

Approved 3/19/26
-H.O.

Menu Save Reset Cancel Help

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B26000628	03/03/2026
Description of Work		
SFD/ ADDITION TO EXISTING DWELLING TO INCLUDE: FIRST FLOOR MASTER BATHROOM ADDITION, REMOVE (1) LOAD-BEARING WALL ON LEFT SIDE OF EXISTING BATHROOM AND EXPAND FOOTPRINT WITH 8' x 18' BATHROOM ROOM ADDITION, TOTAL ADDED AREA APPROXIMATELY 144 SQFT. TOTAL AFFECTED AREA APPROXIMATELY 320 SQFT., 1 STORY, Crawl Space, 0R, 1FB, 0HB, 0FP, OTHER STRUCTURE = N/A, 0BR, PORCH/DECK = N/A, ENERGY METHOD = Prescriptive Method,		

[check spelling](#)

Online BP.

g/l 3/12/26

Address (This section is required.)

Search	Reset	Clear	Get Parcel & Owner
Street #	Street Name	Street Type	
11895	SIMPSON	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.92424	39.17198
City	State	Zip Code	Primary
CLARKSVILLE	MD	21029	Yes

Parcel (This section is required.)

Search	Reset	Clear	Get Address & Owner			
GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
849530	458	3	296200	1298300	1002100	RURAL
Legal Description						
IMPSLOT 33 3.0000 A[]11895 SIMPSON RD[]ASHLEIGH GREENE S 2 A 1						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	33	605102	4				
Plan Area	State Tax Id	Subdivision Name					
	1405413737						
Section	Area	Tax Map					
		41					
Grid	Zoning District	ADC Map					
41-8	RR-DEO	5052-C3					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
10669			Yes				
Owner Occupied	Year Built	Historic District					
☐ Yes ☐ No	1995	☐ Yes ☒ No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-15A	☐ Yes ☒ No					
Building No							

Owner (This section is not required.)

Search	Reset	Clear
Name *		
JAY M		
Address Line 1		
11895 SIMPSON RD		
Address Line 2		
Address Line 3		
Mail City		
CLARKSVILLE		
Mail State		
MD		
Mail Zip Code		
21029		
Phone		
443-745-3183		
Primary		
Yes		
E-mail		

Cell Number Fax Number

Professionals (This section is not required.)

License # *	Business Name			
08050129673	CORNERSTONE REMODELING LLC			
License Type *	First Name	Middle Name	Last Name	
MHIC Co	WILLIAM		BALLANTINE	
Primary	Address Line 1			
Yes	3273 PINE ORCHARD LANE			
	Address Line 2			
	City		State	ZIP Code
	ELLCOTT CITY		MD	21042-0000
	Phone 1	Phone 2	Fax	
	4103367011			
	E-mail			
	AJ@CORNERSTONE.HOUSE			

Applicant (This section is not required.)

Search	As Owner	As Lic. Prof	As Contact
Type *	First Name	MI	Last Name
Applicant	WILLIAM		BALLANTINE
Relationship	Full Name		
Applicant	WILLIAM BALLANTINE		
Primary	Organization Name		
No	CORNERSTONE REMODELING LLC		
	Street Address		
	3273 PINE ORCHARD LANE		
	Address Line 2		
	City	State	Zip Code
	ELLCOTT CITY	MD	21042 000
	Phone	Cell	Fax
	4103367011		
	E-mail *		
	Sales@CORNERSTONE.HOUSE		

Contact (This section is not required.)

Search	As Owner	As Lic. Prof	As Contact
Type	First Name	MI	Last Name
Contact	WILLIAM		BALLANTINE
Relationship	Full Name		
Applicant	WILLIAM BALLANTINE		
Primary	Organization Name		
Yes	CORNERSTONE REMODELING LLC		
	Street Address		
	3273 PINE ORCHARD LANE		
	Address Line 2		
	City	State	Zip Code
	ELLCOTT CITY	MD	21042 000
	Phone	Cell	Fax
	4103367011		
	E-mail		
	Sales@CORNERSTONE.HOUSE		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
170000	0	0	No
Construction Type			
434 - Additions, Alterations and Conversions - Residential			

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *

☐ Yes ☒ No

Capital Project Number

(Text)

Fee Exempt *

☐ Yes ☒ No

Roadside Tree Project Permit

☐ Yes ☒ No

Roadside Tree Pr

No of Stories *
1
(Text)

Foundation *
Crawl Space

Basement *
N/A

No of Rooms *
0
(Text)

Full Baths *
1
(Number)

Ha
0

Model *
SFD/ ADDITION TO EXISTING DWELLING TO INCLUDE: FIRST FLOOR MASTER BATHROOM ADDITION, REMOVE (1) LOAD-BEARING
[check spelling](#)

Other Structure *
N/A

Bedrooms *
0
(Number)

Porch Deck *
N/A

No of Fireplaces *
0
(Number)

Type of Fireplace
--Select--

W & S Fees Paid
☐ Yes ☐ No

Water *
Private

Sewage *
Private

Utilities *
Electric

Heating System *
Electric

Sprinkler System *
None

1st Floor Width
8
FT (Number)

1st Floor Depth
18
FT (Number)

2nd Floor Width
FT (Number)

2nd Floor Depth
FT (Number)

Basement Width
FT (Number)

Basement Depth
FT (Number)

Height
FT (Number)

Total Square Footage *
127
SQFT (Number)

Occupiable Square Footage *
127
SQFT (Number)

Affordable Housing Funding *
N/A

Foundation Measurement
8 x 18
(Text)

Walls
2x6 16oc
(Text)

Roof
gable/asp
(Text)

Change In Use
☐ Yes ☒ No

Grading Permit No
(Text)

Senior Housing
☐ Yes ☒ No

MIHU Outside Downtown Columbia
☐ Yes ☒ No

Additional Description Info

Expiration Date
9/6/2026

MIHU Required Units
0
(Num)

[check spelling](#)

GREEN INFORMATION

Goal Level
--Select--

Actual Level
--Select--

Leed Registration Number
(Text)

Date of Leed Certification

STORM WATER MANAGEMENT

Green Roofs A1
☐ Yes ☐ No

Permeable Pavements A2
☐ Yes ☐ No

Reinforced Turf A3
☐ Yes ☐ No

Disconnection of Rooftop Runoff N1
(Number)

Sheetflow to Conservation Areas N3
☐ Yes ☐ No

Rainwater Harvesting M1
(Number)

Submerged Gravel Wetlands M2
(Number)

Landscape Infiltration

Dry Wells M5
(Number)

Micro Bioretention M6
(Number)

Rain Gardens M7
(Number)

Swales M8
(Number)

PSWM Certification Received in CID on

Submit Cancel

Maura J. Rossman, M.D., Health Officer

APPLICATION FOR WAIVER

To Howard Co Code Subtitle 8: Onsite Sewage Disposal Systems and Subtitle 9: Individual Potable Water Supply Systems

Date Submitted: 3/17/26

Property Address: 11895 Slmpson Road, CLARKSVILLE MD 21029

Subdivision	<u>33</u>	<u>41</u>	<u>8</u>	<u>1405413737</u>
	Lot	Tax Map	Grid	Tax Account #

Provide a brief site history including previously submitted and active plans with the Health Department or the County (subdivision plans, perc test applications, Building Permit applications):

Applying to build 8x20 extension on existing master bathroom suite.

In the area below, list the specific section of the Howard Co Code to which a waiver is being requested and provide a brief summary of the regulation and an explanation of why the waiver is being requested (Attach a separate sheet if necessary).

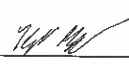
Regulation Section

Summary and Explanation

1. Section 3.808 (c)

Distances - The minimum setback distance from a sewage disposal area to a house is 20 feet. Looking to reduce to 8' to accomodate addition size

2. _____


 Property Owner's Signature

Health Department Use Only

Reviewed by

Hank Oswald
 HCHD Staff

3/17/26
 Date

Comments/Conditions:

- addition with no basement no closer than 8' to SDA. Future trenches shall maintain 10' from house. Any future perc test results shall adjust SDA to 10' from house in that section.

Approved by:

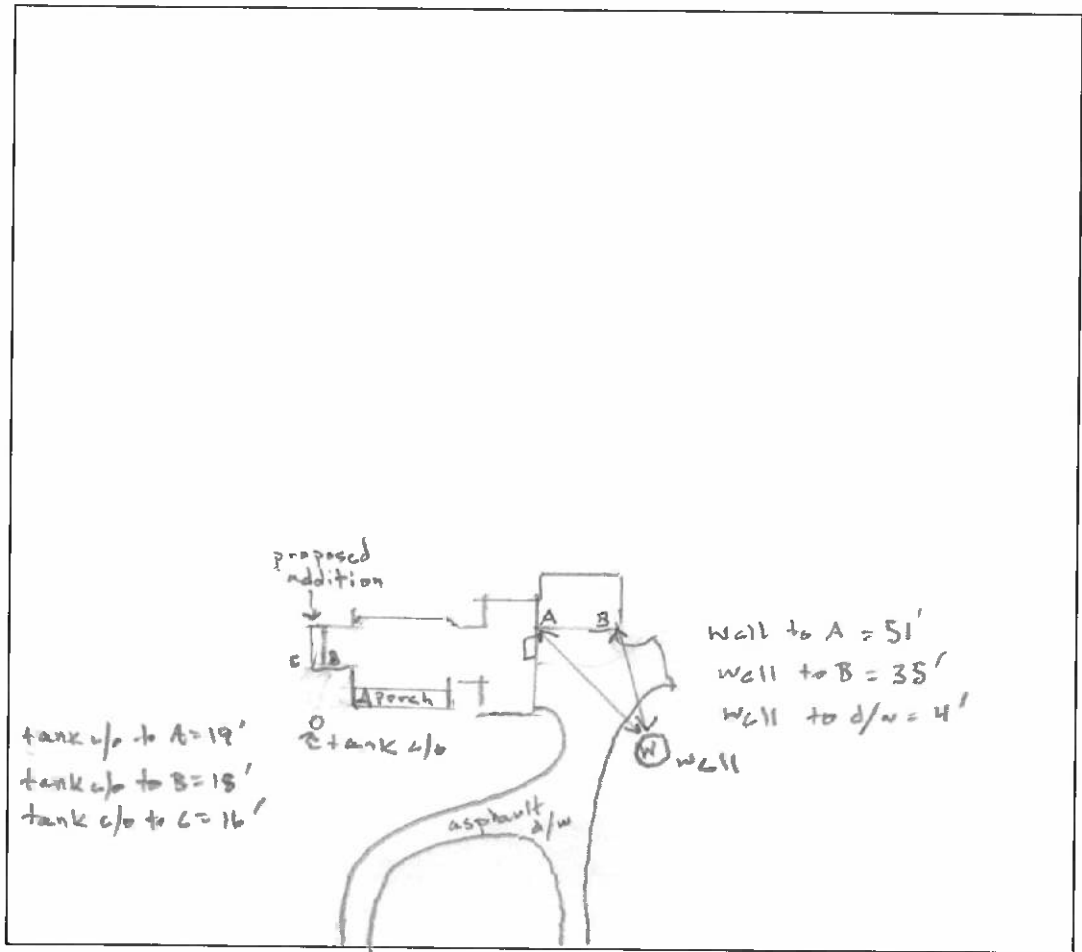

 BEH Deputy Director

3/18/26
 Date

SITE INSPECTION SHEET

OWNER: Jay & Dianne Miller PHONE #: _____
ADDRESS: 11895 Simpson Rd CONTRACTOR: _____
Clarksville MD WELL TAG #: HO-94-0049
SUBDIVISION: _____ LOT: _____ COUNTY #: _____
PROPOSAL: Expand master bathroom by adding 8' x 16'
sq ft.

LOCATION DIAGRAM



COMMENTS: _____

DATE: 3/17/26 INSPECTOR: Frank Oswald

Site Visit – 3/17/26
11895 Simpson Road
Clarksville, MD 21029
B26000628 (Bathroom extension on left side of house)



Existing Well

Site Visit – 3/17/26
11895 Simpson Road
Clarksville, MD 21029
B26000628 (Bathroom extension on left side of house)



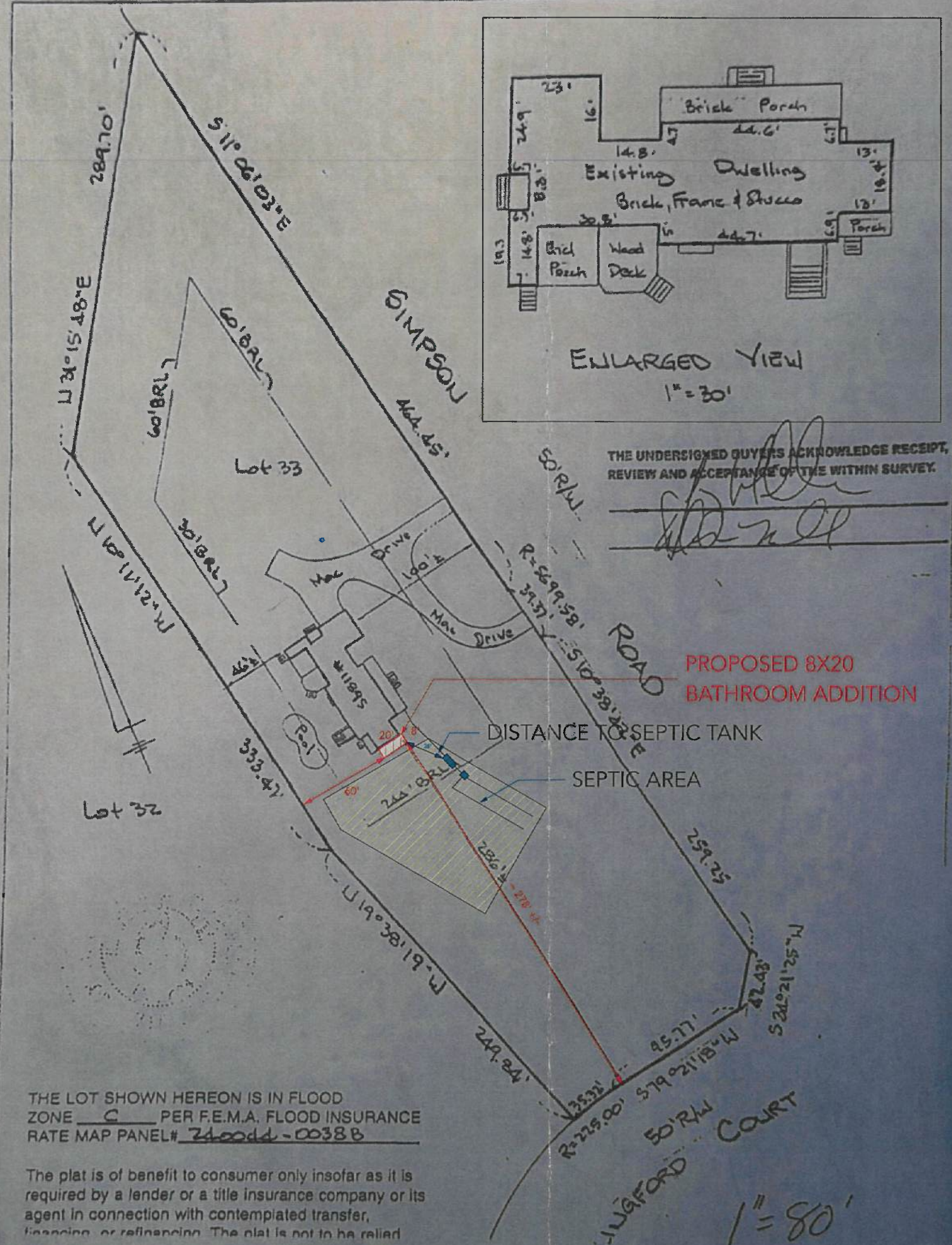
Septic Tank Cleanout



Site Visit – 3/17/26
11895 Simpson Road
Clarksville, MD 21029
B26000628 (Bathroom extension on left side of house)



Addition Foundation Started



Cornerstone Remodeling LLC
 3273 Pine Orchard Ln. Suite A,
 Ellicott City, MD 21042
 Hours: M-F 7:30 - 4:00
 MHIC: #129673
 P: 410-336-7011

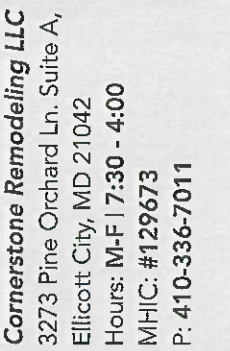
MILLER ADDITION

11895 Simpson Rd, Clarksville, MD 21029, USA,

REVISION TABLE			
NO.	DATE	REV. BY	DESCRIPTION

SCALE: 1" = 80'

CO-1

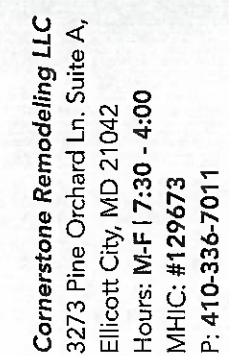


SCALE: $1/8" = 1'$

1ST FLOOR PLAN

PAGE:

--	--	--



Cornerstone Remodeling LLC
3273 Pine Orchard Ln. Suite A,
Ellicott City, MD 21042
Hours: M-F | 7:30 - 4:00
MHIC: #129673
P: 410-336-7011

[illegible]

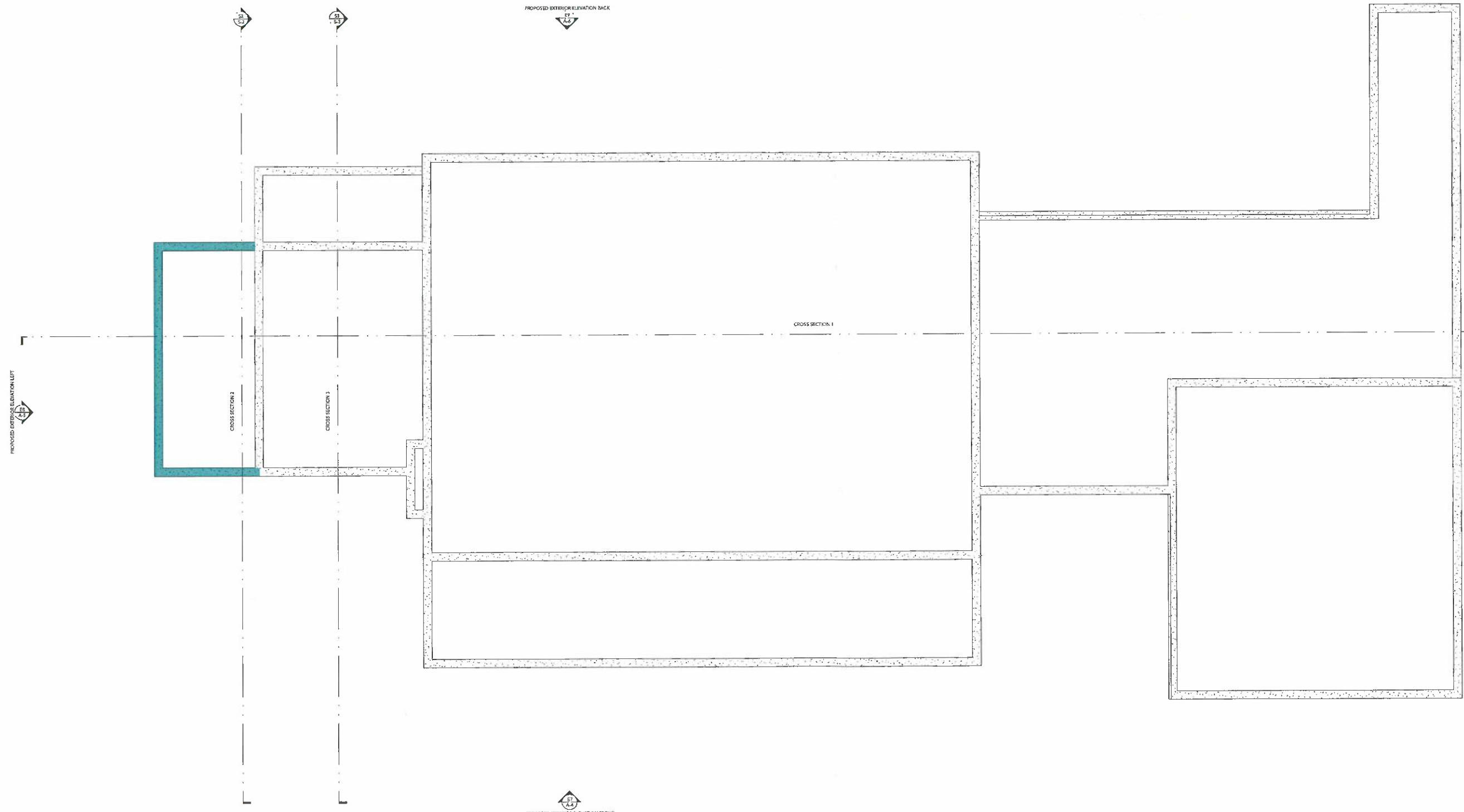
SCALE: $1/8" = 1'$

2ND FLOOR PLAN

PAGE: 1



Cornerstone Remodeling LLC
3273 Pine Orchard Ln. Suite A,
Ellicott City, MD 21042
Hours: M-F | 7:30 - 4:00
MHIC: #129673
P: 410-336-7011



REVISION TABLE			
NO.	DATE	REV. BY	DESCRIPTION

SCALE: 1/8" = 1'

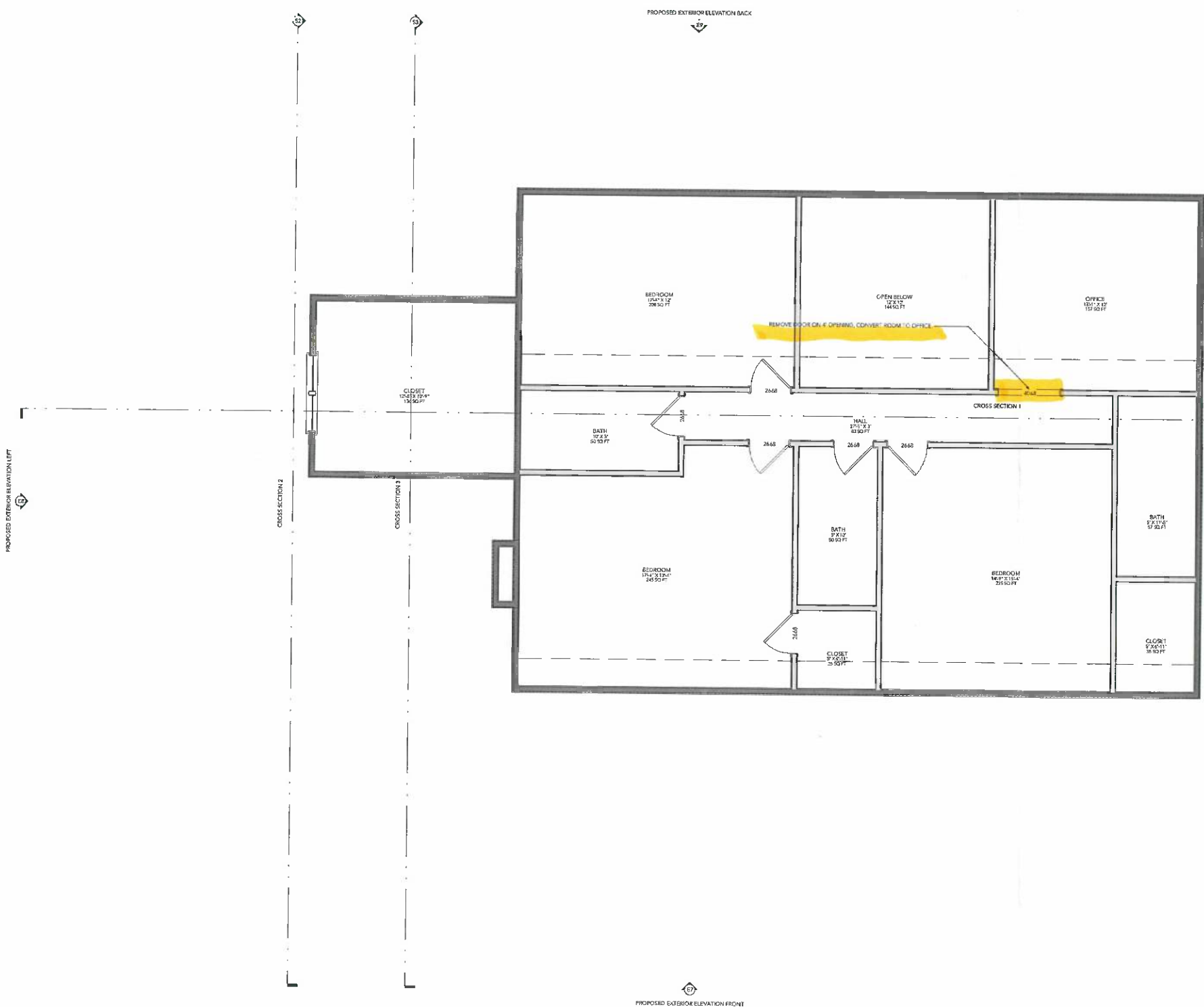
A-3

FOUNDATION PLAN

Revised Floor Plan



Cornerstone Remodeling LLC
3273 Pine Orchard Ln, Suite A,
Ellicott City, MD 21042
Hours: M-F 7:30 - 4:00
MHC: #129673
P: 410-336-7011

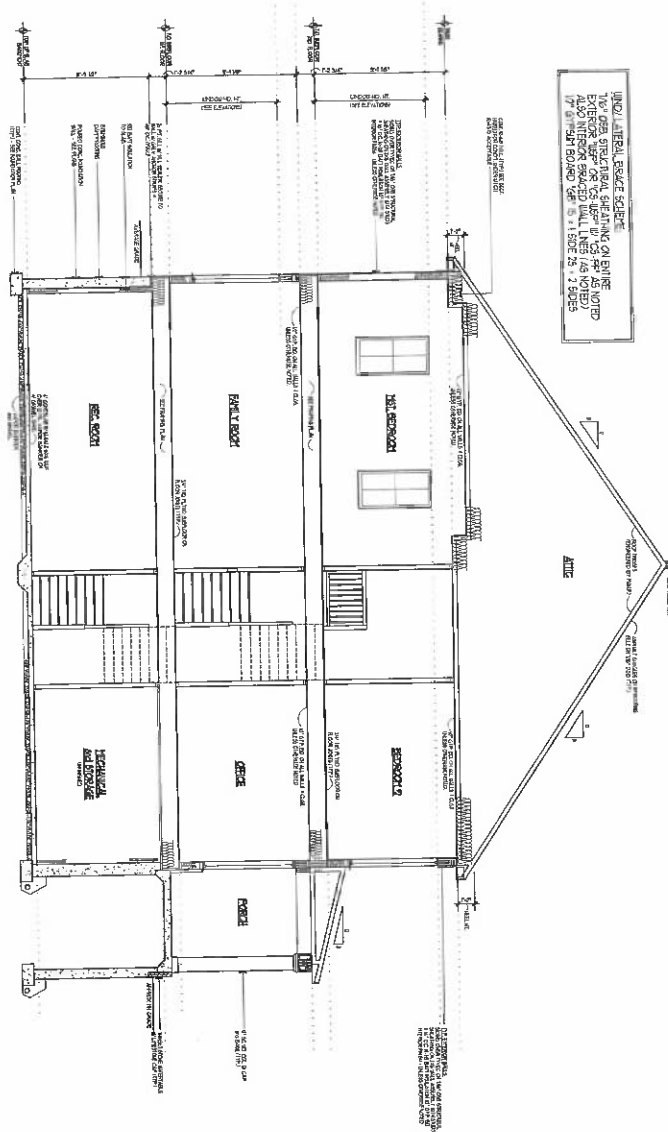


REVISION TABLE			
NO.	DATE	REV. BY	DESCRIPTION

SCALE: 1/8" = 1'

A-1

2ND FLOOR PLAN



BUILDING SECTION
 SCALE: 1/8" = 1'-0"

UNO LATERAL ROOF SCIENT
 TWO OVER STRUTTING SHEDDING ON BRINE WATER
 EXTERIOR SIDE OF ROOF LINE BY 3/4" (1/4" DIA.)
 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)

NOTES:
 1. CONSTRUCTION OF ROOFING SYSTEM SHALL BE AS FOLLOWS:
 A. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 B. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
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 E. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
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 G. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 H. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 I. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 J. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 K. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 L. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 M. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 N. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 O. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 P. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 Q. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 R. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 S. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 T. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 U. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 V. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 W. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 X. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 Y. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)
 Z. 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.) 1/4" DIA. (1/4" DIA.)

Robert
 M. Flinn
 P.E.
 002310-2850

Hank,

I've uploaded the revised plans as requested to the HoCo DILP Portal. Please let me know if you have any questions or need additional details.

Thanks,

Kyle Myers
Architectural Designer

Cornerstone Remodeling
3273 Pine Orchard Lane Ste A
Ellicott City, MD 21042
410.336.7011

Cornerstone.House

On Mar 16, 2026, at 10:35 AM, 'Oswald Jr, Woodin' via Sales <sales@cornerstone.house> wrote:

Hello Mr. Ballantine,

The building permit (B26000628) for the addition located at 11895 Simpson Road has been reviewed with the following comments:

1. Revise the site plan to printable engineer scale on a sheet of paper no larger than 11" x 17", and show the existing well and septic system components (septic tank, trench and sewage disposal area). Please see as-built drawing on page #2 and the sewage disposal area highlighted in yellow on page#5 of the attached septic record.
2. Provide existing (simplified) floor plans for the house (all levels).

I attached a list of engineers should you need assistance with the site plan. Should you have any questions or wish to discuss, please feel free to contact me.

Regards,

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Friday, March 20, 2026 7:17 AM
To: 'Kyle Myers'
Subject: RE: B26000628_11895 Simpson Road

You're welcome.

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: Kyle Myers <kyle@cornerstone.house>
Sent: Thursday, March 19, 2026 12:44 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B26000628_11895 Simpson Road

WARNING!!!

This email originated from someone outside of Howard County
*****DO NOT CLICK LINKS OR OPEN ATTACHMENTS*****
unless you recognize the sender and know for sure that the content is safe

Thanks for expediting this Hank!

Best,

Kyle Myers
Architectural Designer

Cornerstone Remodeling
3273 Pine Orchard Lane Ste A
Ellicott City, MD 21042
410.336.7011

Cornerstone.House

On Mar 19, 2026, at 11:47 AM, Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hi Kyle,

The waiver request was approved with conditions noted at the bottom of the form (see attached). The building permit was also approved.

Should you or the homeowner have any questions, please feel free to contact me.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: Kyle Myers <kyle@cornerstone.house>
Sent: Tuesday, March 17, 2026 3:08 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B26000628_11895 Simpson Road

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Hank,

Thanks for chatting today. Attached below is the revised drawing showing the office revised as we discussed. This is also now on the DILP portal

Thanks,

Kyle Myers
Architectural Designer

Cornerstone Remodeling
3273 Pine Orchard Lane Ste A
Ellicott City, MD 21042
410.336.7011

Cornerstone.House

On Mar 17, 2026, at 12:53 PM, Kyle Myers <kyle@cornerstone.house> wrote:

Hank,

I left a voicemail at your office but I'd be happy to talk through any questions in more detail. I am uploading revised drawings converting the upstairs bedroom to an office as it's not being used as a bedroom. The homeowner is an older couple.

For the basement, there is not a full bathroom. And there are no egress sized windows in the basement.

I've attached the signed form here. And the revised plan is uploaded on the DILP website.

<County Waiver Form interactive_SDA to House distance copy.pdf>

Thanks,

Kyle Myers
Architectural Designer

Cornerstone Remodeling
3273 Pine Orchard Lane Ste A
Ellicott City, MD 21042
410.336.7011

Cornerstone.House

On Mar 17, 2026, at 11:13 AM, Oswald Jr, Woodin
<hoswald@howardcountymd.gov> wrote:

Hi Kyle,

I took a look at the revised site plan and floor plan submittals.

Site Plan:

The site plan shows the proposed addition less than 20 feet to the sewage disposal area. The homeowners could try asking for a waiver to reduce the setback distance by completing the attached form. I will need to conduct a site visit just to put eyes on the well and septic system. I plan on doing that today.

Floor Plans:

The 1st and 2nd floor plan shows 5 bedrooms, but the septic system is sized for 4 bedrooms. Is there a full bathroom or FB rough in the basement? Does the basement have windows?

There are two ways to resolve this. You can either revise the floor plan to show 4 bedrooms by converting an existing bedroom, so it doesn't meet the definition (see attached), or make upgrades to the exiting septic system to accommodate the # of bedrooms. It looks like there is enough trench, but the 1250 gallon septic tank is undersized for at least 5 bedrooms.

Please keep me posted on the homeowners decision, and let me know if you have any questions.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: Kyle Myers <kyle@cornerstone.house>
Sent: Tuesday, March 17, 2026 9:34 AM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B26000628_11895 Simpson Road

WARNING!!!

This email originated from someone outside of
Howard County

*****DO NOT CLICK LINKS OR OPEN
ATTACHMENTS*****

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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<County Waiver Form interactive_SDA to House
distance.pdf><bedroom definition.pdf>

<Waiver_11895 Simpson Road_Approved_260319_113538.pdf>

Tank Size = 1250

4 BR

2092' 4'-8"

$$184' \times 2' = 368 \text{ sq ft} \div 0.36 \\ = 1022 \times 1.2 \text{ rate} = 1226$$

8 BRs

$$\frac{2 + 2}{2 + 1 + 2(4)} = \frac{4}{11} = 0.36$$

✓

PERMIT

05-413737

SEWAGE DISPOSAL SYSTEM

DEPARTMENT OF HEALTH AND MENTAL HYGIENE

P 50733

A 41347

DISTRICT 5th

DATE 6-12-95

DATE SYSTEM APPROVED 6/14/95

INSPECTOR C.B.S.

HOWARD COUNTY HEALTH DEPARTMENT

BUREAU OF ENVIRONMENTAL HEALTH

X651233X 313-2640

INDEXED

Fogle's Septic Clean, Inc.

IS PERMITTED TO INSTALL ☒ ALTER

ADDRESS 558 Obrecht Road, Sykesville, Maryland 21784 PHONE 795-5674

SUBDIVISION Ashleigh Greene-Sec. II LOT 33 ROAD 11895 Simpson Road

PROPERTY OWNER Charles S. Jennings

ADDRESS

SEPTIC TANK CAPACITY 1250 GALLONS

NUMBER OF BEDROOMS 4

180 SQUARE FEET PER BEDROOM

LINEAR FEET OF TRENCH REQUIRED 180

TRENCHES - Trench to be 2 feet wide. Inlet 4 feet below original grade. Bottom maximum depth 8 feet below original grade. Effective area begins at 4 feet below original grade. 4 feet of stone below distribution pipe.

LOCATION - Place the distribution box 220 feet down the right lot line (259.25') and 90 feet off the same lot line as seen when facing the lot from Wollingford Court. Run trenches along contour toward the right (259.25') and left (333.47') lot lines. MAINTAIN A MINIMUM OF 100 FEET TO ALL WELLS.

NOTES - No trench to exceed 100 feet in length. Provide 6" - 8" diameter cleanout and cap to grade or above on septic tank. OK 2/29/95 MJS

PLANS APPROVED BY Jane Nadeau

DATE 3/28/94

COVER NO WORK UNTIL INSPECTED AND APPROVED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS NOT ACCEPTABLE.

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX TRENCHES) TO BE 100 FEET FROM WELL (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCH(ES) ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH(ES)

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS

PERMIT VOID AFTER TWO YEARS

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL STAND PIPES MUST BE 6 INCHES IN DIAMETER CAST IRON, CONCRETE OR TERRA COTTA OR PVA OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET, MANHOLE TO GRADE REQUIRED

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

*INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT

HD-260(5-90)

*CALL 461-9833 FOR INSPECTION OF SEPTIC SYSTEM.

PERMIT SIGNATURE

RETURNED 8-28-99

Shurtliff 12/14/98
Interior alterations
new garage

41347

