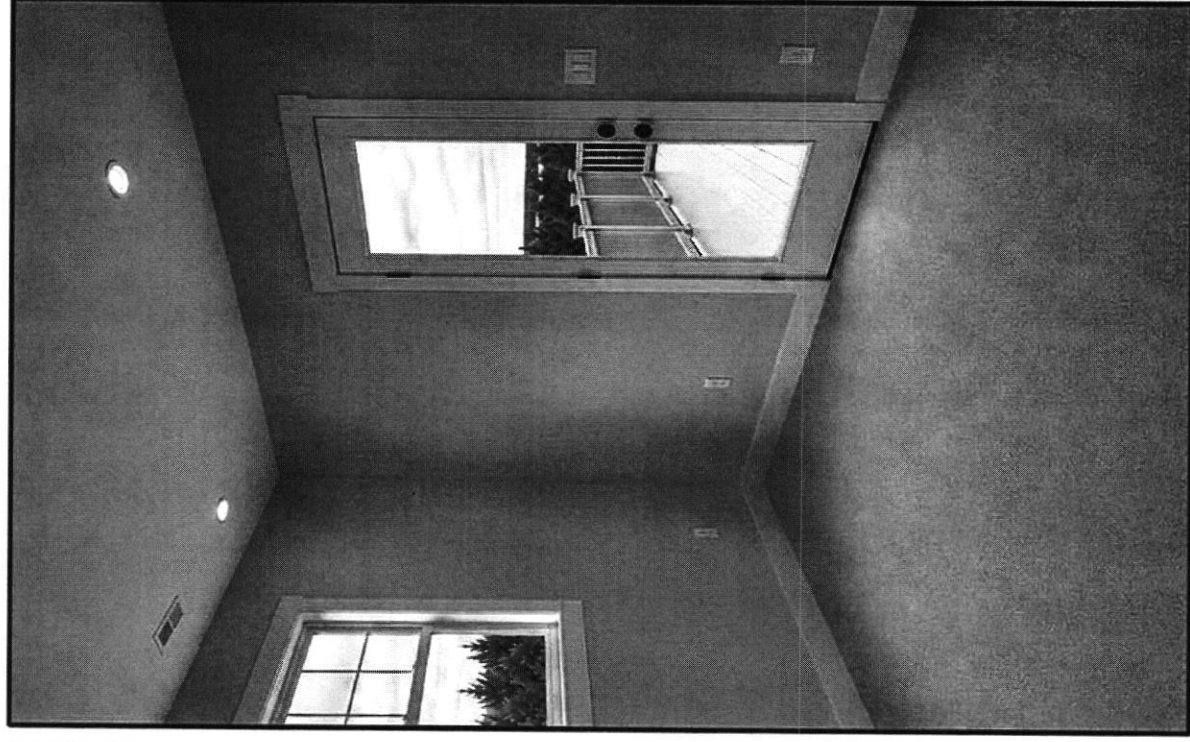
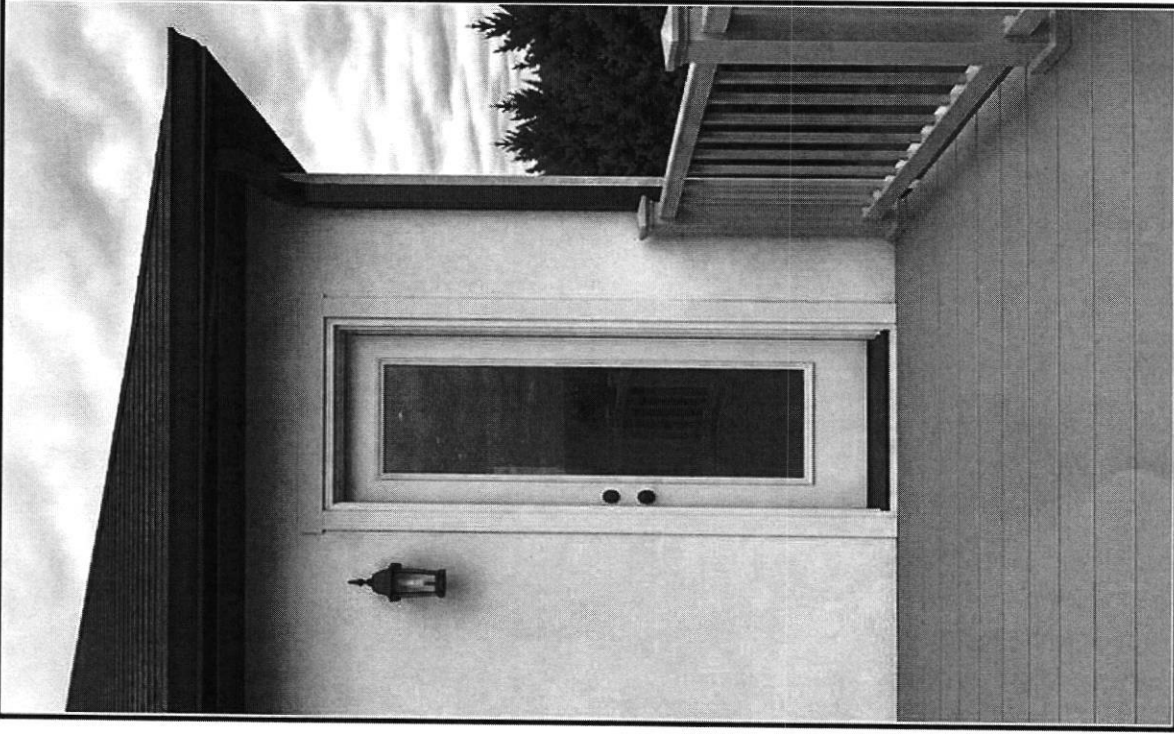
Color Selections



Vinyl post sleeve
Selection: Almond

kitchen Roof framing





Proposed 11'x14'
Addition, Kitchen

Shingles to match
existing

2.5/12 pitch

Exterior walls
stucco

5" gutter and
downspouts

Window and corner
trim to match existing

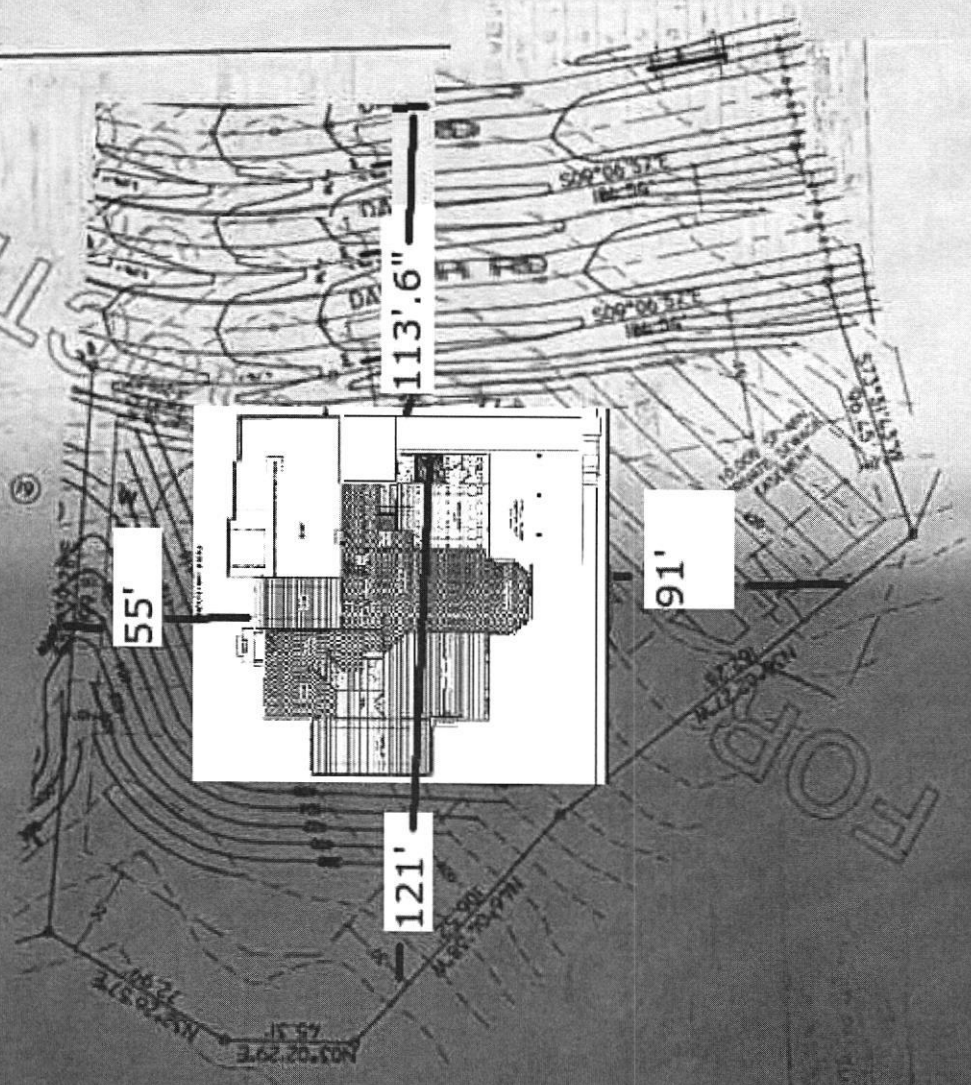
Include an additional
electrical outlet

Porch approximately
7' off ground

Insulation and drywall
inside and ceramic floor

Will apply for permit
for plumbing and electric

THIS PLAN DEPICTS THE HOUSE
PLACEMENT ON THE SITE.
FOLLOW BENCHMARK'S SIGNED AND
APPROVED GRADING, EROSION AND
SEDIMENT CONTROL PLANS ATTACHED.



DRIVEWAY TABLE

DRIVEWAY	WIDTH	LENGTH
A to C	10.0'	10.0'
B to C	10.0'	10.0'
A to D	10.0'	10.0'
B to D	10.0'	10.0'

PLANNED DRIVEWAY TO BE 10.0' WIDE AND 10.0' LONG. SEE ATTACHED PLAN FOR DETAILS.

NOT TO SCALE. DIMENSIONS ARE IN FEET AND INCHES. SEE ATTACHED PLAN FOR DETAILS.

