

Approved
 [Signature] 3/26/26

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Deck	B26000548	02/25/2026
Description of Work		
SFD / CONSTRUCT NEW 17' X 38 OPEN DECK W/ STEPS W/OUTDOOR KITCHEN / SERVICE COUNTER ON DECK. NO GAS OR WATER.**SUBJECT TO FIELD INSPECTION**		

Online BP.
 3/2/26

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
5328	CATALPA	CT
Unit Type	Unit #	X Coordinate
--Select--		-76.95442
		Y Coordinate
		39.24002
City	State	Zip Code
ELLICOTT CITY	MD	21042
	Primary	
	Yes	

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1104070	49	48996	277400	2413800	2136400	RURAL
Legal Description						
IMPSLOT 92 48,996 SQ[]5328 CATALPA CT[]WALNUT CREEK PHASE 3						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	92	605101	5				
Plan Area		State Tax Id		Subdivision Name			
		1405597901		Walnut Creek			
Section		Area		Tax Map			
				28			
Grid		Zoning District		ADC Map			
28-11		RR-DEO		4933-H2			
SDP No.		Final Plan No.		WP File No.			
		F-07-076					
Record Plat No.		WS Contract No.		FDP No.	Primary		
23233-2324					Yes		
Owner Occupied		Year Built		Historic District			
☐ Yes ☐ No		2020		☐ Yes ☒ No			
Historic District Registry No.		Stat Area		Flood Plain			
		5-02A		☐ Yes ☒ No			
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *
HAIDEI
Address Line 1
5328 CATALPA CT
Address Line 2
Address Line 3

Mail City
ELLICOTT CITY
Mail State
MD
Mail Zip Code
21042
Phone
240-506-0780
Primary
Yes
E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

License # *
08050121739
License Type *
MHIC Co
Primary
Yes
Business Name
RHINE LAWN CARE & LANDSCAPING LLC
First Name
JOHN
Middle Name
LEE
Last Name
RHINE
Address Line 1
12885 OLD FREDERICK RD
Address Line 2
City
SYKESVILLE
State
MD
ZIP Code
21784-0000
Phone 1
4104422445
Phone 2
Fax
4104894312
E-mail
CSM@RHINELANDSCAPING.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *
Applicant
Relationship
Applicant
Primary
Yes
First Name
Dan
MI
Last Name
Murphy
Full Name
Dan Murphy
Organization Name
Rhine Landscaping
Street Address
12885 Old Frederick Road
Address Line 2
City
Sykesville
State
MD
Zip Code
21784
Phone
4104422445
Cell
Fax
4104894312
E-mail *
dan@rhinelandscaping.com

Addtl Info

Est Construction Cost *
50000
Housing Units *
0
Number of Buildings *
0
Public Owned
No
Construction Type
434 - Additions, Alterations and Conversions - Residential

MISC PERMIT INFO

MISCELLANEOUS PERMIT INFORMATION

Capital Project-No Fee * Capital Project Number Fee Exempt * Roadside Tree Project Permit * Roadside Tree Project Permit #
☐ Yes ☒ No (Text) ☐ Yes ☒ No ☐ Yes ☒ No (Text)
Existing Use * Water Sewage Expiration Date
SFD Private Private 8/26/2026

RHINE
LANDSCAPING • CONSTRUCTION • POOLS

_____	Exist. wall to
-----	to remain
- - - - -	to be demolished
_____	New wood frame
	New wall
	CMU wall
	Batt insulation in wall
	Rigid insulation in wall
	Concrete Wall
	Wood
	Plywood

[illegible]

Client and Project Location
**HAIDER
RESIDENCE**
5328 CATALPA COURT
ELLICOTT CITY 21042

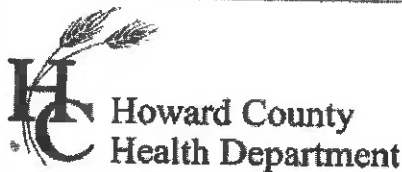
Date _____ Date 12/17/25
Original Number _____

A001





Proposed Rear Elevation 1



Bureau of Environmental Health
8930 Stanford Boulevard, Columbia, MD 21045
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 5/2/19 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 565479

APPROVAL DATE: 07/10/19 **PERMIT: CONSTRUCTION**

A _____

PROPERTY ADDRESS: 5328 Catalpa Court

SUBDIVISION: Walnut Creek

LOT: 92 TAX ID: _____

CONTRACTOR: Fogles Septic Clean Inc

EMAIL: kim@foglesinc.com

CONTRACTOR ADDRESS: 580 Dorchest Rd, Sykesville, MD 21784

PHONE: 410-798-5670

PROPERTY OWNER: Cairn Custom Homes

EMAIL: _____

OWNER ADDRESS: 10548 Gorman Road, Laurel, MD 21723

PHONE: 301-490-5317

SEPTIC TANK SIZE (GALLONS): 2000

TANK MANUFACTURER: Babylon or Equivalent

PUMP MODEL: _____ PUMP SIZE _____

PUMP TANK CAPACITY: _____

DISTRIBUTION SYSTEM: ☒ GRAVITY ☐ PRESSURE DOSED BEDROOMS: 7 APPLICATION RATE: 1.2

TRENCHES	LINEAR FEET REQUIRED: <u>121.63</u>	INLET DEPTH: <u>4</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>11</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>4</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:		

ISSUED BY: Hank Oswald

ISSUE DATE: 5/2/19

EXPIRATION DATE: 5/2/20

NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION

NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.

NOTE: WATERTIGHT TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRAIENT FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

☒ ELECTRICAL PERMIT ISSUED E N/A

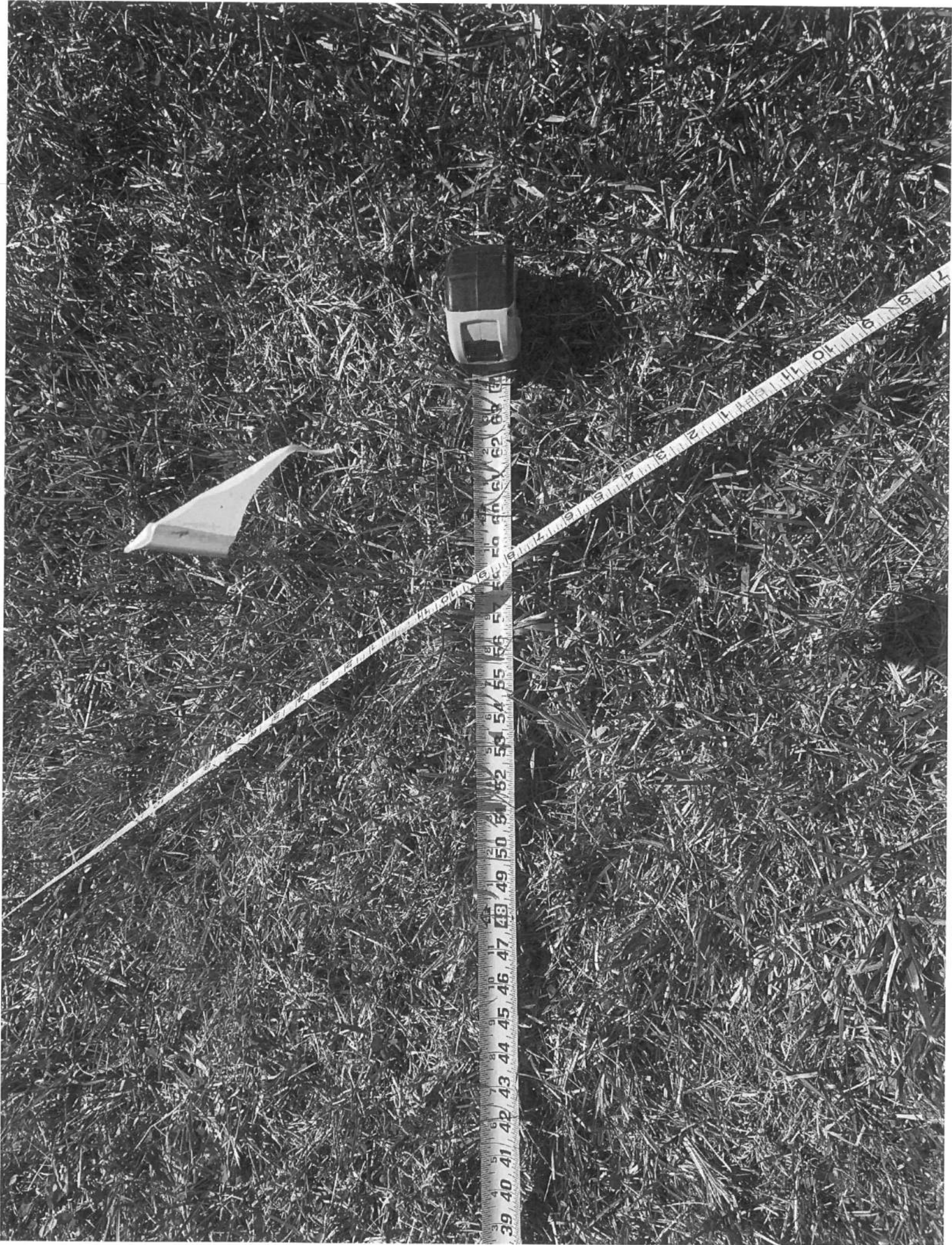
NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.









Eshenbaugh, Melanie

From: Dan Murphy <dan@rhinelandscaping.com>
Sent: Friday, March 20, 2026 3:07 PM
To: Eshenbaugh, Melanie
Subject: RE: B26000548 - 5328 Catalpa Court

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Ok, great. Thanks a lot! I hope you have a great weekend too. It's finally warm.

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Sent: Friday, March 20, 2026 3:00 PM
To: Dan Murphy <dan@rhinelandscaping.com>
Subject: RE: B26000548 - 5328 Catalpa Court

Hi Dan,

Yes that should be fine, you should still be approx. 5' away or conservatively 4'. It's only the 2nd stair post to the deck that is close to the septic tank corner. I will give HD approval on the building permit today. Hope you have a nice weekend.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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From: Dan Murphy <dan@rhinelandscaping.com>
Sent: Friday, March 20, 2026 2:37 PM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Subject: RE: B26000548 - 5328 Catalpa Court

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Hi Melanie,

Thanks for meeting me at the site. After you left, I shared our conversation with the homeowner. He's now asking if we can leave the posts where they are. I swear, I'm pulling my hair out. Is that possible?

Thanks,
Dan

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Sent: Friday, March 20, 2026 10:16 AM
To: Dan Murphy <dan@rhinelandsaping.com>
Subject: RE: B26000548 - 5328 Catalpa Court

Good morning Dan,

Yes 2pm this afternoon would be fine. I will let you know if anything changes. Thank you.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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From: Dan Murphy <dan@rhinelandsaping.com>
Sent: Friday, March 20, 2026 7:10 AM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Subject: RE: B26000548 - 5328 Catalpa Court

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Hi Melanie,

Thanks for getting back to me. Yes, I can meet you this afternoon. How does 2pm work for you?

Thanks again,
Dan

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Sent: Thursday, March 19, 2026 4:54 PM
To: Dan Murphy <dan@rhinelandsaping.com>
Subject: RE: B26000548 - 5328 Catalpa Court

Good afternoon Dan,

I will be reviewing the information and most likely making a site visit tomorrow afternoon. If you would like to meet on site we can schedule a time tomorrow. Please let me know regarding tomorrow's site visit, otherwise we can schedule to meet on Monday if there are any schedule conflict. Hope you have a nice evening and thank you.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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From: Dan Murphy <dan@rhinelandsaping.com>
Sent: Wednesday, March 18, 2026 3:49 PM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Subject: RE: B26000548 - 5328 Catalpa Court

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Hi Melanie,

Eshenbaugh, Melanie

From: Dan Murphy <dan@rhinelandsaping.com>
Sent: Wednesday, March 18, 2026 3:49 PM
To: Eshenbaugh, Melanie
Subject: RE: B26000548 - 5328 Catalpa Court
Attachments: pic1.jpg; pic2.jpg; pic3.jpg; pic4.jpg; pic5.jpg

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Hi Melanie,

I just returned from 5328 Catalpa Ct. I staked the centers of the outer posts. I also flagged what should be the corners of the septic tank assuming the 81" x 156" dimensions as specified on the OSDS. It appears the tank is a little further away from the concrete than your aerial shows and also closer than what my drawing shows. Perhaps you were measuring to the excavation line and not the actual tank? Either way, it's pretty close. I've attached some photos that I took while out there and I'd be happy to meet you if needed.

Please let me know what we need to do next.

Thanks,
Dan

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Sent: Tuesday, March 17, 2026 11:26 AM
To: Dan Murphy <dan@rhinelandsaping.com>
Subject: RE: B26000548 - 5328 Catalpa Court

Sounds good and I think either way we will need to have the location of the deck posts staked. Hope you have a wonderful day.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

From: Dan Murphy <dan@rhinelandsaping.com>
Sent: Tuesday, March 17, 2026 7:38 AM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Subject: RE: B26000548 - 5328 Catalpa Court

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Good Morning Melanie,

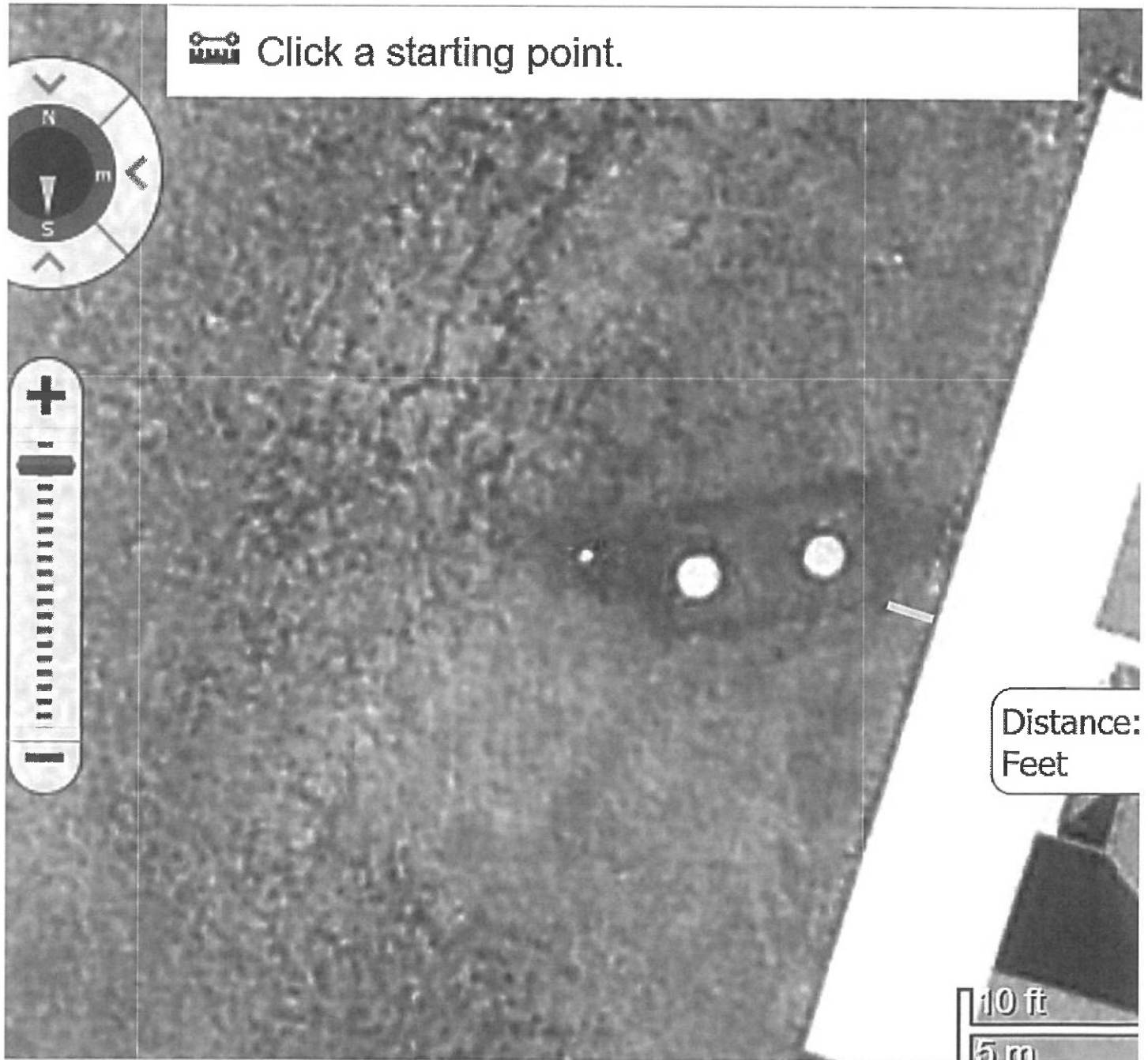
Thanks for the reply. I see what you are saying. I think I laid out the tank using the as-built measurements from the septic permit, but honestly that was 5 years ago, so I will go back and double check my notes and measurements.

Thanks,
Dan

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Sent: Monday, March 16, 2026 5:02 PM
To: Dan Murphy <dan@rhinelandsaping.com>
Subject: RE: B26000548 - 5328 Catalpa Court

Good afternoon Dan,

Yes I did make a site visit to the property and measured the septic tank lid at 7' (manhole cover) to the edge of the concrete patio. I explained to the property owners that we should be a minimum of 5' away from the edge of the septic tank since there was no stakeout. I pulled measurements based on the submitted design plans and the end of the deck was nearly in line with the septic tank. If you look at the aerial imagery below you can see the outline of the septic tank zoomed in on the property and a measurement showing approximately 3' from the tank corner closest to the deck proposal. This will likely require a stakeout for the desk posts and possibly a waiver for a setback reduction. I will verify with my supervisor whether the septic tank should be staked for the next site visit and let you know how to proceed. Hope you have a nice evening and I will be in touch soon.



Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045



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From: Dan Murphy <dan@rhinelandscaping.com>
Sent: Monday, March 16, 2026 4:04 PM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Subject: B26000548 - 5328 Catalpa Court

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Hi Melanie,

I just wanted to reach out regarding the above referenced building permit. I heard from the homeowner that you made a site visit and see that you are deliberating about the setback to the septic tank. I'd be happy to meet with you and stake out the deck, if needed. I know we are pretty close, but I think we are more than 5' from the tank. The deck is only going to extend approximately 8" beyond the existing concrete patio.

This project has been a long time coming. I've been working with these clients for nearly 5 years. They originally planned on installing a swimming pool, so we worked with Hank a few years ago and studied amendments to the existing SDA. We even conducted additional perc tests. We even explored a lot consolidation since they also own the adjacent undeveloped lot. In the end, they decided to abandon their plans for the pool. Instead they are planning this deck project as well as expanding the patio as a later phase. They know that they will likely need to move the septic tank and probably install new trenches at that point to get the patio that they desire, but we have not finalized that design quite yet. We were hoping to avoid this conflict with the phase 1 deck project. We'd be happy to submit some sort of written statement to this fact if that would help at all.

Please let me know if you have any questions or if I can be of any assistance. Email is great, but you can also reach me on my cell at 443-909-8780.

Thanks,
Dan Murphy, RLA
Senior Landscape Architect

