

Approved 7/2/26

-H.O.

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B26001926	06/09/2026

Description of Work

SFD/ ADDITION TO EXISTING DWELLING TO INCLUDE: NEW 18' X 20' FAMILY ROOM ADDITION ON CRAWLSPACE ATTACHED TO RIGHT SIDE OF HOME, REMOVE (1) NON LOAD-BEARING WALL BETWEEN KITCHEN & DINING ROOM, AND ADD NEW DOORWAYS INTO ADDITION, NEW 6' X 13' DECK ON REAR OF ADDITION, TOTAL AREA APPROXIMATELY 400 SQFT, 01 STORY, Crawl Space, 1R, 0FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = Deck, ENERGY METHOD = N/A,

[check spelling](#)

Online BP.

g8 6/24/24

Address * (This section is required.)

Search	Reset	Clear	Get Parcel & Owner
Street # 1564	Street Name LONG CORNER	Street Type RD	
Unit Type --Select--	Unit #	X Coordinate -77.15675	Y Coordinate 39.33236
City MOUNT AIRY	State MD	Zip Code 21771	Primary Yes

Parcel * (This section is required.)

Search	Reset	Clear	Get Address & Owner
GIS ID *	Parcel	Parcel Area	Land Value
11058766	83	0.96	210300
			Improved Value
			497600
			Exemption Value
			287300
			Plan Area
			RURAL

Legal Description

IMPSPARCELA .9576 A.[]1564 LONG CORNER RD[]

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
		604001	5				
Plan Area		State Tax Id					
		1404368479					
Section		Area					
Grid		Zoning District					
6-16		RC-DEO					
SDP No.		Final Plan No.					
		F-06-196					
Record Plat No.		WS Contract No.					
Owner Occupied		Year Built					
☐ Yes ☐ No		2013					
Historic District Registry No.		Stat Area					
		4-04					
Building No							

Owner (This section is not required.)

Search	Reset	Clear
Name *		
KELSE		
Address Line 1		
1564 LONG CORNER RD		
Address Line 2		
Address Line 3		
Mail City		
MT AIRY		
Mail State		
MD		
Mail Zip Code		
21771		
Phone		
202-439-5713		
Primary		
Yes		
E-mail		

Cell Number

Fax Number

Professionals (This section is not required.)

License # * 08050129673
License Type * MHIC Co
Primary Yes

Business Name
CORNERSTONE REMODELING LLC

First Name Middle Name Last Name
✓ WILLIAM BALLANTINE

Address Line 1
✓ 3273 PINE ORCHARD LANE
Address Line 2

City State ZIP Code
ELLICOTT CITY MD 21042-0000

Phone 1 Phone 2 Fax
4103367011

E-mail
AJ@CORNERSTONE.HOUSE

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant
Relationship Applicant
Primary No

First Name MI Last Name
✓ WILLIAM BALLANTINE

Full Name
✓ WILLIAM BALLANTINE

Organization Name
CORNERSTONE REMODELING LLC

Street Address
3273 PINE ORCHARD LANE
Address Line 2

City State Zip Code
ELLICOTT CITY MD 21042 000

Phone Cell Fax
4103367011

E-mail *
Sales@CORNERSTONE.HOUSE

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Contact
Relationship Applicant
Primary Yes

First Name MI Last Name
✓ WILLIAM BALLANTINE

Full Name
✓ WILLIAM BALLANTINE

Organization Name
CORNERSTONE REMODELING LLC

Street Address
3273 PINE ORCHARD LANE
Address Line 2

City State Zip Code
ELLICOTT CITY MD 21042 000

Phone Cell Fax
4103367011

E-mail
Sales@CORNERSTONE.HOUSE

Addtl Info

Est Construction Cost * 150000
Housing Units * 0
Number of Buildings * 0
Public Owned No

Construction Type
434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *

☐ Yes ☒ No

Capital Project Number

(Text)

Fee Exempt *

☐ Yes ☒ No

Roadside Tree Project Permit

☐ Yes ☒ No

Roadside Tree Pr

No of Stories * 01 (Text) Foundation * Crawl Space Basement * N/A No of Rooms * 1 (Text) Full Baths * 0 (Number) Ha 0

Model *

SFD/ ADDITION TO EXISTING DWELLING TO INCLUDE: NEW 18' X 20' FAMILY ROOM ADDITION ON CRAWLSPACE ATTACHED TO

[check spelling](#)

Other Structure *

None

Bedrooms *

0 (Number)

Porch Deck *

Deck

No of Fireplaces *

0 (Number)

Type of Fireplace

--Select--

W & S Fees Paid

☐ Yes ☐ No

Water *

Private

Sewage *

Private

Utilities *

Electric

Heating System *

Electric

Sprinkler System *

None

1st Floor Width

1st Floor Depth

2nd Floor Width

2nd Floor Depth

Basement Width

Basement Depth

Height

FT (Number)

FT (Number)

FT (Number)

FT (Number)

FT (Number)

FT (Number)

Total Square Footage *

400

SQFT (Number)

Occupiable Square Footage *

0

SQFT (Number)

Affordable Housing Funding *

N/A

Foundation Measurement

(Text)

Walls

Roof

(Text)

(Text)

Change In Use

☐ Yes ☒ No

Grading Permit No

(Text)

Senior Housing

☐ Yes ☒ No

MIHU Outside Downtown Columbia

☐ Yes ☒ No

Additional Description Info

Expiration Date

12/19/2026

MIHU Required Units

0

(Num

[check spelling](#)

GREEN INFORMATION

Goal Level

--Select--

Actual Level

--Select--

Leed Registration Number

(Text)

Date of Leed Certification

STORM WATER MANAGEMENT

Green Roofs A1

☐ Yes ☐ No

Permeable Pavements A2

☐ Yes ☐ No

Reinforced Turf A3

☐ Yes ☐ No

Disconnection of Rooftop Runoff N1

(Number)

Sheetflow to Conservation Areas N3

☐ Yes ☐ No

Rainwater Harvesting M1

(Number)

Submerged Gravel Wetlands M2

(Number)

Landscape Infiltration

Dry Wells M5

(Number)

Micro Bioretention M6

(Number)

Rain Gardens M7

(Number)

Swales M8

(Number)

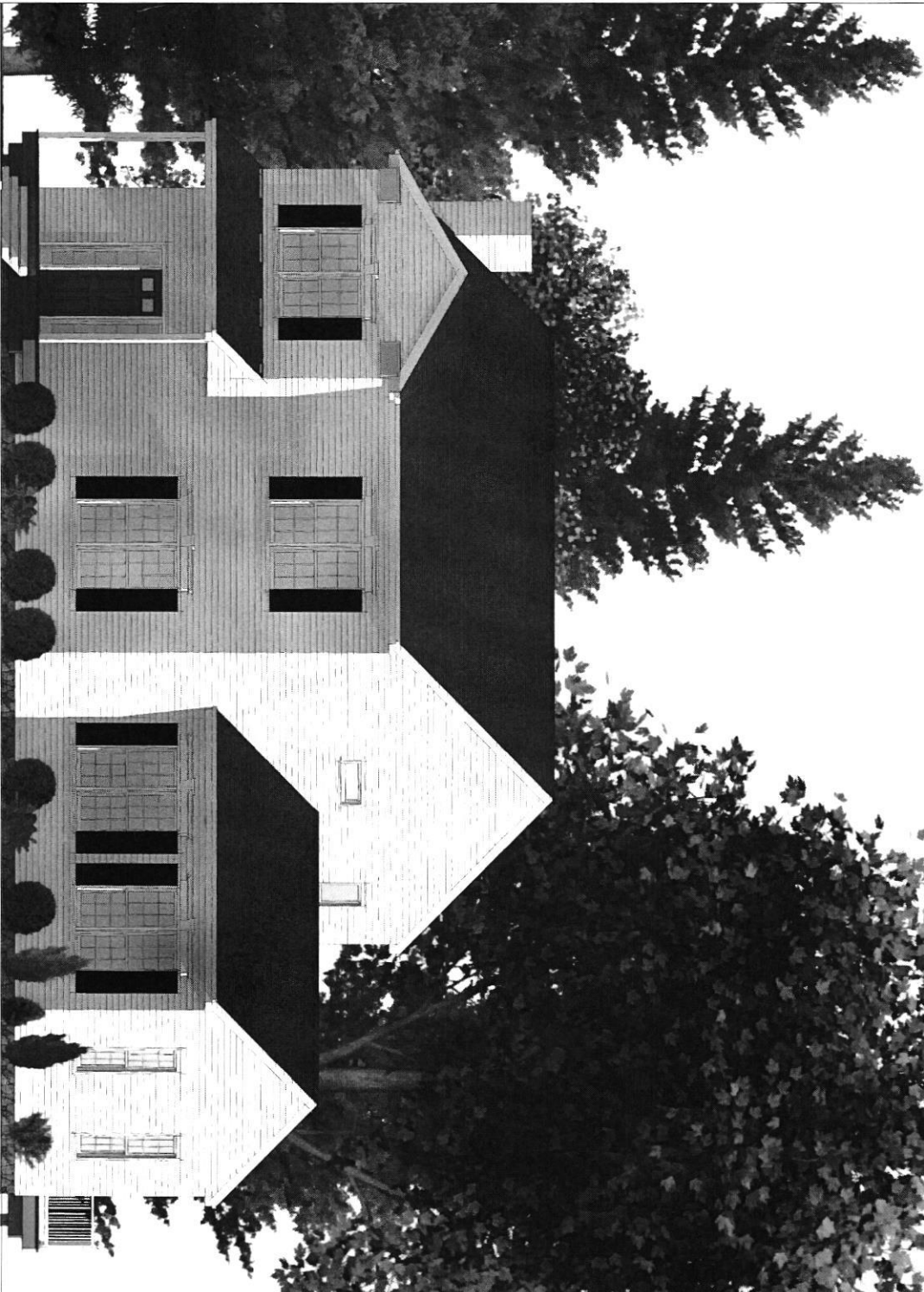
PSWM Certification Received in CID on

Submit

Cancel

KELSEY ADDITION

1564 Long Corner Rd Mt Airy, MD 21771



SCOPE OF WORK:

SHD/ ADDITION TO EXISTING DWELLING TO INCLUDE: NEW 18' X 20' FAMILY ROOM ADDITION ON CRAMSPACE ATTACHED TO RIGHT SIDE OF HOME. REMOVE (1) NON LOAD-BEARING WALL BETWEEN KITCHEN & DINING ROOM, AND ADD NEW DOORWAYS INTO ADDITION. NEW 6' X 13' DECK ON REAR OF ADDITION. TOTAL AREA APPROXIMATELY 400 SQFT

PAGE INDEX

LABEL	TITLE	#
CO-1	COVER SHEET	1
CO-2	GENERAL NOTES & PLAT	2
D-1	EXISTING, 2F	3
D-2	EXISTING, 1F	4
D-3	EXISTING, FND	5
A-1	PROPOSED, 2F	6
A-2	PROPOSED, 1F	7
A-3	PROPOSED, FND	8
A-4	ELEVATIONS	9
A-5	ELEVATIONS	10
A-6	ELEVATIONS	11
S-1	PROPOSED SECTIONS	12
S-2	PROPOSED SECTIONS	13
F-1	WALL FRAMING, 2F	14
F-2	WALL FRAMING, 1F	15
F-3	WALL FRAMING, FND	16
F-4	FLOOR FRAMING, 2F	17
F-5	FLOOR FRAMING, 1F	18
F-6	ROOF FRAMING, 1F	19
R-1	ROOF PLAN, 1F	20
MEP-1	ELECTRICAL, 1F	21



Cornerstone Remodeling LLC
3273 Pine Orchard Ln. Suite A,
Ellicott City, MD 21042
Hours: M-F 7:30 - 4:00
MHIC: #129673
P: 410-336-7011

KELSEY ADDITION
1564 Long Corner Rd Mt Airy, MD 21771

STAMP/SEAL:

REVISION TABLE
NO. DATE BY COMMENTS

NO.	DATE	BY	COMMENTS

SCALE: 1" = XX'

CO-1
COVER SHEET

PAGE: 1

CARPENTRY:

SWAN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SWAN LUMBER SHALL CONFORM TO WEST COAST LUMBER REJECTION BOARD OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER SHALL BE GRADUALLY DRYED TO 19% MOISTURE CONTENT. A PERMANENT CONCRETE OR CHALK SHALL BE PRESERVED TREATED UNLESS AN APPROVED BARBER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR ENGINEER APPROVED EQUAL AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HI OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON ZMAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS, OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IRC TABLE 2304.2.1 OR IRC TABLE B602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PR-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES, NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE B602.3(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 96, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR ANALOGOUS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TIMBERING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON ECG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW.

FRAMING NOTES:

PROVIDE DOUBLE JOISTS UNDER ALL WALLS RUNNING PARALLEL TO JOISTS. PROVIDE POSITIVE VENTILATION AT EA. END OF EA. Rafter SPACE AT WAITED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R602.12.

PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

LUMBER SPECIES:

POSTS, BEAMS, HEADERS, JOISTS, AND BATTERS TO BE SPF #1

EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER

SILLS, PLATES BLOCKING, AND BRIDGING TO BE SPF #2.

ALL STUDS TO BE SPF #2 OR BETTER

PLYWOOD SHEATHING SHALL BE AS FOLLOWS:

ROOF SHEATHING SHALL BE 1/2" CDX INT-LA RATED 32/16.

WALL SHEATHING SHALL BE 1/2" INT-LA RATED 32/16 OR 7/16" OSB.

FLOOR SHEATHING SHALL BE 3/4" 1 & G INT-LA RATED OSB.

* JOISTS SHALL BE MANUFACTURED BY TRUSS JOIST OR APPROVED EQUAL.

F. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED

STRUCTURAL NOTES:

CODES: ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2021 EDITION

DESIGN LOADS:

ROOF 50 PSF

DECK 40 PSF

STAIRS 40 PSF

SNOW LOAD 50 PSF

BASIC WIND SPEED 115 PSF

ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF BATTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

SNOW LOAD 50 LBS./PER SQUARE FOOT.

WALL HEADERS: 2" X 10" DF 2 TYP. U.N.O.

DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. FOR BEDROOMS. ALL OTHER ROOMS SHALL HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

ALL WALK-IN CLOSET DOORS SHALL BE SOLID CORE.

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF-CLOSING.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60.

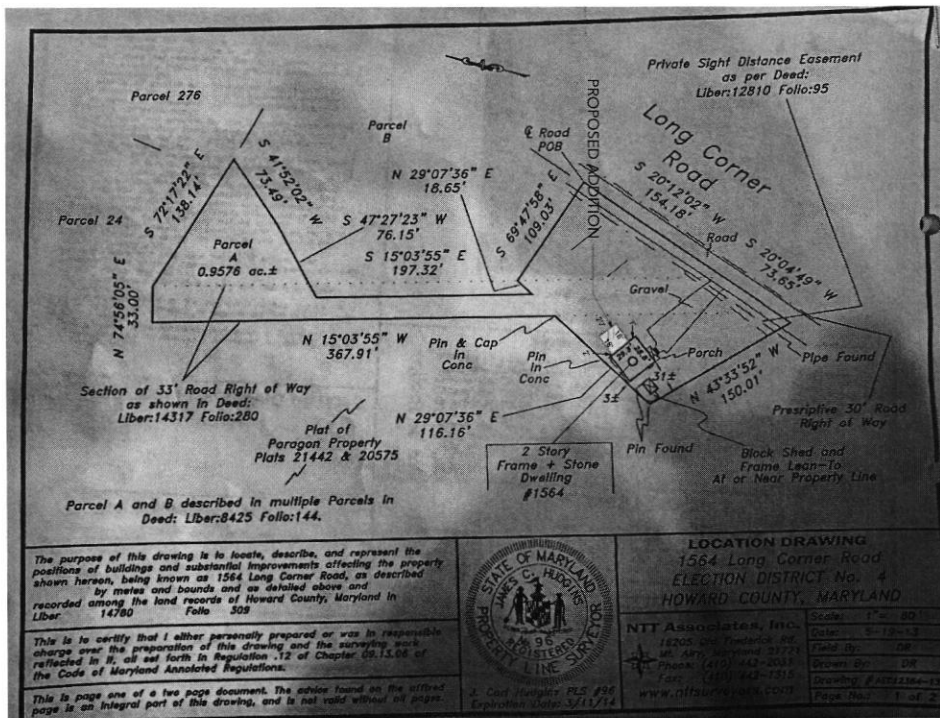
GARAGE DOORS TO BE SECTIONAL OVERHEAD DOORS

ELECTRICAL NOTES:

ALL NEW AFFECTED LIVING AREAS / BEDROOMS WILL INCLUDE CODE COMPLIANT SMOKE ALARMS AND CARBON MONOXIDE SENSORS AS NECESSARY. ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NEC AND IRC CODE.

GENERAL NOTES:

ALL NEW AFFECTED LIVING AREAS / BEDROOMS WILL INCLUDE CODE COMPLIANT SMOKE ALARMS AND CARBON MONOXIDE SENSORS AS NECESSARY. ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NEC AND IRC CODE.



KELSEY ADDITION

1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
3273 Pine Orchard Ln, Suite A,
Ellicott City, MD 21042
Hours: M-F 7:30 - 4:00
MHIC: #129673
P: 410-336-7011



STAMP/SEAL:

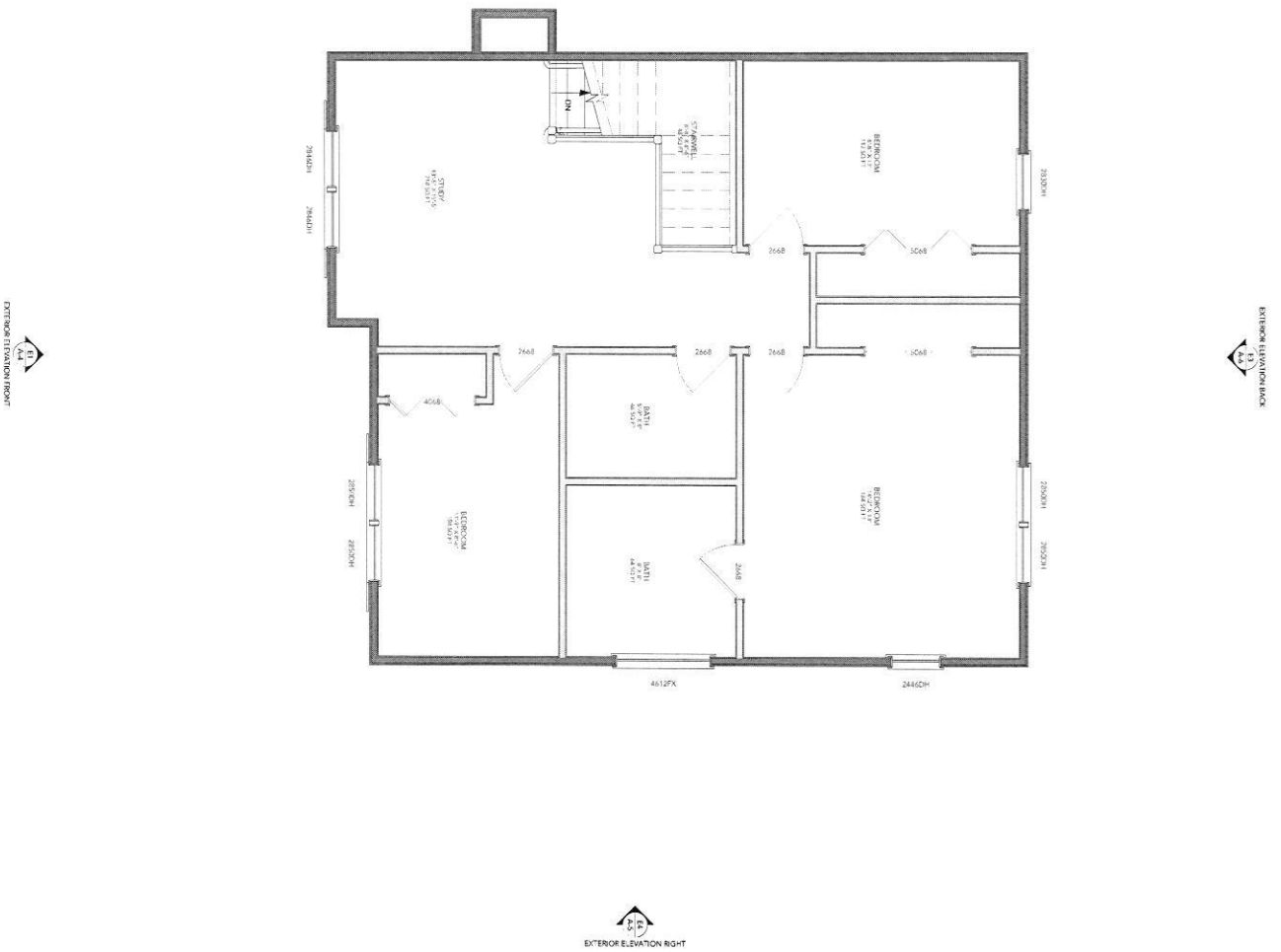
REVISION TABLE
NO. DATE BY DESCRIPTION
1 08/18/2024 JH CO-2 ADDITION

SCALE: 1" = 80'

CO-2

GENERAL NOTES & PLAT

PAGE: 2



EXTERIOR ELEVATION RIGHT

STAMP/SEAL:

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION
1	10/18/18	IN	CONSTRUCTION

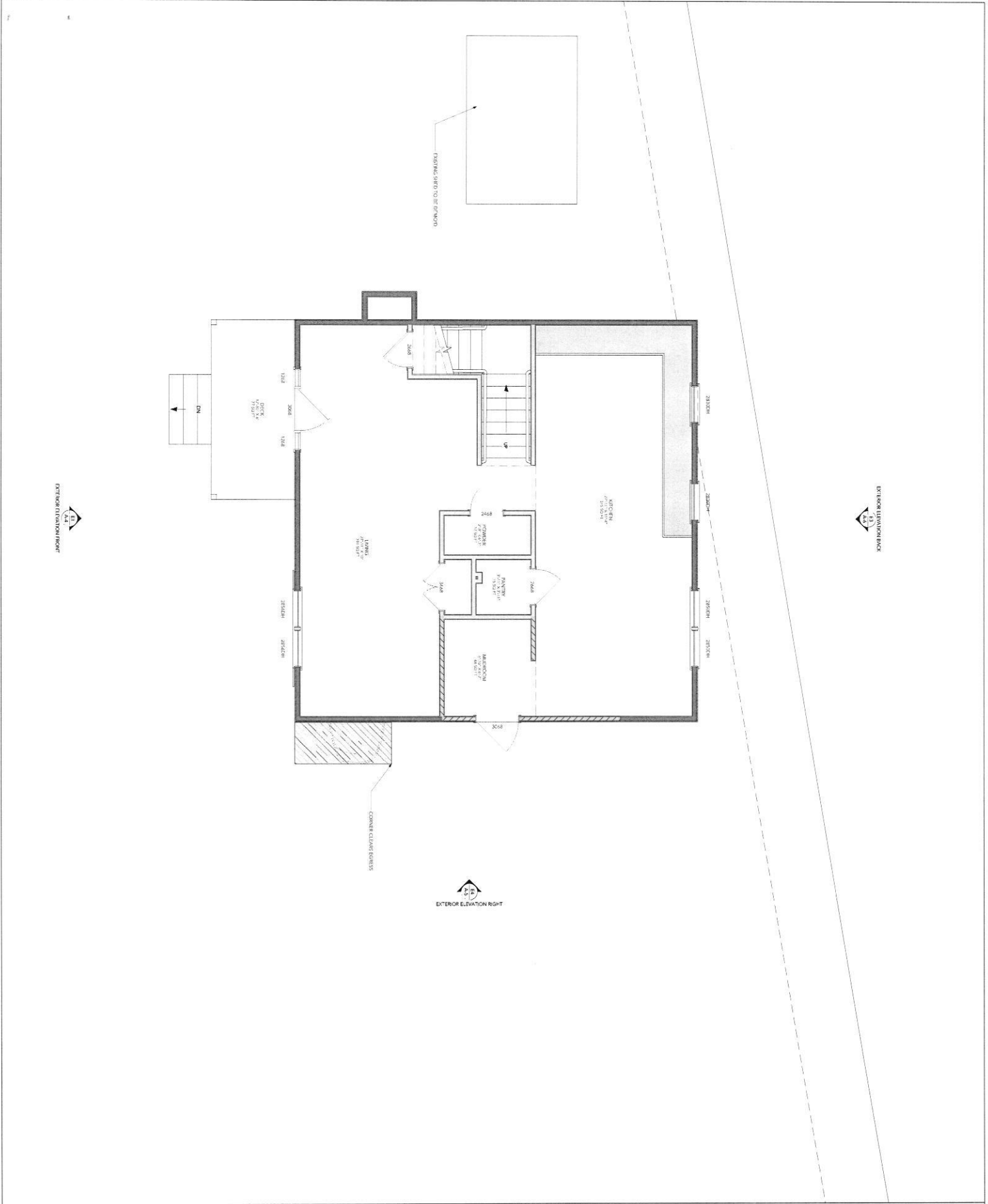
SCALE: 1/4" = 1'

D-1
EXISTING, 2F

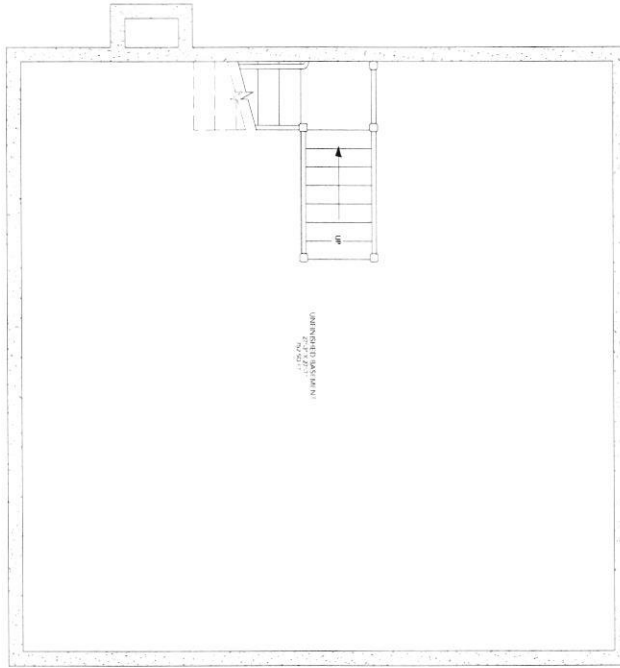
KELSEY ADDITION
1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
3273 Pine Orchard Ln, Suite A,
Ellicott City, MD 21042
Hours: M-F 17:30 - 4:00
MHIC: #129673
P: 410-336-7011





EXTERIOR ELEVATION FRONT



UNFINISHED SPACE
2nd FLOOR

EXTERIOR ELEVATION BACK

EXTERIOR ELEVATION RIGHT

KELSEY ADDITION

1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
3273 Pine Orchard Ln, Suite A,
Ellicott City, MD 21042
Hours: M-F 7:30 - 4:00
MHC: #129673
P: 410-336-7011



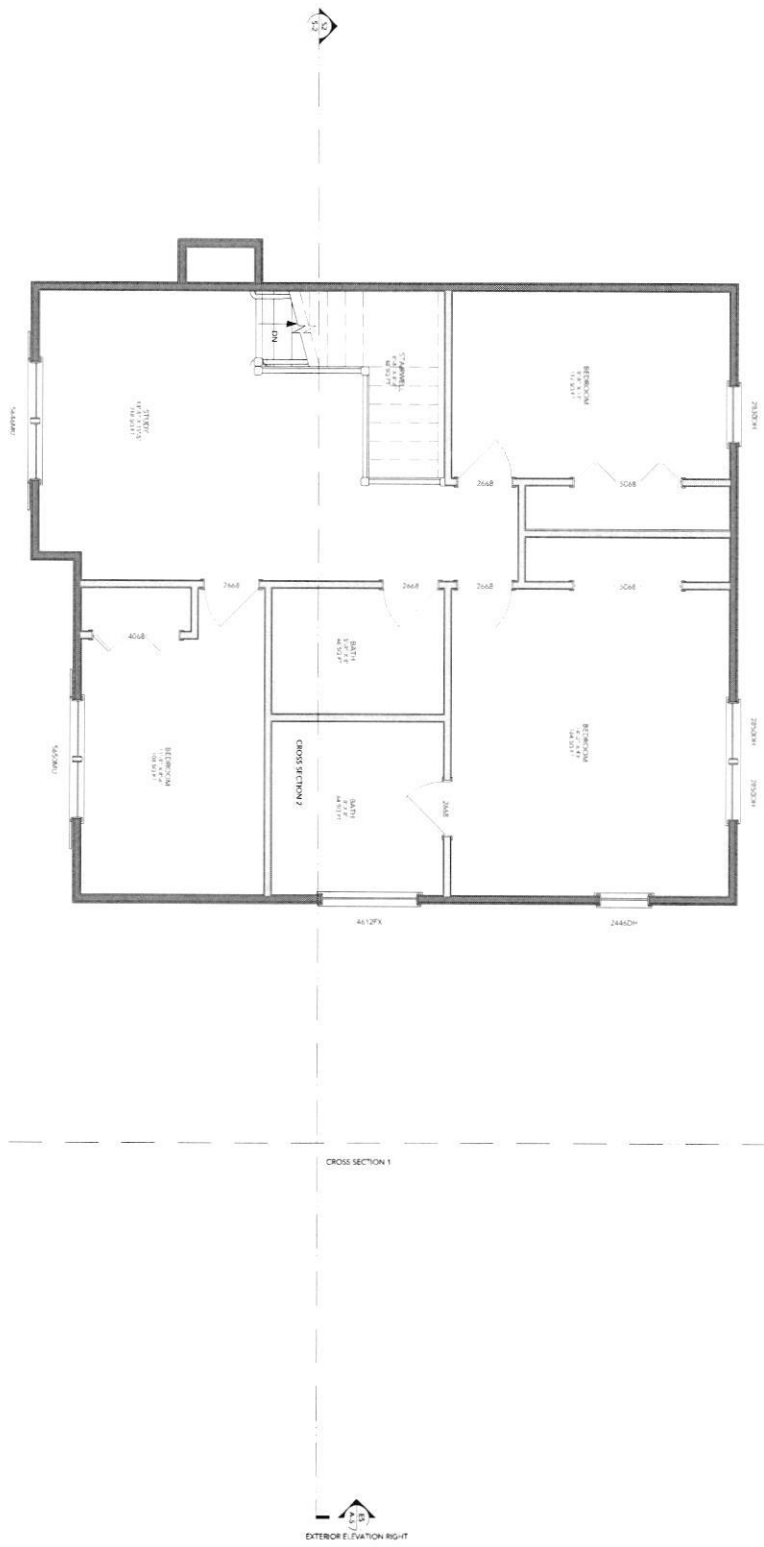
STAMP/SEAL:

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION

SCALE: 1/4" = 1'

D-3
EXISTING, FND

PAGE: 5



EXTERIOR ELEVATION FRONT

EXTERIOR ELEVATION BACK

EXTERIOR ELEVATION FRONT

EXTERIOR ELEVATION RIGHT

A-1
PROPOSED, 2F
SCALE: 1/4" = 1'
PAGE: 6

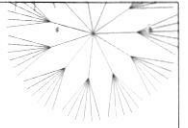
STAMP/SEAL:

REVISION TABLE	
NO.	DESCRIPTION
1	1. 10/1/21
2	2. 10/1/21
3	3. 10/1/21
4	4. 10/1/21
5	5. 10/1/21
6	6. 10/1/21
7	7. 10/1/21
8	8. 10/1/21
9	9. 10/1/21
10	10. 10/1/21

KELSEY ADDITION
1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
3273 Pine Orchard Ln, Suite A,
Ellicott City, MD 21042
Hours: M-F 7:30 - 4:00
MHIC: #129673
P: 410-336-7011





EXTERIOR ELEVATION BACK



Cornerstone Remodeling LLC
3273 Pine Orchard Ln, Suite A,
Ellicott City, MD 21042
Hours: M-F 7:30 - 4:00
MHIC: #129673
P: 410-336-7011

KELSEY ADDITION

1564 Long Corner Rd Mt Airy, MD 21771

STAMP/SEAL:

REVISION TABLE

NO.	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			

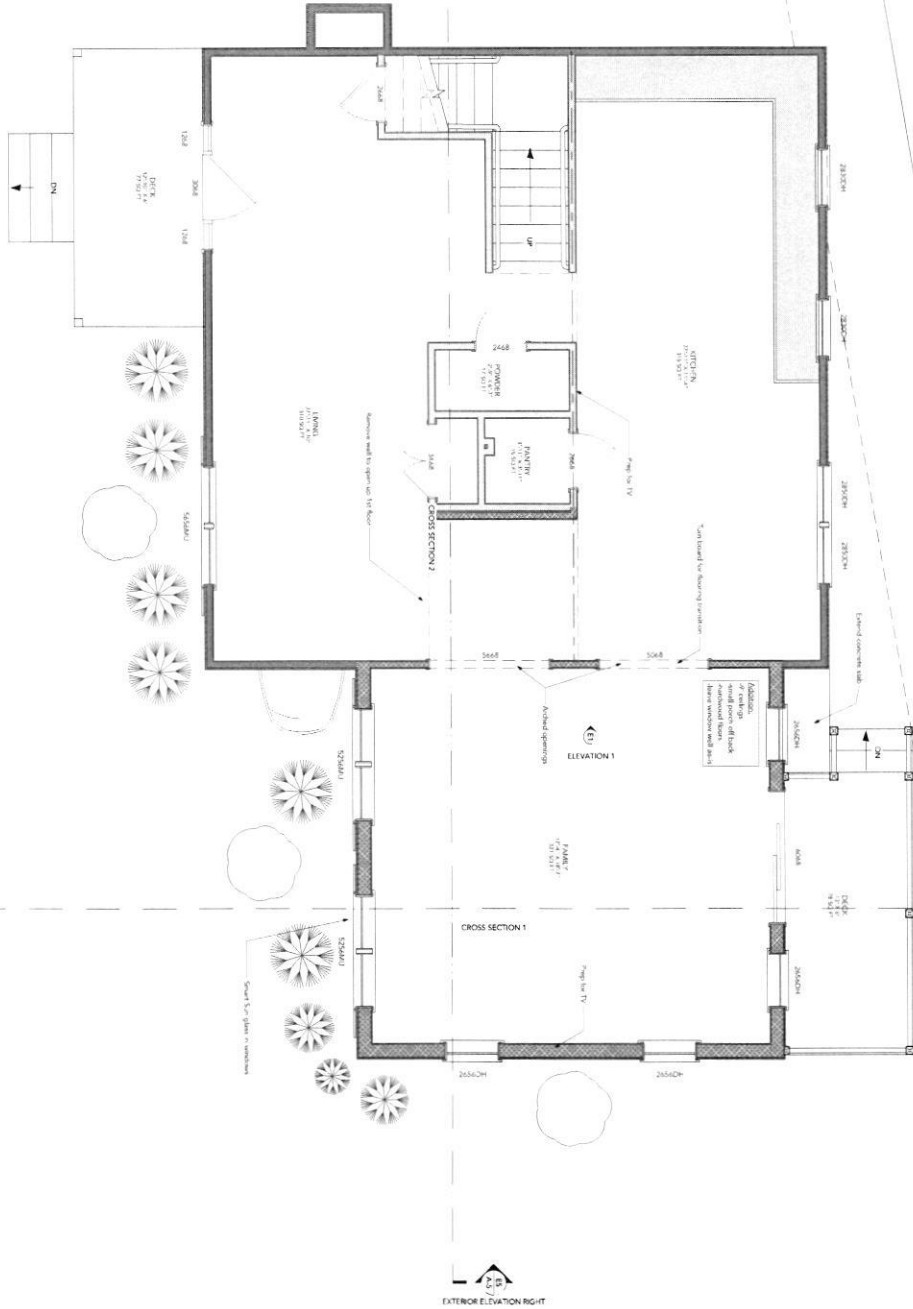
SCALE: 1/4" = 1'

A-2
PROPOSED, 1F

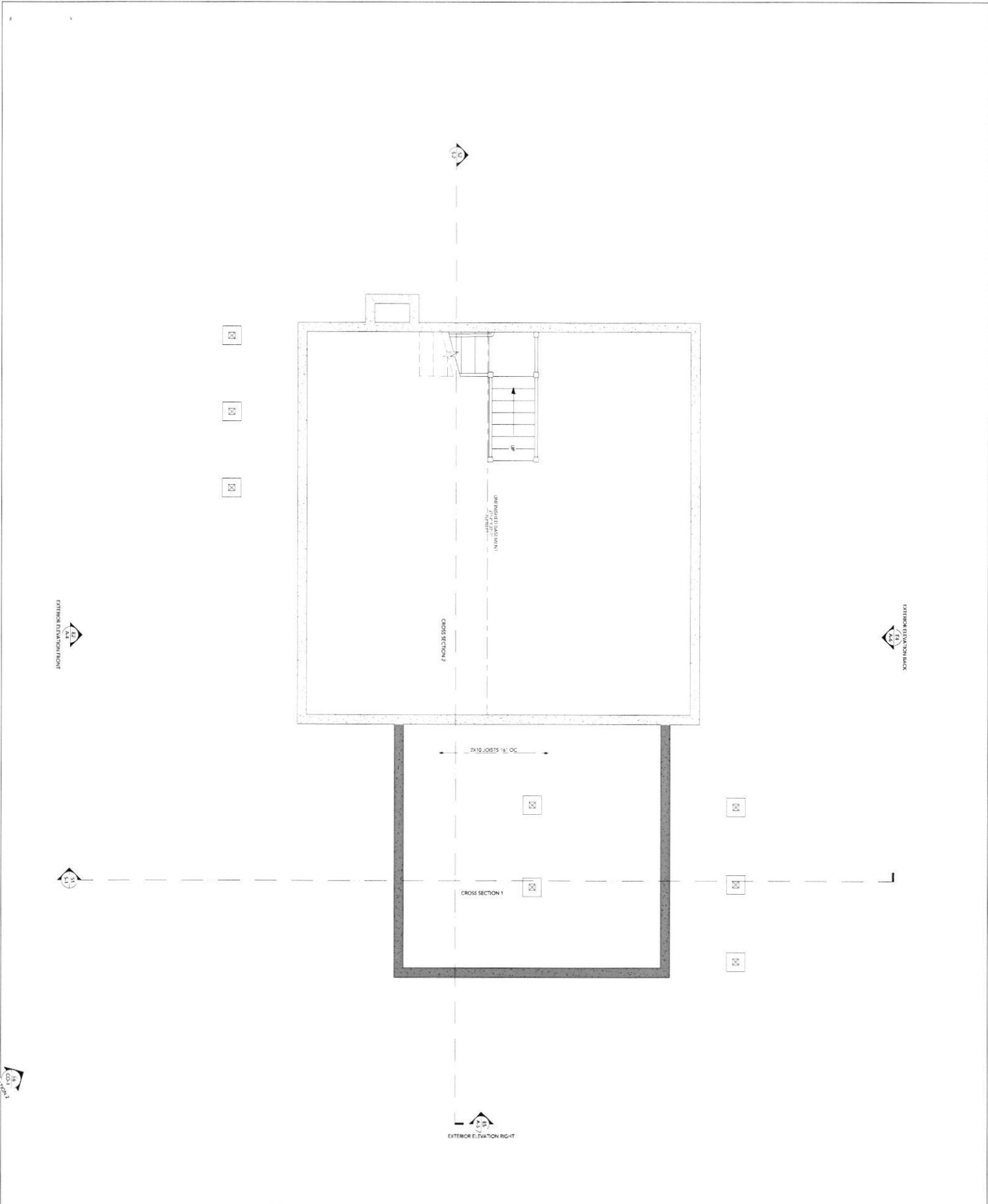
PAGE: 7

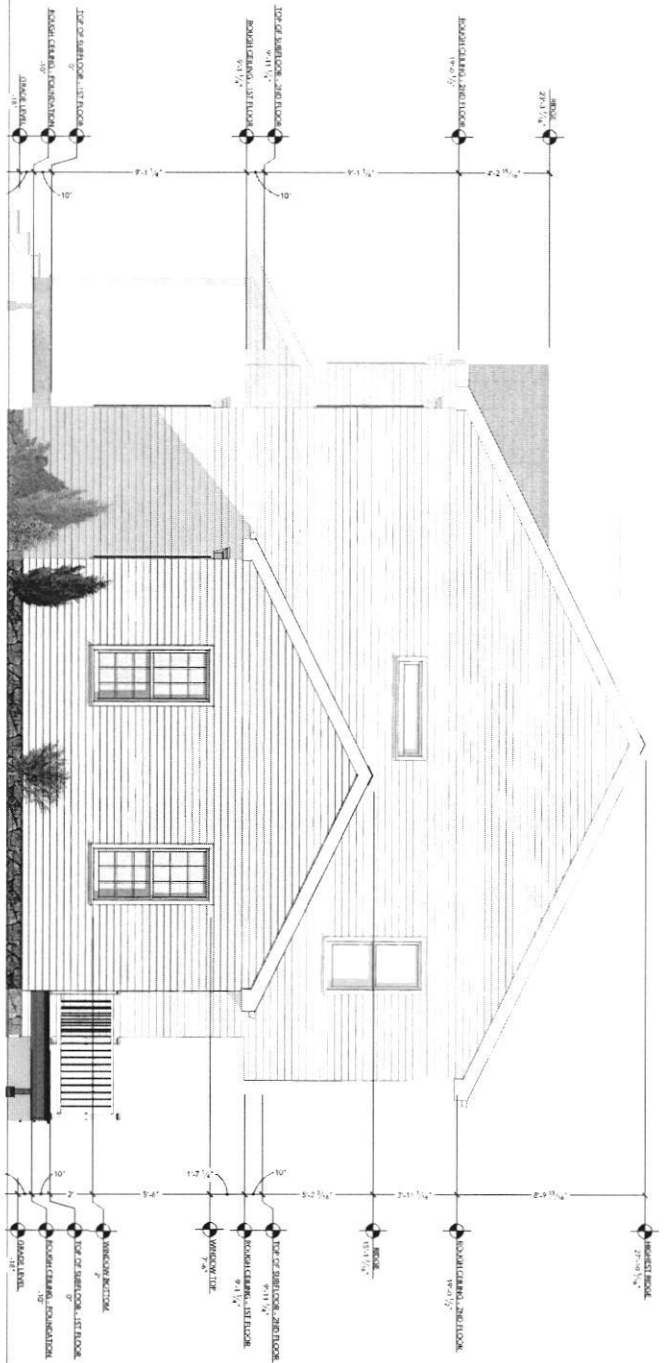


EXTERIOR ELEVATION FRONT

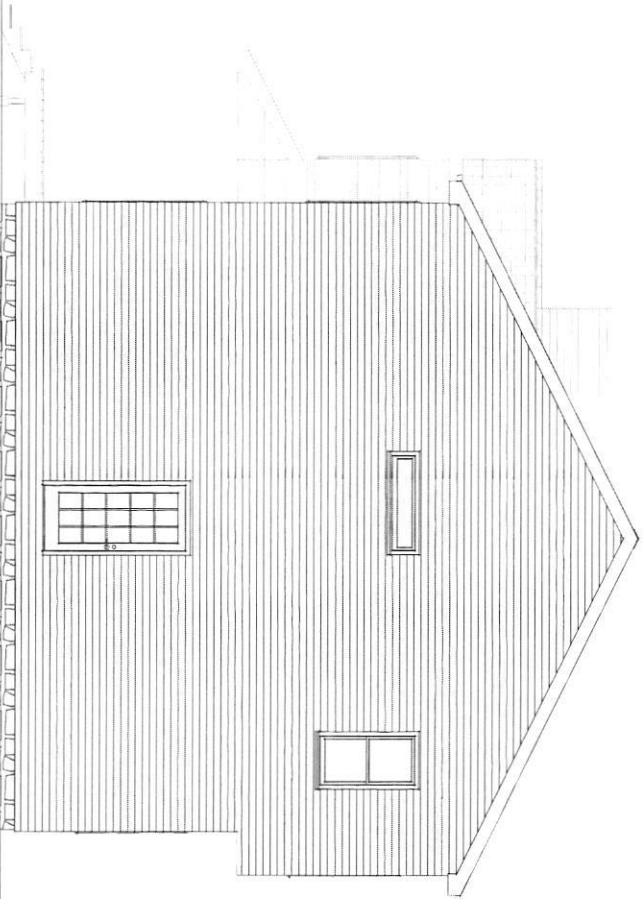


EXTERIOR ELEVATION RIGHT





Exterior Elevation Right



Exterior Elevation Right

STAMP/SEAL:

REVISION TABLE

PROJ.	DATE	BY	REVISION
1	6/8/26	KCM	CD SUBMISSION

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

100

11

4/21

SCALE: 1/4" =

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

Δ
Τ

や

ELEVATIONS

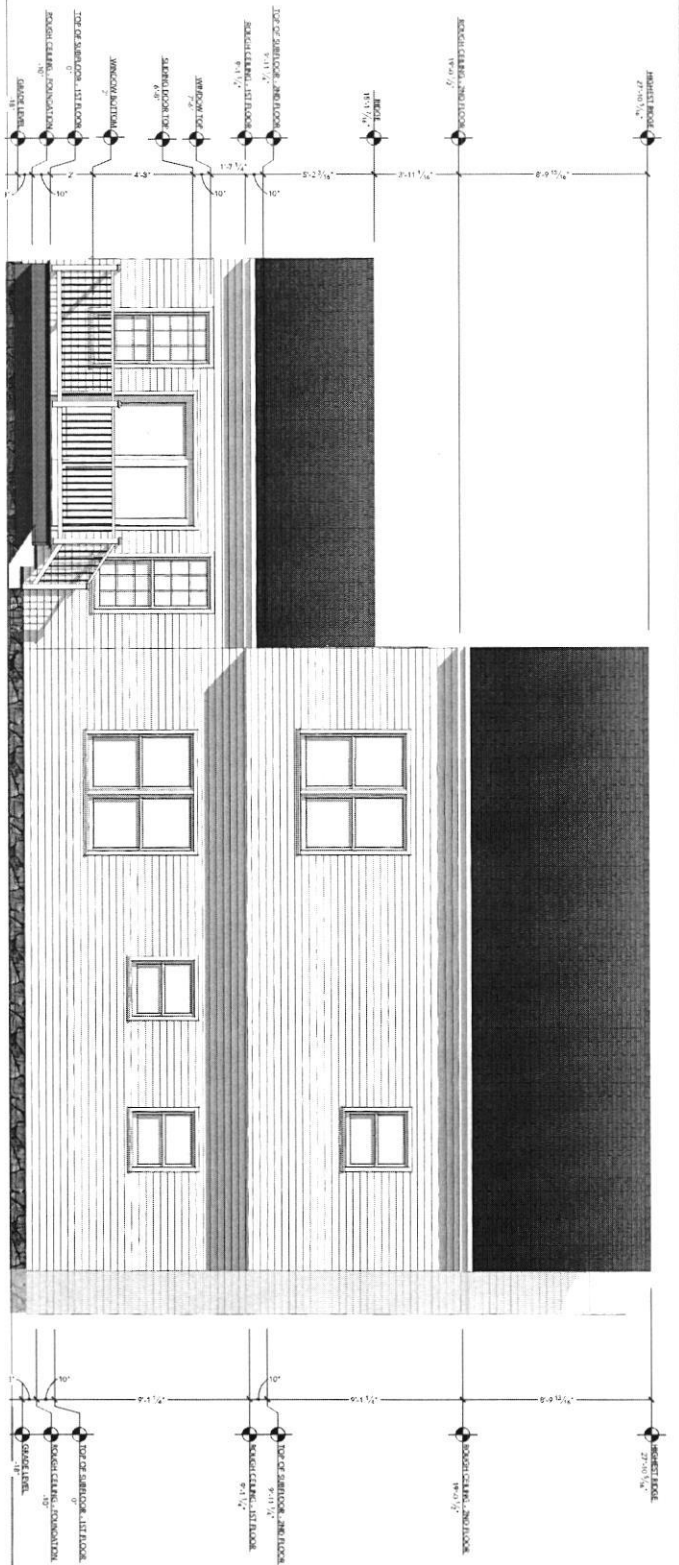
10

KELSEY ADDITION

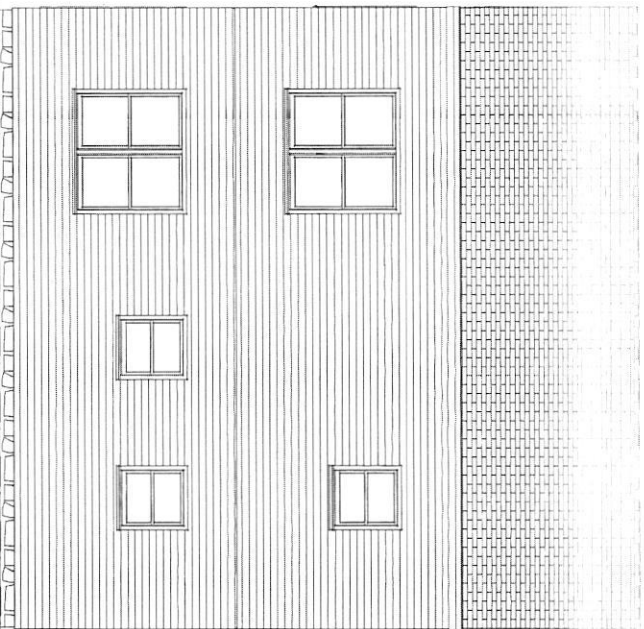
1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
3273 Pine Orchard Ln, Suite A,
Ellicott City, MD 21042
Hours: M-F | 7:30 - 4:00
MHIC: #129673
P: 410-336-7011





Exterior Elevation Back



Exterior Elevation Back



Cornerstone Remodeling LLC
3273 Pine Orchard Ln. Suite A,
Ellicott City, MD 21042
Hours: M-F 7:30 - 4:00
MHC: #129673
P: 410-336-7011

KELSEY ADDITION
1564 Long Corner Rd Mt Airy, MD 21771

STAMP/SEAL:

REVISION TABLE
NO. DATE DESCRIPTION
1 1/1/17 1564 LONG CORNER RD
2 1/1/17 1564 LONG CORNER RD

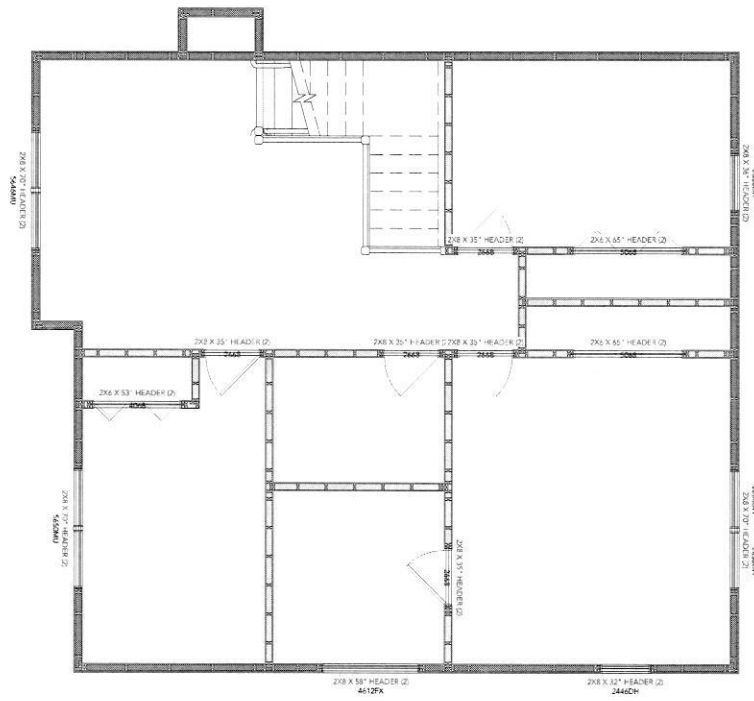
NO.	DATE	DESCRIPTION
1	1/1/17	1564 LONG CORNER RD
2	1/1/17	1564 LONG CORNER RD

SCALE: 1/4" = 1'

A-6
ELEVATIONS

[illegible]

PAGE: 12



KELSEY ADDITION

1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
 3273 Pine Orchard Ln, Suite A,
 Ellicott City, MD 21042
 Hours: M-F 7:30 - 4:00
 MHIC: #129673
 P: 410-336-7011



STAMP/SEAL:

NO. DATE
 1 4/8/24

REVISION TABLE
 BY CD SUBMISSION

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

1 4/8/24

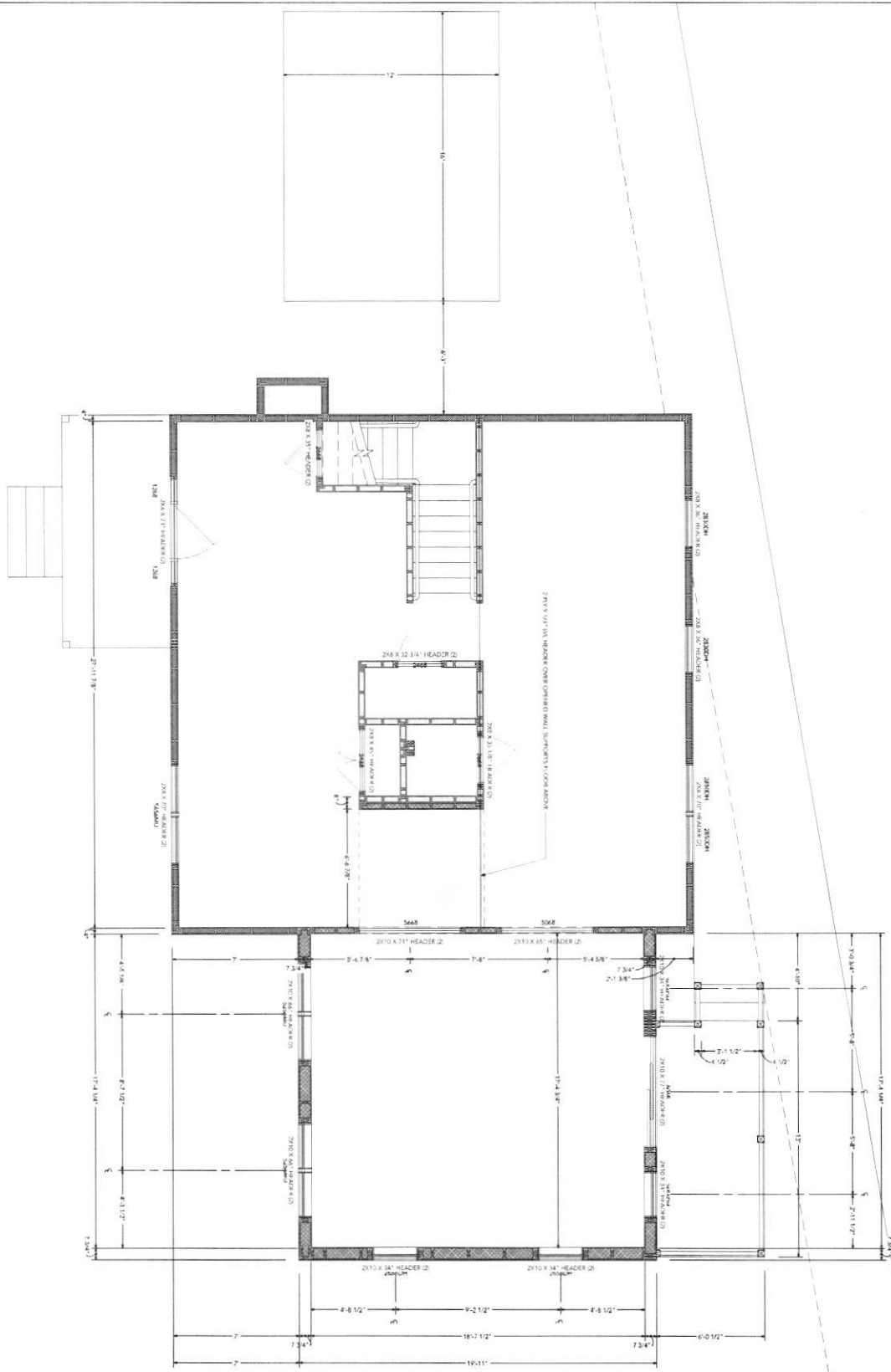
1 4/8/24

SCALE: 1/4" = 1'

F-1

WALL FRAMING, 2F

PAGE: 14



Cornerstone Remodeling LLC
 3273 Pine Orchard Ln, Suite A,
 Ellicott City, MD 21042
 Hours: M-F 7:30 - 4:00
 MHIC: #129673
 P: 410-336-7011

KELSEY ADDITION

1564 Long Corner Rd Mt Airy, MD 21771

STAMP/SEAL:

REVISION TABLE

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

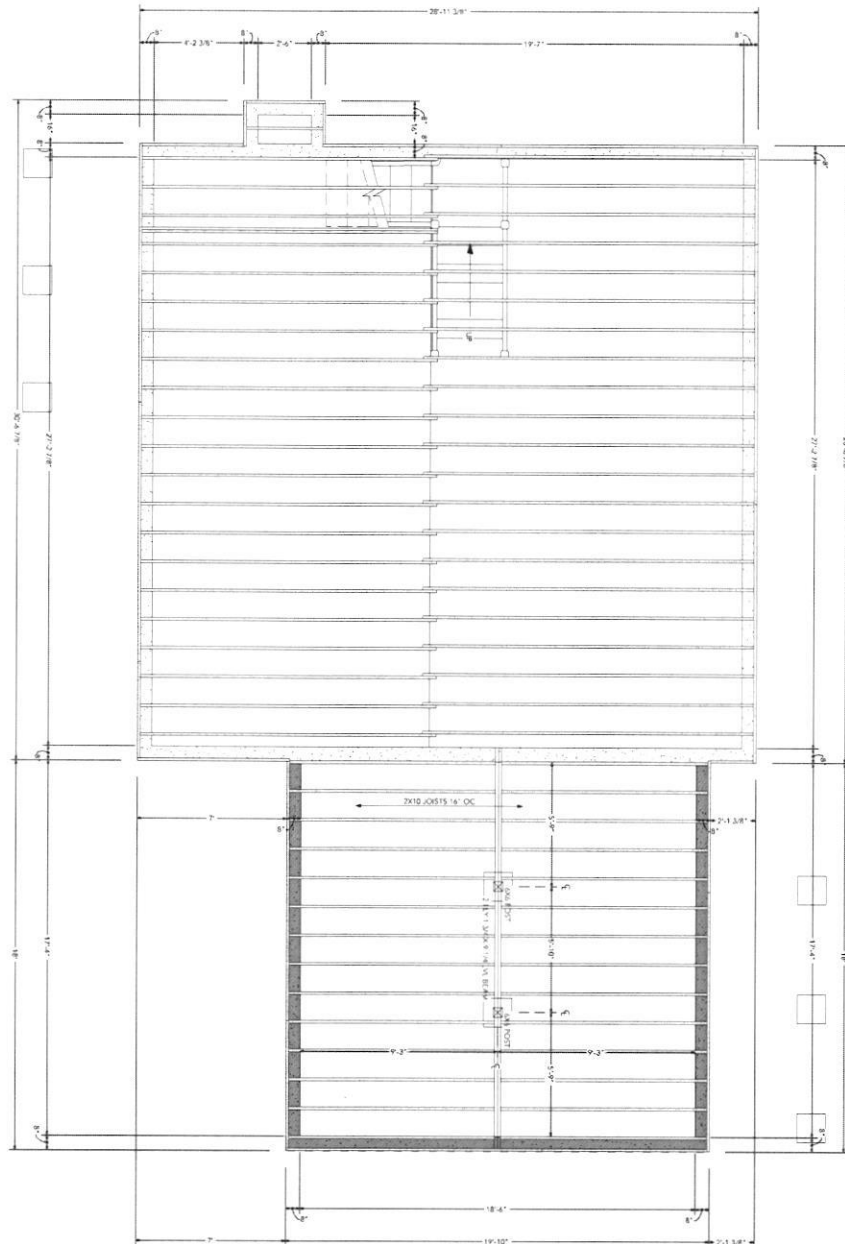
SCALE: 1/4" = 1'

F-2
 WALL FRAMING, 1F





PAGE: 17



KELSEY ADDITION 1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
 3273 Pine Orchard Ln, Suite A,
 Ellicott City, MD 21042
 Hours: M-F 7:30 - 4:00
 MHIC: #129673
 P: 410-336-7011



STAMP/SEAL:

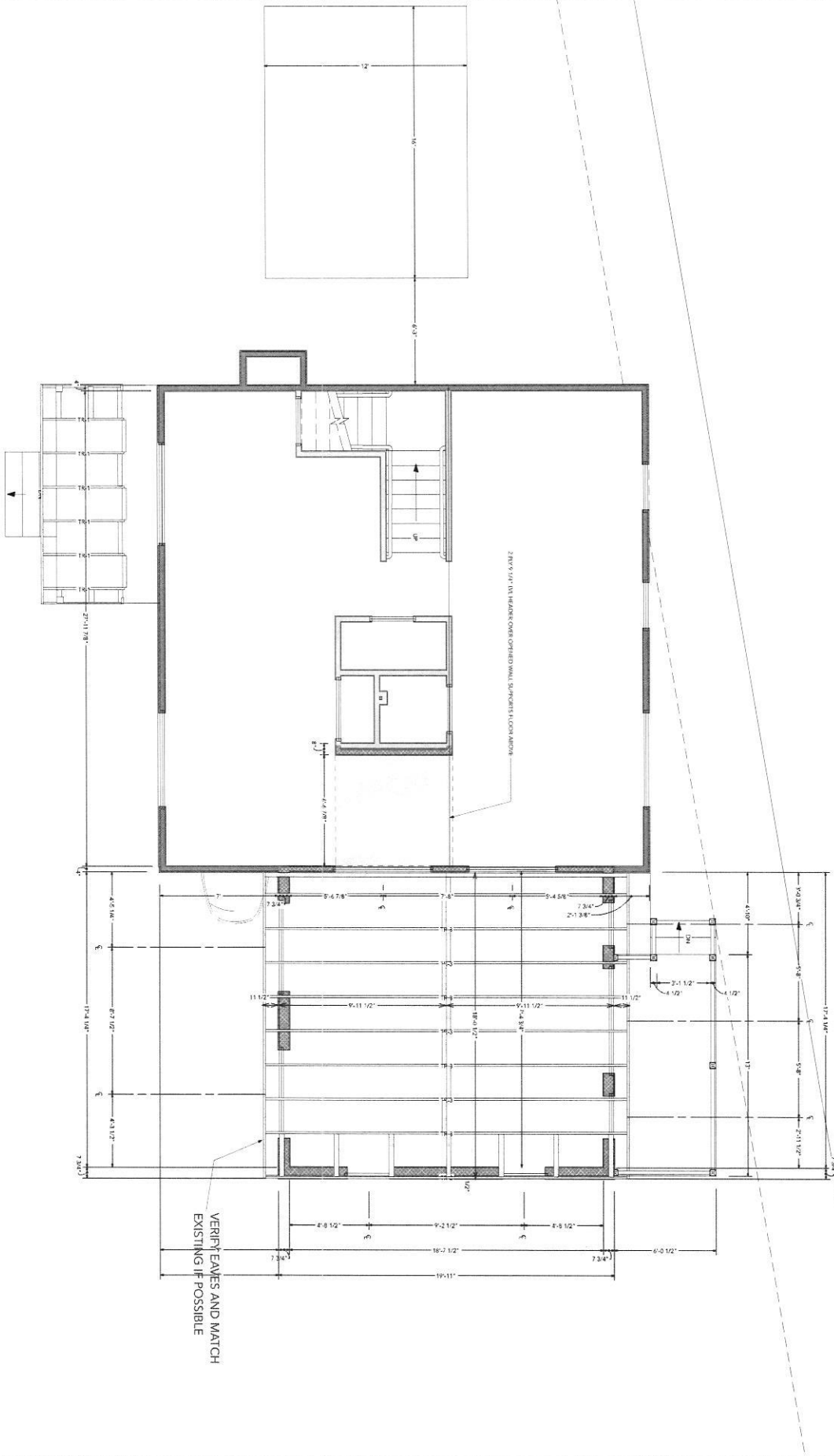
REVISION TABLE

NO. DATE BY DESCRIPTION

1 6/8/24 RM CD SUBMISSION

SCALE: 1/4" = 1'

F-5
 FLOOR FRAMING, 1F



KELSEY ADDITION

1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
 3273 Pine Orchard Ln, Suite A,
 Ellicott City, MD 21042
 Hours: M-F 7:30 - 4:00
 MHIC: #129673
 P: 410-336-7011

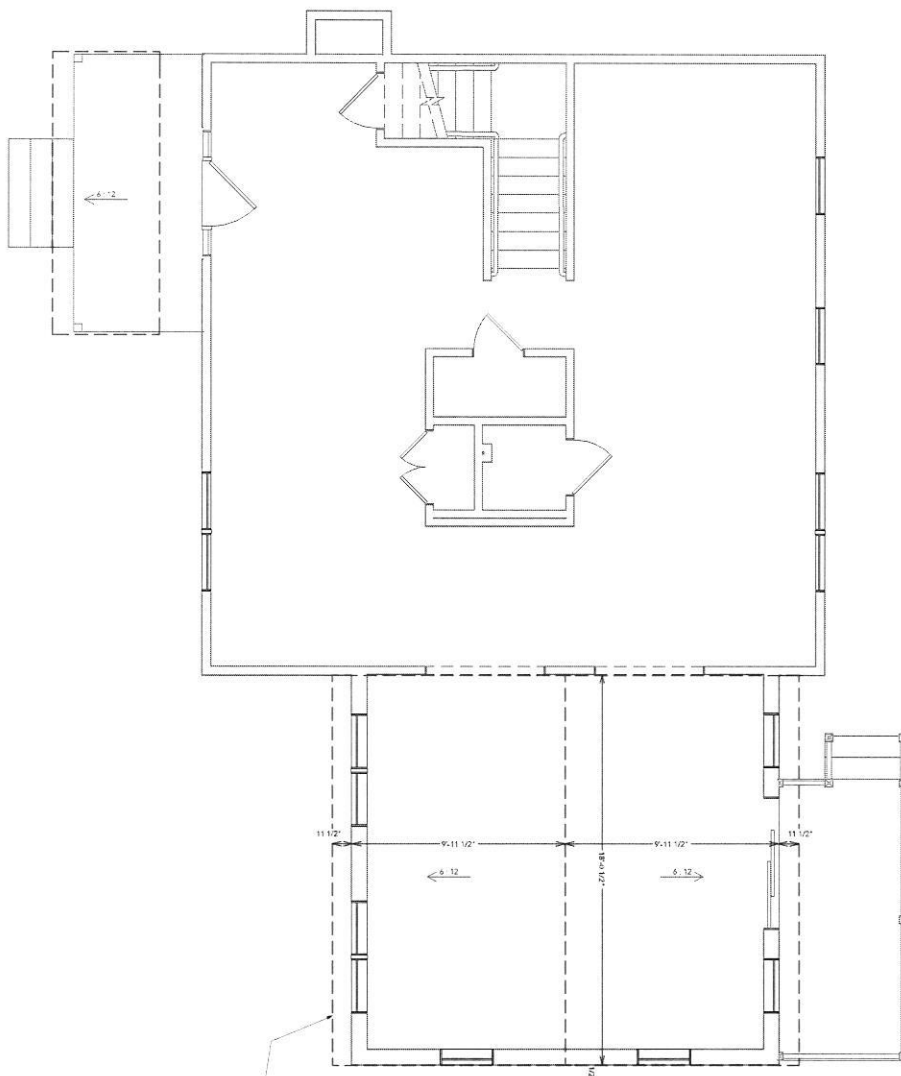


STAMP/SEAL:

NO.	DATE	BY	DESCRIPTION
1	10/28	MD	CONSTRUCTION

SCALE: 1/4" = 1'

F-6
 ROOF FRAMING, 1F



VERIFY EAVES AND MATCH
EXISTING IF POSSIBLE

STAMP/SEAL:

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION
1	08/26	MD	CD SUBMISSION

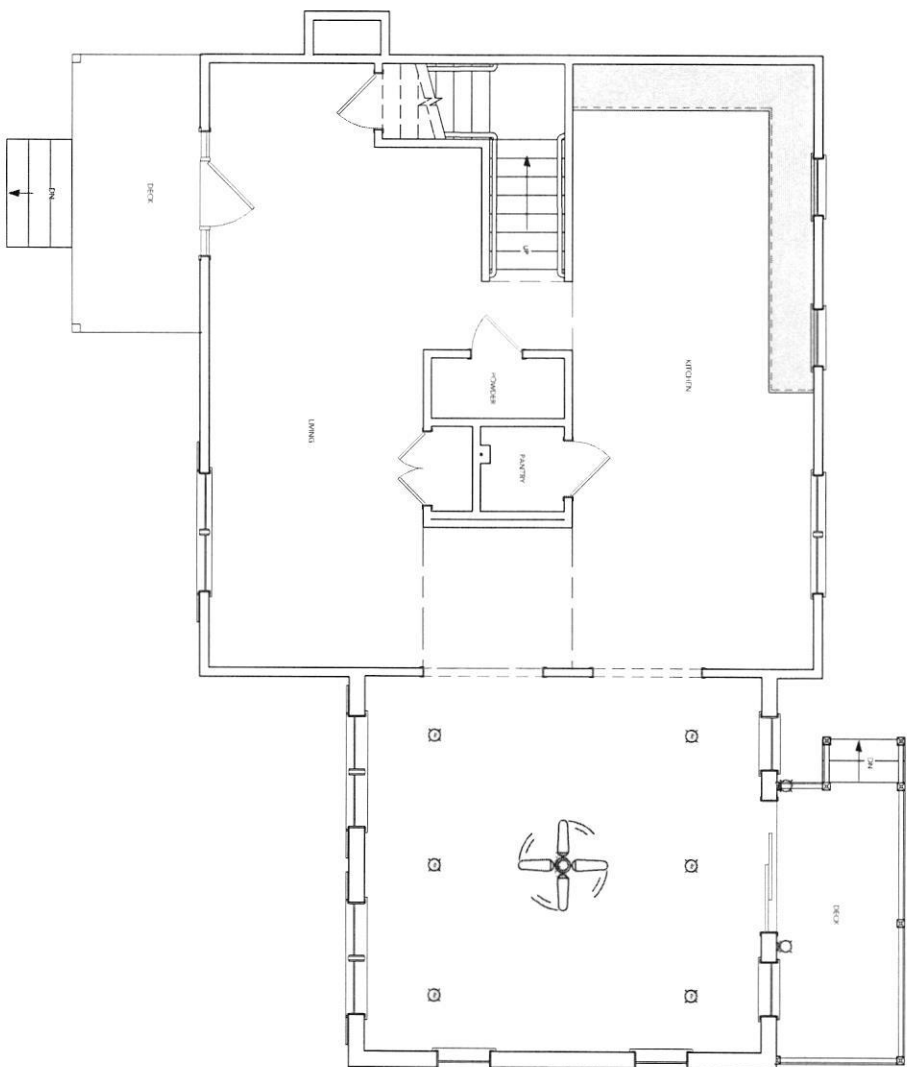
SCALE: 1/4" = 1'

R-1
ROOF PLAN, 1F

KELSEY ADDITION
1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
3273 Pine Orchard Ln. Suite A,
Ellicott City, MD 21042
Hours: M-F 7:30 - 4:00
MHIC: #129673
P: 410-336-7011





KELSEY ADDITION

1564 Long Corner Rd Mt Airy, MD 21771

Cornerstone Remodeling LLC
 3273 Pine Orchard Ln. Suite A,
 Ellicott City, MD 21042
 Hours: M-F 7:30 - 4:00
 MHC: #129673
 P: 410-336-7011

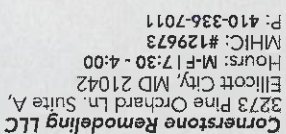


STAMP/SEAL:

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION
1	08/20	MD	CD SUBMISSION

SCALE: 1/4" = 1'

MEP-1
 ELECTRICAL, 1F



1564 Long Corner Rd Mt Airy, MD 21771

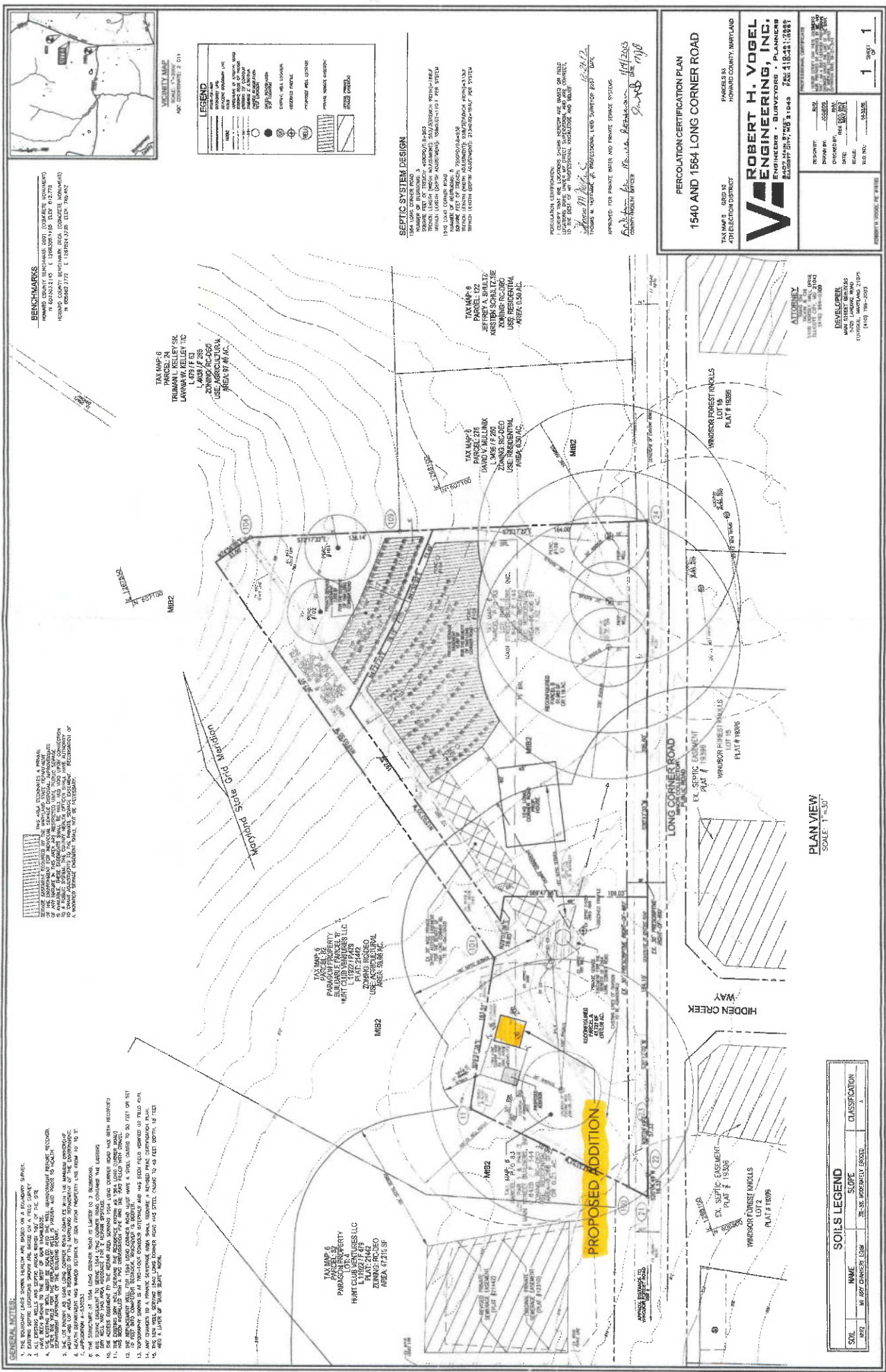
STAMP/SEAL:

[illegible]

SCALE: 1" = 60'

CO-3
GENERAL NOTES & PLAT

PAGE: 3



Plan_1564 Long Corner Road

GENERAL NOTES:

1. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY.
2. EXISTING SEPTIC LOCATIONS SHOWN ARE BASED ON A FIELD SURVEY.
3. ALL EXISTING WELLS AND SEPTIC AREAS WITHIN 100' OF THE SITE HAVE BEEN SHOWN TO THE BEST OF OUR KNOWLEDGE.
4. AFTER THE FIELD FOR THE REPLACEMENT WELL IS PROVEN AND PRIOR TO HEALTH DEPARTMENT APPROVAL OF THE BUILDING PERMIT.
5. THE LOT KNOWN AS 1540 LONG CORNER ROAD COMPLETES WITH THE HUNTLAND OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
6. HEALTH DEPARTMENT HAS MAILED SETBACK OF 50A FROM PROPERTY LINE FROM 10' TO 5'.
7. APPLICATION A-330253
8. THE STRUCTURE AT 1544 LONG CORNER ROAD IS LIMITED TO 3 BEDROOMS.
9. THE ACCESS EASEMENT TO THE REPAIR AREA SERVING 1544 LONG CORNER ROAD HAS BEEN RECORDED.
10. THE ACCESS EASEMENT TO THE REPAIR AREA SERVING 1544 LONG CORNER ROAD HAS BEEN RECORDED.
11. THE EXISTING DRY WELL (SERVING THE RESIDENCE KNOWN AS 1544 LONG CORNER ROAD) HAS BEEN INSTALLED WITH A PVC OBSERVATION PIPE AND THE VOID FILLED WITH GRAVEL.
12. THE REPLACEMENT WELL FOR 1544 LONG CORNER ROAD MUST HAVE A STEEL CASING TO 50 FEET OR SET.
13. TOPOGRAPHY SHOWN IS AT TWO-FOOT CONTOUR INTERVALS AND HAS BEEN FIELD VERIFIED OR FIELD RUN.
14. ANY CHANGES TO A PRIVATE SEWERAGE AREA SHALL REQUIRE A REISED PISC CERTIFICATION PLAN.
15. THE NEW WELL SERVING 1540 LONG CORNER ROAD HAS STEEL CASING TO 48 FEET DEPTH, 18 FEET INTO A LAYER OF "BLUE SLATE" ROCK.



THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT. THE EASEMENT IS AVAILABLE TO ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERS IS AVAILABLE. THESE EASEMENTS SHALL BE NULL AND VOID UPON CONNECTION TO PUBLIC SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO CHANGE THE EASEMENT TO A PUBLIC SEWERAGE EASEMENT. RECONSTRUCTION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.

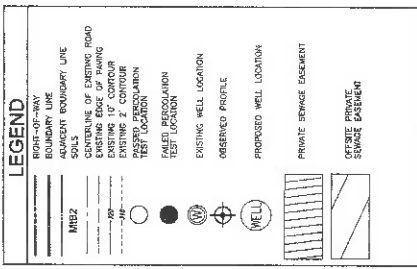
BENCHMARKS

HOWARD COUNTY BENCHMARK 0001 (CONCRETE MONUMENT)
N 807303.2145 E 1289306.1165 ELEV. 812.776
HOWARD COUNTY BENCHMARK 0002 (CONCRETE MONUMENT)
N 505662.2772 E 1287824.2235 ELEV. 785.452



TAX MAP: 6
PARCEL: 24
TRUMAN L. KELLEY SR
LAVINIA W. KELLEY TIC
L 479 / F 63
L 4038 / F 285
ZONING: RC-DEO
USE: AGRICULTURAL
AREA: 97.40 AC.

MB2



SEPTIC SYSTEM DESIGN

1544 LONG CORNER ROAD
NUMBER OF BEDROOMS: 3
SQUARE FEET OF TRENCH: 45000/0.8=5625
TRENCH LENGTH (WIDTH ADJUSTMENT): 563/3(TRENCH WIDTH)=188'F
TRENCH LENGTH (DEPTH ADJUSTMENT): 188x0.62=116.6'F PER SYSTEM
1540 LONG CORNER ROAD
NUMBER OF BEDROOMS: 5
SQUARE FEET OF TRENCH: 75000/0.8=9375
TRENCH LENGTH (WIDTH ADJUSTMENT): 938/3(TRENCH WIDTH)=313'F
TRENCH LENGTH (DEPTH ADJUSTMENT): 313x0.62=194.1'F PER SYSTEM

PERCOLATION CERTIFICATION:
I CERTIFY THAT THE LOCATIONS SHOWN HEREON ARE BASED ON FIELD LOCATIONS DONE UNDER MY DIRECT SUPERVISION, AND ARE CORRECT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

THOMAS W. HOFFMAN, JR. PROFESSIONAL LAND SURVEYOR #267 DATE 12-21-12

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

Robert H. Vogel, Inc. DATE 11/4/2013
COUNTY HEALTH OFFICER

PERCOLATION CERTIFICATION PLAN
1540 AND 1564 LONG CORNER ROAD

TAX MAP 6 GRID 10
4TH ELECTION DISTRICT

PARCELS 83
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL, INC.
ENGINEERS • SURVEYORS • PLANNERS
ELICOTT CITY, MD 21043 TEL: 410.461.7665
FAX: 410.461.8961

DESIGN BY: RHL	PROFESSIONAL CERTIFICATE
DRAWN BY: JCOEDS	I, ROBERT H. VOGEL, INC. ENGINEERS, SURVEYORS, PLANNERS, ENGINEERS, ARCHITECTS, AND LANDSCAPE ARCHITECTS, HAVE PREPARED OR APPROVED BY ALL AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND, LICENSE NO. 11111.
CHECKED BY: RHL	DATE: MAY 2011
DATE: MAY 2011	SCALE: 1"=30'
W.D. NO.: 04-33.09	1 SHEET OF 1

ATTORNEY

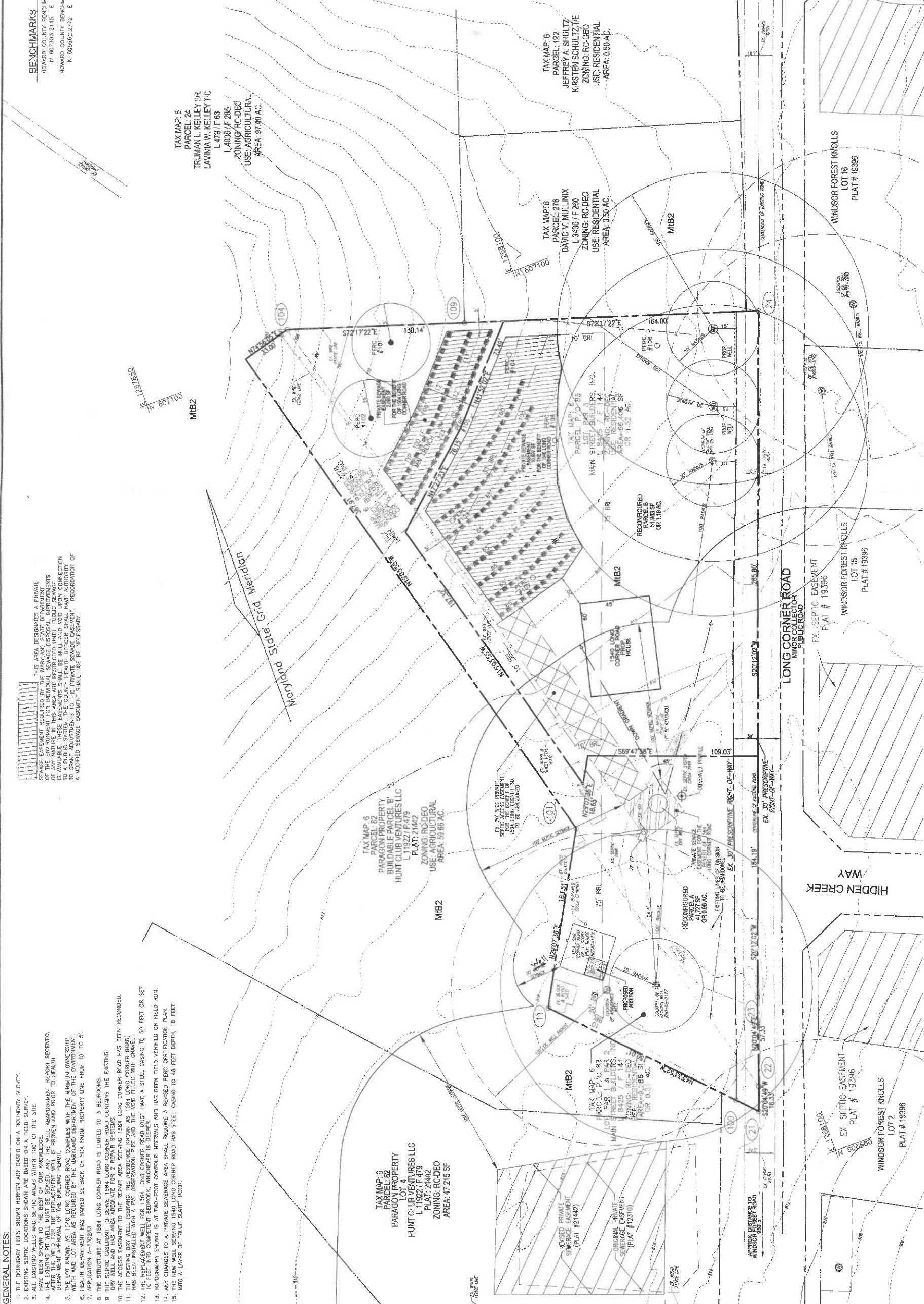
TAKING & OH
5100 DORSEY HALL DRIVE
ELICOTT CITY, MD 21042
(410) 994-0300

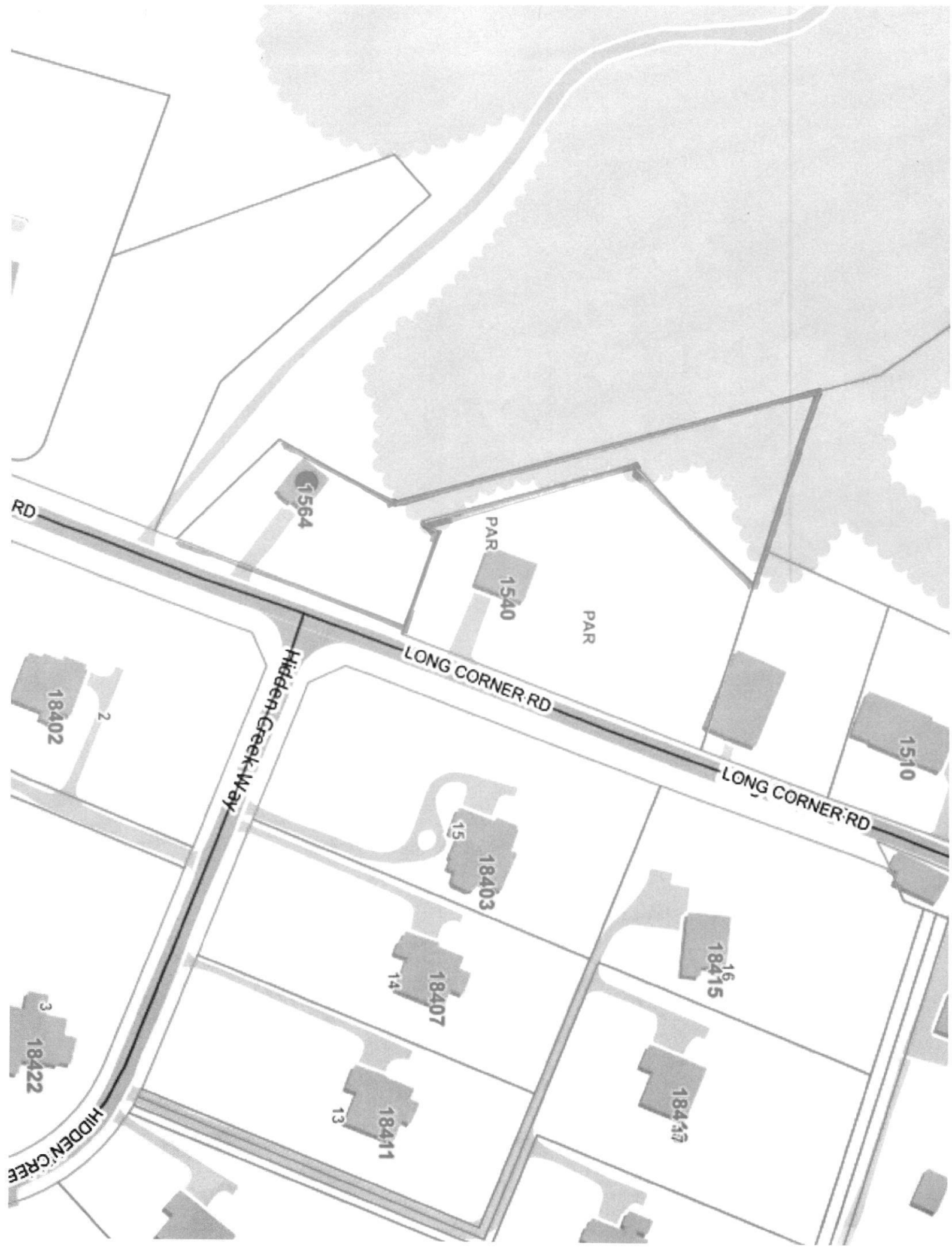
DEVELOPER

MAIN STREET BUILDERS
5705 LANDING ROAD
ELICOTT CITY, MARYLAND 21075
(410) 796-2003

PLAN VIEW
SCALE: 1"=30'

SOILS LEGEND			
SOIL	NAME	SLOPE	CLASSIFICATION
MB2	MT ARY CHANNERY LOAM	3%-8% MODERATELY ERODED	A





LATEST EDITION, SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE SPF #2 OR BETTER, ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON 2-INCH HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS, OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TALE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1" FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATTC 117. EACH MEMBER SHALL BEAR AN AITC OR APA/ANSI IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON ECG BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:

PROVIDE DOUBLE JOISTS UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.

PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.

PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE SPF #1
EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER
SILLS, PLATES BLOCKING, AND BRIDGING TO BE SPF #2.
ALL STUDS TO BE SPF #2 OR BETTER.
PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16,
WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 1/1.6" OSB.
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB
1" JOISTS SHALL BE MANUFACTURED BY TRUSS JOIST OR APPROVED EQUAL.
F. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

CODES: ALL DESIGNS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2024 EDITION

DESIGN LOADS:	
ROOF	50 PSF
DECK	40 PSF
STAIRS	40 PSF
SNOW LOAD	50 PSF
BASIC WIND SPEED	115 PSF

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

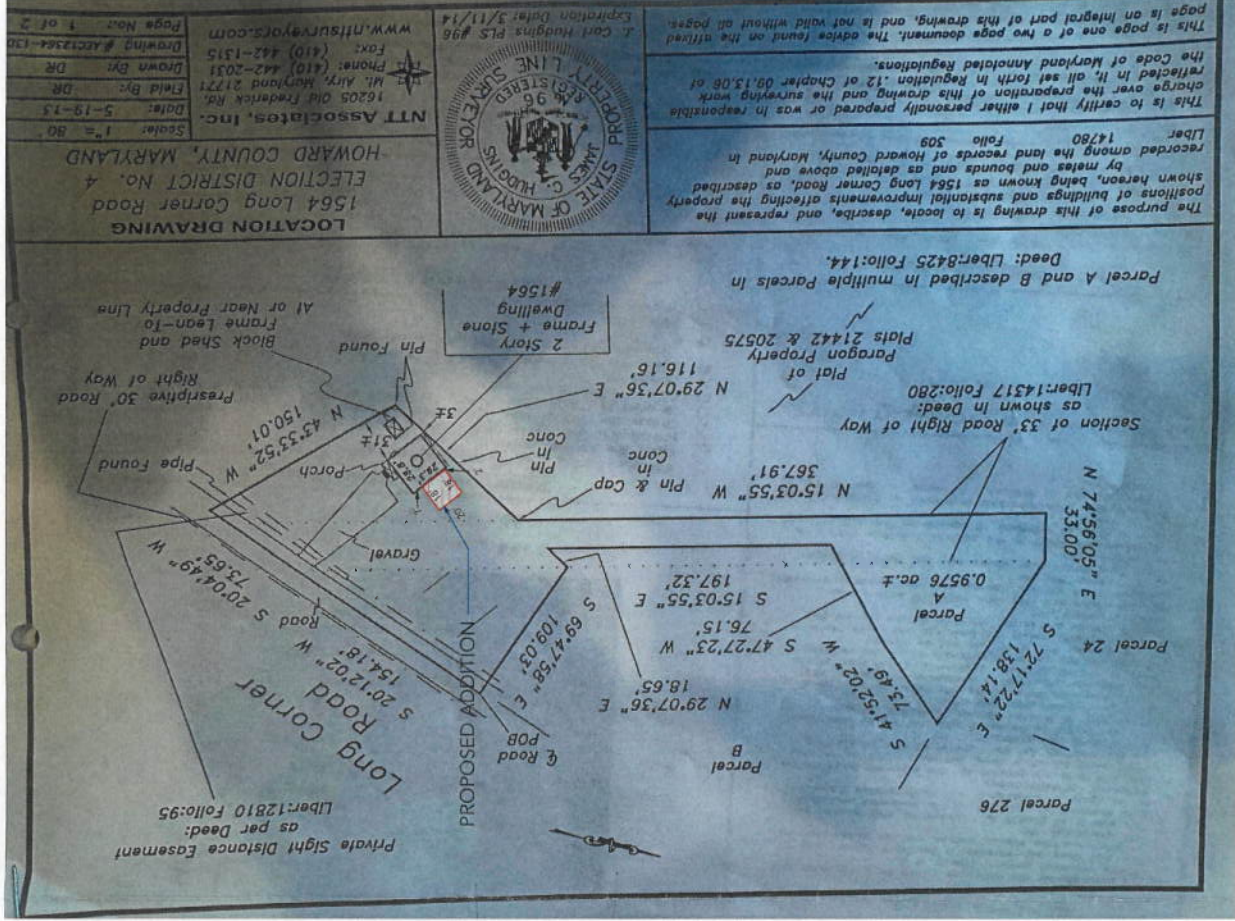
WALL HEADERS: (2) 2 X 10 DF 2 TYP. U.N.O.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

ALL NEW AFFECTED LIVING AREAS / BEDROOMS WILL INCLUDE CODE COMPLIANT SMOKE ALARMS AND CARBON MONOXIDE SENSORS AS NECESSARY. ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NEC AND IRC CODE.



第 10 頁

GENERAL NOTES & PLAT

ISSUE DATE: 12/3/2010

PERMIT

P 534403

APPROVAL
DATE: 12/9/2010

A UPGRADE

Minor Septic Repair
ON-SITE SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH

MAIN STREET BUILDERS, INC. IS PERMITTED TO INSTALL ☐ ALTER ☒

ADDRESS: 5705 LANDING ROAD, ELKBRIDGE, MD PHONE 410-796-2003
21075 NUMBER: _____

SUBDIVISION: _____ LOT
NUMBER: _____

ADDRESS: 1540 LONG CORNER RD. PROPERTY OWNER: MAIN STREET
(OFF-SITE EASEMENT FOR BUILDERS
1564 LONG CORNER ROAD)

SEPTIC TANK CAPACITY (GALLONS): N/A

PUMP CHAMBER CAPACITY (GALLONS): NONE

NUMBER OF BEDROOMS: 3 (1564 LONG CORNER)

SQUARE FEET OF HOUSE: _____

NOTES:	Observation pipe must extend above soil surface. Perforations are not to extend above dry well enclosure. Gravel (#2) must be washed, few fines. Existing concrete cap may be used to cover dry well enclosure if it is intact after removal. Openings in cap must be sealed.
PURPOSE:	UPGRADE DRY WELL. INSERT PERFORATED PVC PIPE WITH CAP AND FILL VOID WITH GRAVEL. COVER WITH GEOTEXTILE. ENVIRONMENTAL SANITARIAN MUST INSPECT PRIOR TO COVERING GRAVEL.

PLANS APPROVED: Robert Bricker DATE: 12/2/2010

NOTE: PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

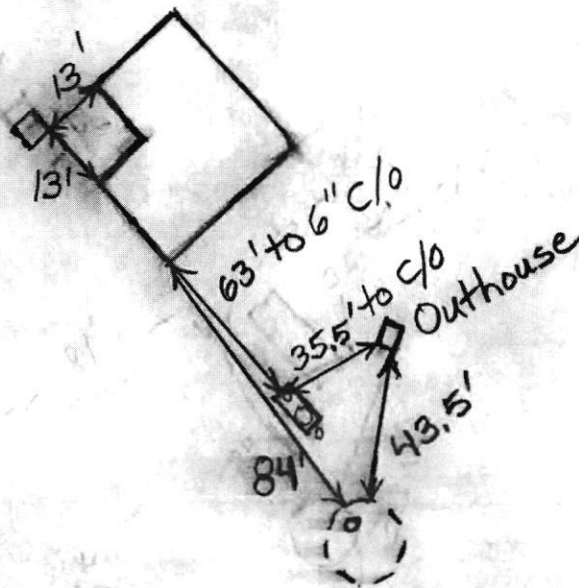
NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

**NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS RESPONSIBLE
FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**

NOT TO SCALE



ROAD NAME

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
NUMBER OF TRENCHES		
TOTAL LENGTH		
ABSORPTION AREA		
DISTRIBUTION BOX LEVEL		
DISTRIBUTION BOX BAFFLE		
DISTRIBUTION BOX PORT		

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL

MANUFACTURER

CAPACITY GAL

SEAM LOC

TANK LID DEPTH

BAFFLES

BAFFLE FILTER

MANHOLE LOC Rear

6" PORT LOC Front

WATERTIGHT TEST

SLOTTED

DATE ON LID

PUMP/SEPTIC TANK LEVEL

MANUFACTURER

CAPACITY GAL

SEAM LOC

TANK LID DEPTH

BAFFLES

BAFFLE FILTER

MANHOLE LOC

6" PORT LOC

WATERTIGHT TEST

SLOTTED

DATE ON LID

PRE-CONSTRUCTION:

Not Done

INSTALLATION: 12/9/2010 Dug well pumped, filled with gravel and 6" inspection port installed. Fabric put on top of gravel. House and possibly well mislocated on plan. Approved on condition that variance is granted for distance from well to tank if required. BB

FINAL INSPECTOR

B. Baker

DATE OF APPROVAL 12/9/2010

Oswald Jr, Woodin

From: Kyle Myers <kyle@cornerstone.house>
Sent: Thursday, July 2, 2026 11:22 AM
To: Oswald Jr, Woodin
Subject: Re: B26001926_1564 Long Corner Road

WARNING!!!

This email originated from someone outside of Howard County
*****DO NOT CLICK LINKS OR OPEN ATTACHMENTS*****
unless you recognize the sender and know for sure that the content is safe

Hank,

No it shouldn't. We measured out the location in the home to make sure it would be accessible and wouldn't interfere with any of the new foundation walls for the crawl space outside.

Kyle Myers
Architectural Designer

Cornerstone Remodeling
3273 Pine Orchard Lane Ste A
Ellicott City, MD 21042
410.336.7011

[Cornerstone.House](#)

On Jul 2, 2026, at 11:20 AM, Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Thanks Kyle. Quick question. Do you think the addition will interfere with the sewer house connection in any way?

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

DISCLAIMER: This e-mail is intended only for the individual to whom it is addressed. It may be used only in accordance with applicable laws. If you are not the intended recipient, you are strictly prohibited from reading, disseminating, distributing, or copying this message. If you received this e-mail by mistake, please notify the sender and destroy this e-mail

From: Kyle Myers <kyle@cornerstone.house>
Sent: Thursday, July 2, 2026 11:09 AM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B26001926_1564 Long Corner Road

WARNING!!!

This email originated from someone outside of Howard County
*****DO NOT CLICK LINKS OR OPEN ATTACHMENTS*****
unless you recognize the sender and know for sure that the content is safe

Hank,

New file has been uploaded to the Dllp portal. Ive also attached it below.

Please let me know if you have any questions.

Thanks,

Kyle Myers
Architectural Designer

Cornerstone Remodeling
3273 Pine Orchard Lane Ste A
Ellicott City, MD 21042
410.336.7011

Cornerstone.House

On Jul 1, 2026, at 3:43 PM, Kyle Myers <kyle@cornerstone.house> wrote:

Hey Hank,

This is great news. I'll download this file and upload it into our plans for DILP.
Once its uploaded I'll let you know.

Thanks,

Kyle Myers
Architectural Designer

Cornerstone Remodeling
3273 Pine Orchard Lane Ste A
Ellicott City, MD 21042
410.336.7011

Cornerstone.House

On Jul 1, 2026, at 3:11 PM, Oswald Jr, Woodin
<hoswald@howardcountymd.gov> wrote:

Hi Kyle,

Good afternoon. I was able to obtain a copy of the most recent perc
cert plan from the engineer (please see attached). This plan
matches your foundation drawing plan and the lot lines shown on
GIS. Since this plan meets our site plan requirements, I think you
could just add the proposed addition to this plan and submit it as a
revision to DILP. Let me know what you think. If you decide to go
this route, please let me know when you've uploaded this plan to the
system.

Let me know if you have any questions.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

DISCLAIMER: This e-mail is intended only for the individual to whom it is
addressed. It may be used only in accordance with applicable laws. If you are not
the intended recipient, you are strictly prohibited from reading, disseminating,
distributing, or copying this message. If you received this e-mail by mistake,
please notify the sender and destroy this e-mail

From: Oswald Jr, Woodin
Sent: Friday, June 26, 2026 1:22 PM
To: Kyle Myers <kyle@cornerstone.house>
Subject: RE: B26001926 Questions about hold

Hi Kyle,

Attached, please find the PC plan for discussion.

Hank Oswald
Licensed Environmental Health Specialist

Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

DISCLAIMER: This e-mail is intended only for the individual to whom it is addressed. It may be used only in accordance with applicable laws. If you are not the intended recipient, you are strictly prohibited from reading, disseminating, distributing, or copying this message. If you received this e-mail by mistake, please notify the sender and destroy this e-mail

From: Kyle Myers <kyle@cornerstone.house>
Sent: Friday, June 26, 2026 1:11 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: B26001926 Questions about hold

WARNING!!!

This email originated from someone outside of
Howard County

*****DO NOT CLICK LINKS OR OPEN
ATTACHMENTS*****

unless you recognize the sender and know for sure that the
content is safe

Hey Hank,

I left you a voicemail at the office, but they let me know you were working remotely today. I saw you left a comment on the processing status for this permit and was hoping I could talk with you about your questions and get this resolved so that you can continue your approvals!

If you could give me a call or drop me an email here to get that sorted out, I'd appreciate it!

Best number is 410-336-7011 asking for Kyle

Thanks and have a good weekend,

Kyle Myers
Architectural Designer

Cornerstone Remodeling
3273 Pine Orchard Lane Ste A
Ellicott City, MD 21042
410.336.7011

Cornerstone.House

<Plan_1564 Long Corner Road.pdf>