

Record Detail * (This section is required.)

Approved
MOT 3/13/26

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B26000712	03/11/2026

Description of Work

SFD/ Raise part of garage roof in the rear to allow for 8'-0" ceiling height. Add window dormer on front. INTERIOR ALTERATIONS TO INCLUDE: Remodel SECOND FLOOR master bath. Remodel adjacent living spaces., 1.5 STORY, Full Basement, 15 above gradeR, 3FB, 1HB, 1FP, OTHER STRUCTURE = 2 Car Attached, 4BR, PORCH/DECK = Deck, ENERGY METHOD = N/A,

Online BP.

JA 3/12/26

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
2720	WYNFIELD	RD
Unit Type	Unit #	
-Select-		
X Coordinate	Y Coordinate	
-76.94476	39.29236	
City	State	Zip Code
WEST FRIENDSHIP	MD	21794
Primary		
Yes		

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
904221	88	3.41	324200	813800	489600	RURAL

Legal Description

IMPSLOT 26 3.4104 A[]2720 WYNFIELD RD[]WEST FRIENDSHIP S 3

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	26	603000	5				
Plan Area		State Tax Id		Subdivision Name			
		1403309967		WYNFIELD			
Section		Area		Tax Map			
				15			
Grid		Zoning District		ADC Map			
15-18		RR-DEO		4813-J4			
SDP No.		Final Plan No.		WP File No.			
Record Plat No.		WS Contract No.		FDP No.	Primary		
6043					Yes		
Owner Occupied		Year Built		Historic District			
☐ Yes ☐ No		1987		☐ Yes ☒ No			
Historic District Registry No.		Stat Area		Flood Plain			
		3-05		☐ Yes ☒ No			
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *

Scott &

Address Line 1

2720 Wynfield Rd.

Address Line 2

Address Line 3

Mail City

West Friendship

Mail State

MD

Mail Zip Code

21794

Phone

443-820-5126

Primary

Yes

E-mail

slstew88@gmail.com

Cell Number

Fax Number

Professionals (This section is not required.)

License # *	Business Name			
License Type *	First Name	Middle Name	Last Name	
--Select--	▼			
Primary	▼ Address Line 1			
Yes	▼ Address Line 2			
	City		State	ZIP Code
	Phone 1	Phone 2	Fax	
	E-mail			

Applicant (This section is not required.)

Search	As Owner	As Lic. Prof	As Contact
---------------	-----------------	---------------------	-------------------

Type *	First Name	MI	Last Name	
Applicant	▼ david	philip	bucheimer	
Relationship	▼ Full Name			
Applicant	david philip bucheimer			
Primary	▼ Organization Name			
No	Bucheimer Co Design & Build, LLC			
	▼ Street Address			
	6119 Jefferson Boulevard			
	▼ Address Line 2			
	City		State	Zip Code
	FREDERICK		MD	21703
	Phone	Cell	Fax	
	301-473-8385	301-639-9910		
	E-mail *			
	DAVID-BUCK@COMCAST.NET			

Contact (This section is not required.)

Search	As Owner	As Lic. Prof	As Contact
---------------	-----------------	---------------------	-------------------

Type	First Name	MI	Last Name	
Contact	▼ david	philip	bucheimer	
Relationship	▼ Full Name			
Applicant	david philip bucheimer			
Primary	▼ Organization Name			
Yes	Bucheimer Co Design & Build, LLC			
	▼ Street Address			
	6119 Jefferson Boulevard			
	▼ Address Line 2			
	City		State	Zip Code
	FREDERICK		MD	21703
	Phone	Cell	Fax	
	301-473-8385	301-639-9910		
	E-mail			
	DAVID-BUCK@COMCAST.NET			

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
175000	0	0	No ▼
Construction Type			
434 - Additions, Alterations and Conversions - Residential ▼			

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *

☐ Yes ☒ No

Capital Project Number

(Text)

Fee Exempt *

☐ Yes ☒ No

Roadside Tree Project Permit

☐ Yes ☒ No

Roadside Tree Pr

No of Stories * 1.5 (Text) Foundation * Full Basement Basement * Partially Finished No of Rooms * 15 above grac (Text) Full Baths * 3 (Number) Ha 1

Model * SFD/ Raise part of garage roof in the rear to allow for 8'-0" ceiling height. Add window dormer on front. INTERIOR ALTERATIONS TO INCLUDE: ☐ [check spelling](#)

Other Structure * 2 Car Attached Water * Private Sewage * Private Utilities * Gas & Electric Heating System * Electric Type of Fireplace * Masonry Sprinkler System * None
1st Floor Width FT (Number) 1st Floor Depth FT (Number) 2nd Floor Width FT (Number) 2nd Floor Depth FT (Number) Basement Width FT (Number) Basement Depth FT (Number) Height FT (Number)
Total Square Footage * 2576 SQFT (Number) Occupiable Square Footage * 0 SQFT (Number) Affordable Housing Funding * N/A Foundation Measurement (Text)
Walls (Text) Roof (Text) Change In Use ☐ Yes ☒ No Grading Permit No (Text) Senior Housing ☐ Yes ☒ No MIHU Outside Downtown Columbia ☐ Yes ☒ No
Additional Description Info Expiration Date 9/8/2026 MIHU Required Units 0 (Num)

[check spelling](#)

GREEN INFORMATION
Goal Level --Select-- Actual Level --Select-- Leed Registration Number (Text) Date of Leed Certification

STORM WATER MANAGEMENT
Green Roofs A1 ☐ Yes ☐ No Permeable Pavements A2 ☐ Yes ☐ No Reinforced Turf A3 ☐ Yes ☐ No Disconnection of Rooftop Runoff N1 (Number)
Sheetflow to Conservation Areas N3 ☐ Yes ☐ No Rainwater Harvesting M1 (Number) Submerged Gravel Wetlands M2 (Number) Landscape Infiltration
Dry Wells M5 (Number) Micro Bioretention M6 (Number) Rain Gardens M7 (Number) Swales M8 (Number)
PSWM Certification Received in CID on

Submit Cancel

PERMIT

SEWAGE DISPOSAL SYSTEM

MARYLAND STATE DEPARTMENT OF HEALTH*

HOWARD COUNTY

BUREAU OF ENVIRONMENTAL HEALTH
461-9933

INDEXED

03-309967

P 38421
30327
A 30328

DISTRICT 3rd

DATE 1/13/87

DATE SYSTEM APPROVED 2/25/87

INSPECTOR C. Williams

Burgemeister - Bell, Inc.

IS PERMITTED TO INSTALL X ALTER

ADDRESS 10331 S. Dolfeld Road, Owings Mills, Maryland PHONE

SUBDIVISION Wynfield ROAD 2720 Wynfield Road LOT 26, Sec. 3,

PROPERTY OWNER John MacFarlane

ADDRESS

IF GARBAGE GRINDER IS USED INCREASE SEPTIC TANK CAPACITY BY 50% AND ABSORPTION AREA BY 22%.

GARBAGE GRINDER? YES X NO

SEPTIC TANK CAPACITY 2000 GALLONS NUMBER OF BEDROOMS 4

TRENCHES - 220 ~~180~~ sq. ft. per bedroom. Trench to be 2 feet wide. Inlet 4 feet below original grade. Bottom maximum depth 9 feet below original grade. 5 feet of stone below distribution pipe.

LOCATION - Start the first trench 200 feet from the front lot line and 70 feet from the left lot line as seen when facing the property from Wynfield Road. Run trench(s) along contour toward right lot line.

NOTE - No trench to exceed 100 feet in length. If more than one trench used, a distribution box is required. Provide 6" - 8" diameter cleanout and cap to grade or above on septic tank. off CW

septic installed w/wrong perc notes (30328), but no impact MR 10/30/91

PLANS APPROVED BY C. Williams DATE 6/17/86

COVER NO WORK UNTIL INSPECTED AND APPROVED.

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS.

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E., TANK, DISTRIBUTION BOX, TRENCHES) TO BE 100 FEET FROM WELL. (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCH(IES) ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH(IES).

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER. NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH.

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 40 PVC OR ABS.

PERMIT VOID AFTER TWO YEARS.

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPES MUST BE 6 INCHES IN DIAMETER. CAST IRON, CONCRETE OR TERRA COTTA OR PVC OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET, MANHOLE TO GRADE REQUIRED.

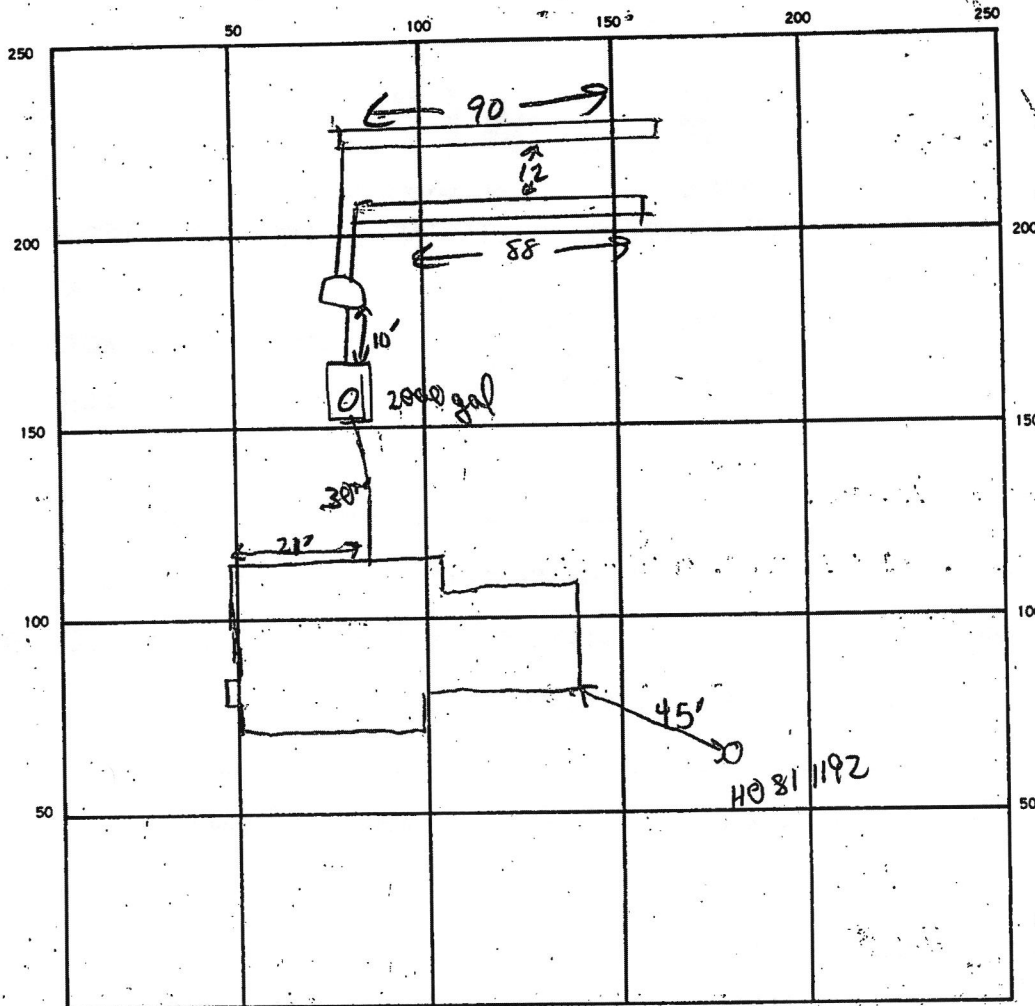
NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES.

*INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT

*CALL 461-9933 FOR INSPECTION OF SEPTIC SYSTEMS.

EH - 2-1186

30327 A 30328



SEPTIC TANK, LEVEL 2000 gal. CLEANOUTS ST - MAHOLE TO GRADE ✓

DISTRIBUTION BOX, LEVEL ✓

DRAIN FIELD/TILE FIELD, DEPTH 7 FT. TRENCH WIDTH 2 FT. INLET DEPTH 4 FT.

EFFECTIVE GRAVEL DEPTH 5 FT. TOTAL LENGTH 178 FT.

NUMBER OF TRENCHES 2(88+90) ONE SIDEWALL/BOTTOM AREA 1890 SQ. FT.

DRYWELL INSIDE DIAMETER FT. EFFECTIVE DEPTH BELOW INLET FT.

TOTAL ABSORBENT AREA 890 SQ. FT.

REMARKS 2/19/87 Adjusting location of trenches to reduce tree clearing
To compensate trenches will be longer but w/ depth 8-9" along
contour. OK to start trenches 172. & begin adding stone to trench #1

2/24/87 NO FURTHER WORK DONE ON TRENCHES. S.A.H.

2/25/87 OK TO COVER ALL,

DATE-SYSTEM APPROVED 2/25/87

INSPECTOR CW

88
 2 176
 5 880
 5 38
 35
 30
 34
 178
 5
 890

1. All Work shall comply with IRC 2024 for One and Two Family Dwellings and all amendments by applicable County.
2. Sections and details shown are typical throughout the project.

Dimensions:

1. All dimensions are to the face of the stud unless otherwise noted.
2. Dimensions and notes for a given condition are typical for similar conditions throughout the project.
3. Contractors shall verify all dimensions including field prior to starting construction.

Structural Note:

1. The structure is designed to be self supporting and stable upon completion of all the work.
2. The contractor shall determine construction loading, bracing and sequence in accordance with RIC 2024, OSHA and local codes and insure the safety of the building and it's components before, during and after construction.

Smoke and Carbon Monoxide Alarms:

1. Smoke alarms shall be installed in all sleeping rooms and on each additional story of the dwelling including basements, cellars and habitable attic.
2. Smoke and Carbon Monoxide alarms shall be interconnected. Where hard wire interconnect is not practicable, a battery powered alarm shall be installed.
3. Carbon Monoxide alarms shall be used to connect all alarms in the house.
4. All sleeping rooms shall be installed on each level of the house and within the vicinity of the bedrooms.
5. All alarms shall be tested by a battery pack or a 120 volt AC plug-in type alarm.
6. All alarms shall be either hard wired with fed back appliance require a separate Combo alarm.
7. All alarms shall be either hard wired with battery back up or 10 year Lithium battery-less toilet.

Conclusion:

1. Minimum for Floors R30,
2. Minimum for Walls R21.
3. Minimum for Ceilings R48.
4. Windows and outlet box seal with spray foam.
5. Wood framing seal with caulk at all wall plates, s

Iron consumption:

1. Fire stopping shall be provided to block all concealed draft openings.
2. Fire rated garage ceiling shall be minimum 5/8" Fire Code drywall or equal to meet One Hour fire rating as per IRC 2024.302.
3. Doors into dwelling shall be solid core wood or steel with a 20 minute rating with self closing hinges or equal.

Wood Framing:

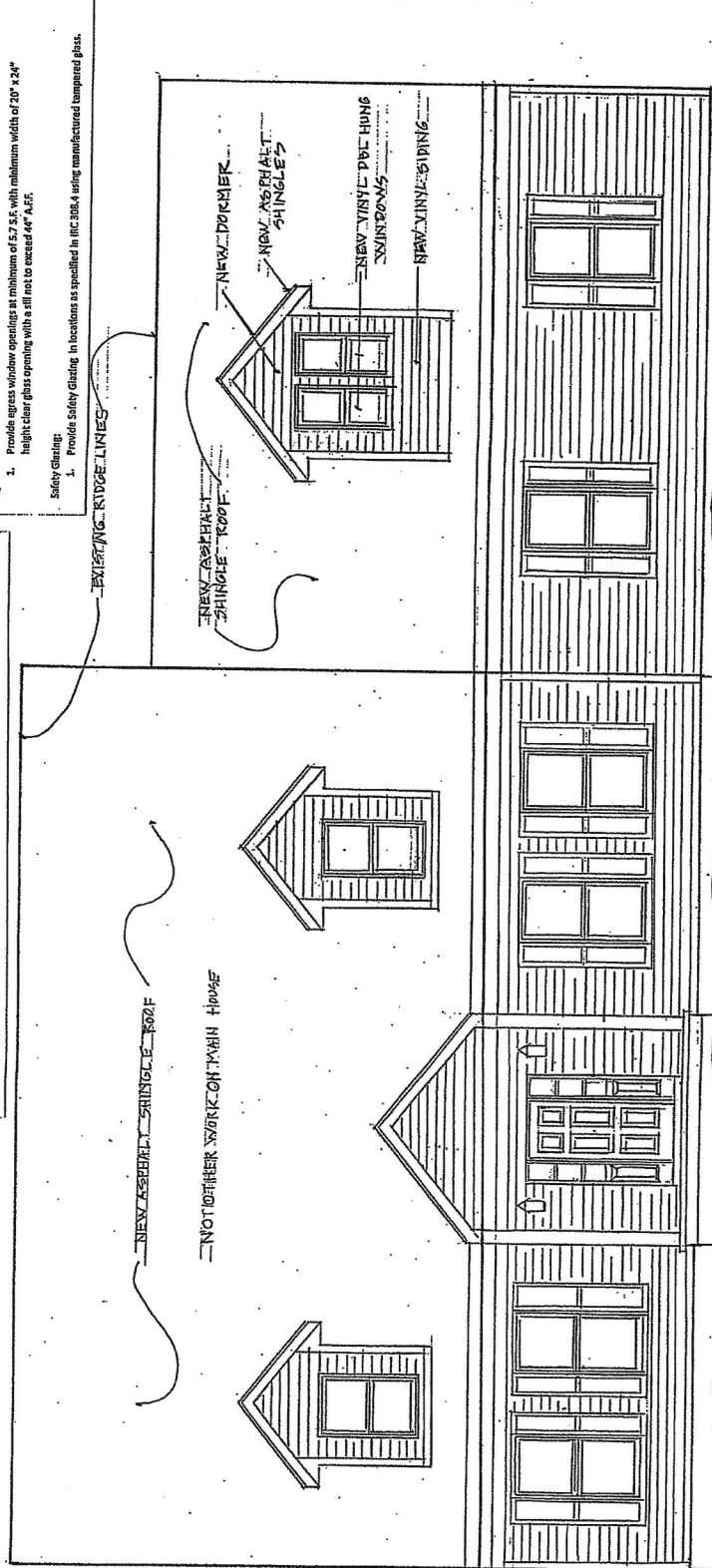
1. All wood framing shall comply with IRC 2304.502.
2. All wood framing shall be Spruce-Pine-Fir.
3. All exterior studs shall be 2x4 or 2x6 @ 16"OC unless otherwise specified.
4. All exterior studs shall be minimum #10, above grade. All lumber in contact with the ground, concrete or masonry shall be pressure treated.
5. Fasteners and connectors for pressure treated lumber shall be galvanized steel or other as per IRC 317.3.1.
6. Window and door headers shall be minimum (1) 2x8 unless otherwise noted.
7. Posts supporting span lumber beams and headers shall be a minimum of (1) 2x4 under 48" span and (2) 2x6's for spans over 48".
8. Posts supporting manufactured laminated beams and headers shall be a minimum of 2x4's or 2x4 posts or equivalent.
9. Connectors shall comply with Simpson PC cups and ABU bases, as per the PFS manual.
10. Railers and boxes shall be connected to wall top plates with Simpson 172.5A Hurricane clips or eqal.
11. Appropriately sized nail blocking for crown framed floors and roof framing.
12. Prefabricated truss manufacturer and design to conform to ANSI/PF1 and WITCA standards.
13. Manufactured truss design values: IFS = 2500 c-Fm, 2000 FTS.

press

1. Provide egress window openings at minimum of 5.7 S.F. with minimum width of 20" x 24" height clear glass opening with a sill not to exceed 44" A.E.C.

Security Glazings

1. Provide Safety Glazing in locations as specified in IRC 308.4 using manufactured tempered glass.



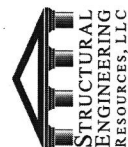
PROPOSED FRONT ELEVATION

 $1/4'' = 1'-0''$

DESIGNED PER IRC 2024
GROUND SNOW 50 PSF
FLOOR LIVE LOAD 40 PSF
PRESUMPTIVE SOIL BEARING
CAPACITY 2000 PSF



03/09/2026
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 24342.
Expiration Date: 11-17-2027.



NORTH FOURTH STREET
GETTYSBURG, PA 17325
(717)-337-1335
JEFF@SERILLC.US

PROPOSED RENOVATIONS for MR. & MRS SCOTT STEWART
2720 WYNFIELD ROAD, WEST FRIENDSHIP, MD., 21794

2720 WYNFIELD ROAD, WEST FRIENDSHIP, MD, 21794

DATE	02-09-2025
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	1
CHECKED	APB
DRAWN	APB





 Bryce Interiors

 Original Designs to Remodeling

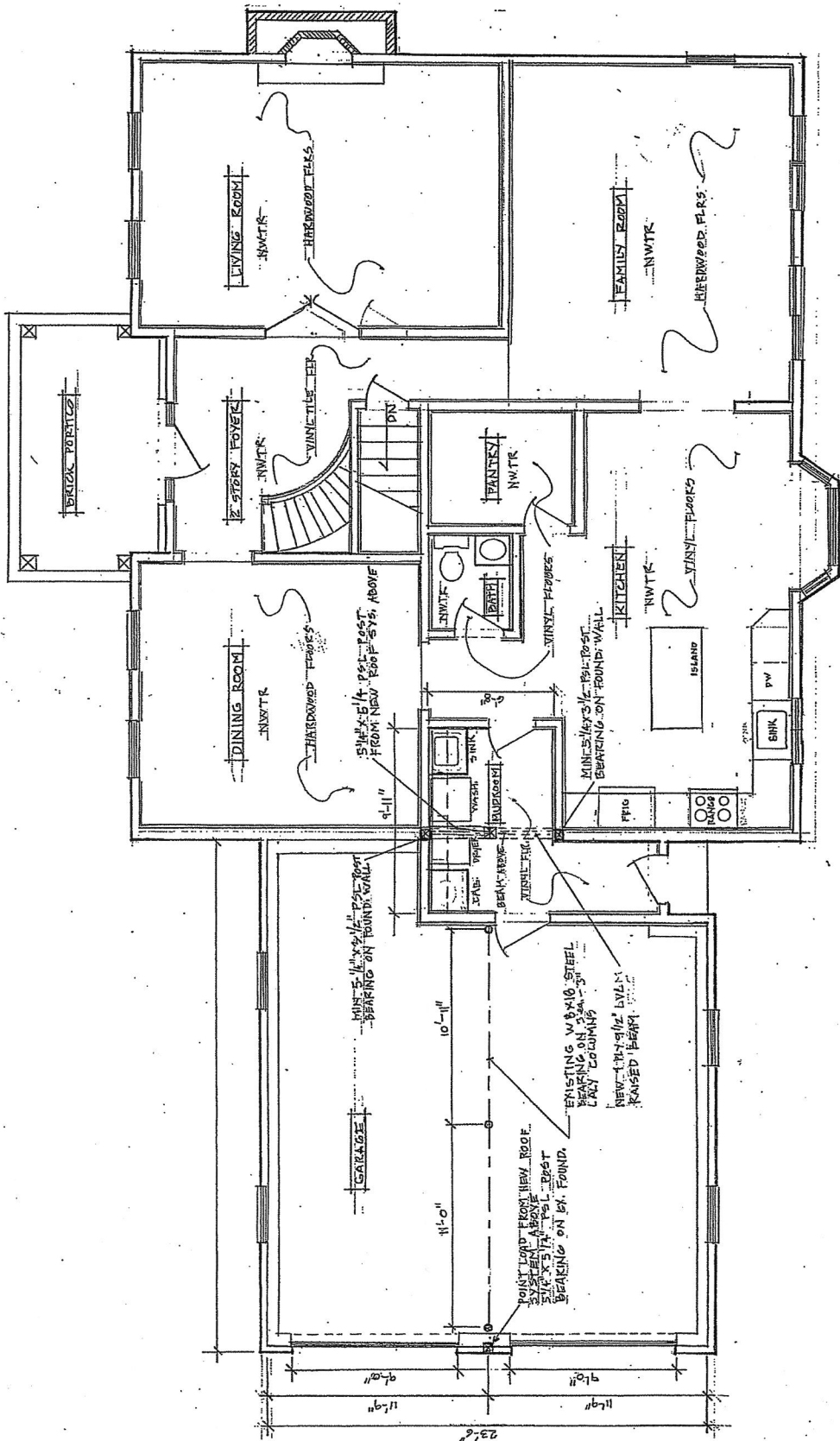
 PHONE: 501.473.8855 FAX: 501.473.8855

 MICHIGAN 091295

PROPOSED RENOVATIONS for MR. & MRS SCOTT STEWART

 2720 WYNFIELD ROAD, WEST FRIENDSHIP, MD, 21794

DRAWN	CHECKED	DATE	SCALE	JOB NO.	SHEET
ASB		02-01-2026	1/4" = 1'-0"		2



1ST FLOOR EXISTING CONDITIONS & STRUCTURAL DETAILS PLAN

 1/4" = 1'-0"



Professional Certification: I hereby certify that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 11172027, Expiration Date: 11/17/2027.



 STRUCTURAL ENGINEERING RESOURCES, LLC

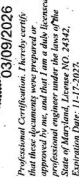
 26 NORTH FOURTH STREET

 GETTYSBURG, PA 17325

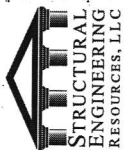
 JEFF@SERLLC.US

10

$$1/4 = 1 - 0$$



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 24342.
Expiration Date: 11-17-2027.



26 NORTH FOURTH STREET
GETTYSBURG, PA 17325
(717)-337-1335
JEFF@SERLLC.US

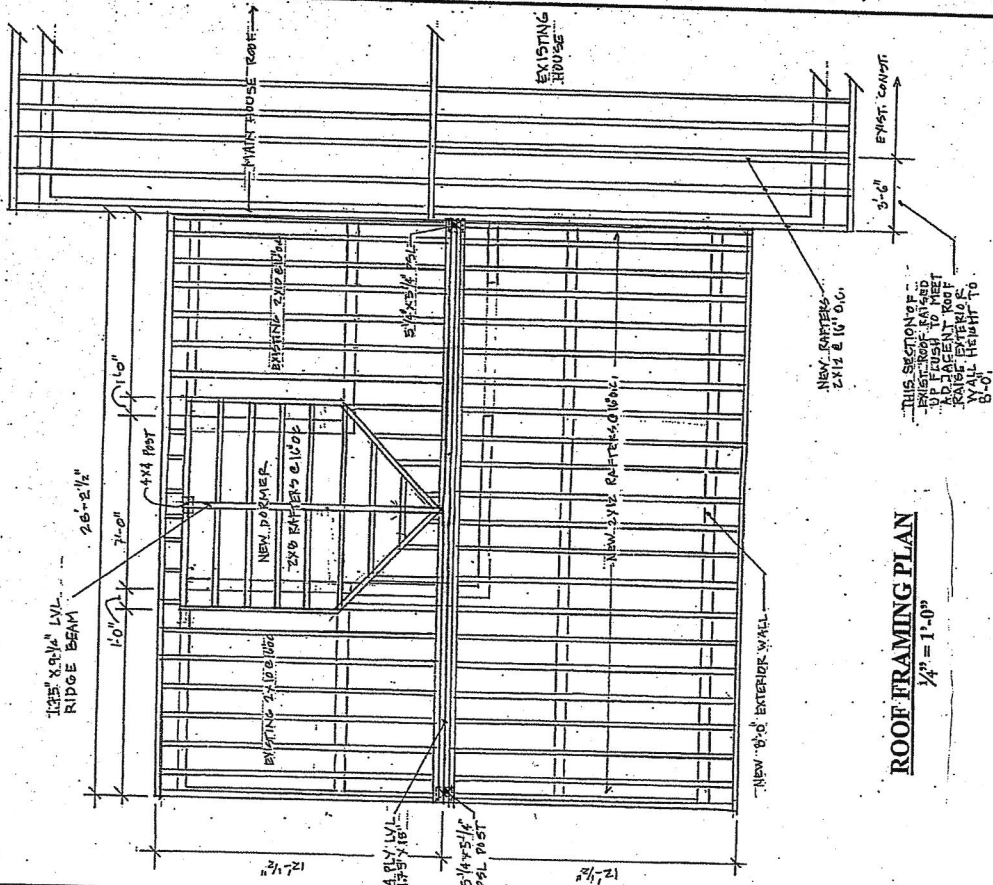


PHONE 3

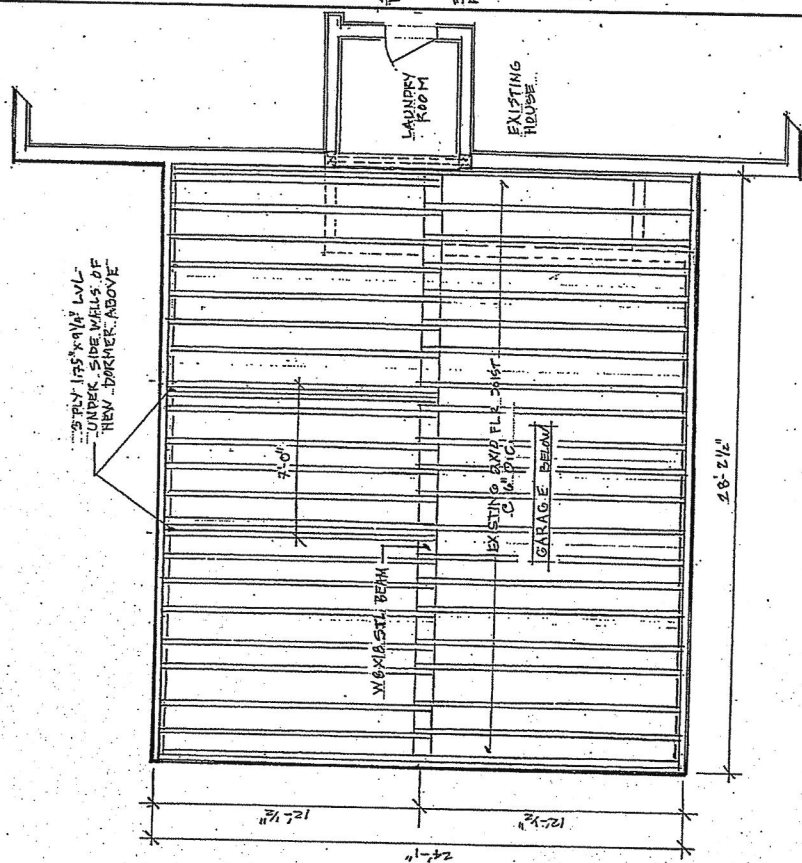
PROPOSED RENOVATIONS for MR. & MRS SCOTT STEWART
2720 WYNNFIELD ROAD, WEST FRIENDSHIP, MD., 21794

2720 WYNFIELD ROAD, WEST FRIENDSHIP, MD., 21794

DATE	02-09-2026
CHECKED	
SCALE	1/4" = 1'-0"
FOR NO.	
SHEET	5



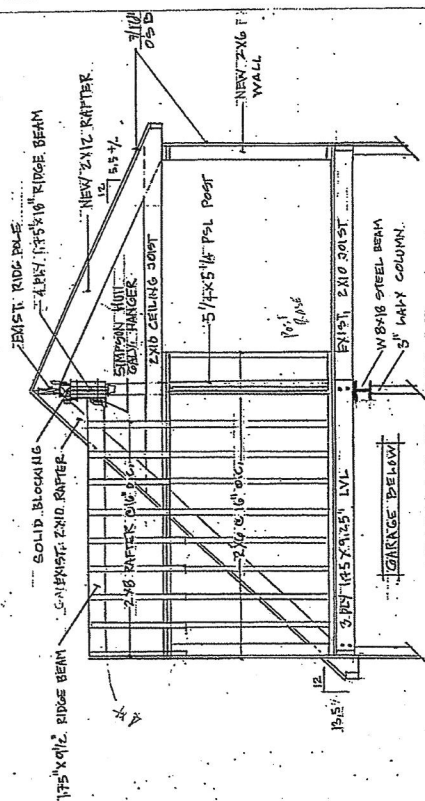
ROOF FRAMING PLAN

$$\frac{d}{dt} = 1' - 0''$$


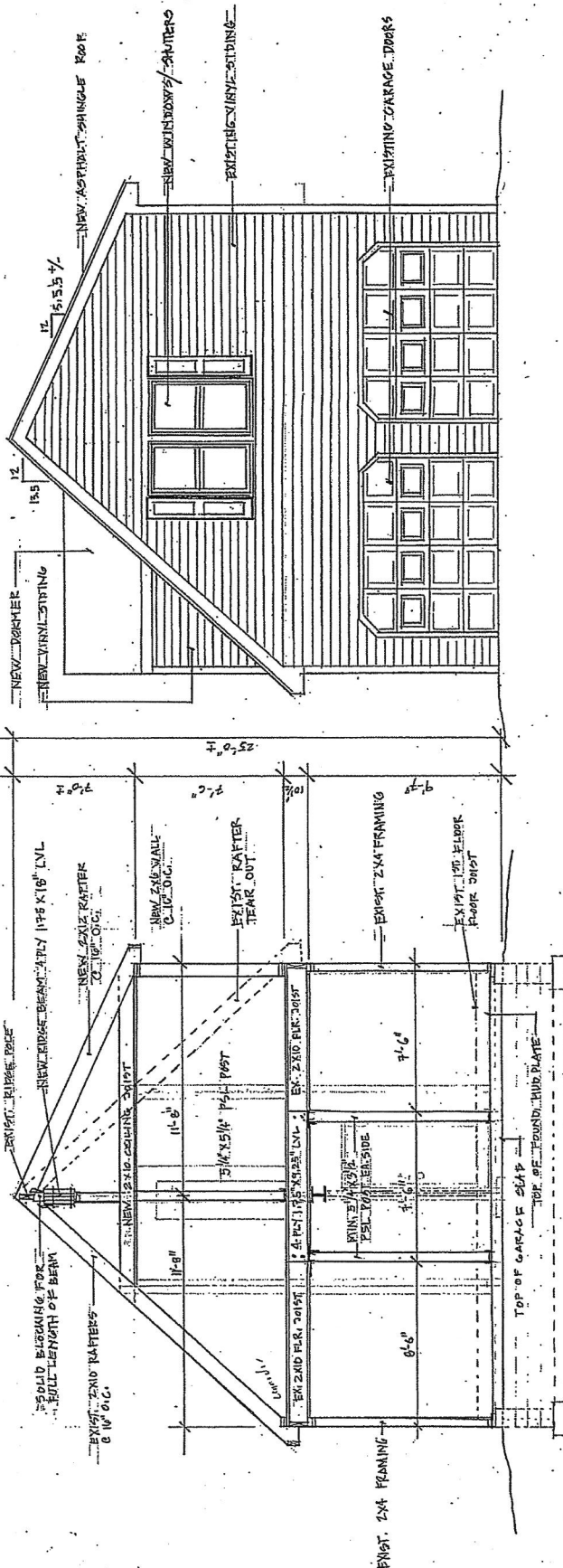
SECOND FLOOR FRAMING PLAN

 $\frac{1}{4} = 1, -0$

CONNECTOR & FASTENER SCHEDULE				LOCATION
CONDITION	CONNECTOR	FASTENER		
NEW RAFTER TO WALL PLATE	SIMPSON H2.6A HURRICANE TIE	10d X 1.5" GALV. NAILS		P.G. 6 SECTION 1
EXISTING RAFTER TO WALL PLATE	SIMPSON H2.6A HURRICANE TIE	10d X 1.5" GALV. NAILS		P.G. 6 SECTION 1
EXISTING RAFTER TO RIDGE BEAM	SIMPSON H2.6A HURRICANE TIE	10d X 1.5" GALV. NAILS		P.G. 6 SECTION 1
NEW RAFTER TO SOLID BLOCKING	SIMPSON H1A HURRICANE TIE	10d X 1.5" GALV. NAILS		P.G. 6 SECTION 1
3.25"X5.25" PSL POST TO RDN'T PLATE	SIMPSON BC ZMAX 4X4 POST BASE	10d X 1.5" GALV. NAILS		P.G. 6 SECTION 1
5.25"X5.25" PSL POST TO RDN'T PLATE	SIMPSON BC ZMAX 6 X6 POST BASE	10d X 1.5" GALV. NAILS		P.G. 6 SECTION 1
PSL POST TOP TO MULTPLY LVL	SIMPSON ABR10S	SD10/212 2.5" SCREWS		TYPICAL
DORMER LVL RIDGE BN TO MAIN RIDGE	SIMPSON HU11 HANGER	10d X 1.5" GALV. NAILS		P.G. 6 DORMER FRAMING DETAIL
DORMER LVL RIDGE BN TO 3" X 3.5" POST	(2) SIMPSON H2.6A	10d X 1.5" GALV. NAILS		P.G. 6 DORMER FRAMING DETAIL
ALL LVL BEAM ENDS OVER BEARING POST		2 EA. 1/2" HEX HEAD THRU BOLTS DIRECTLY OVER PSL POST TOP		TYPICAL
SOLID BLOCKING TO NEW 4 PLY LVL		8" HEADLOK SCREWS @ 12" O.C.		P.G. 6 DORMER FRAMING DETAIL
9.25" MULTI PLY LVL BEAMS		2 ROWS AT 12" O.C. 3.25" NAILS, STAGGER		TYPICAL
18" LVL 4 PLY BEAM		4 ROWS @ 12" O.C. 3.25" NAILS, STAGGER		P. 6 SECTION 1



DORMER FRAMING DETAIL

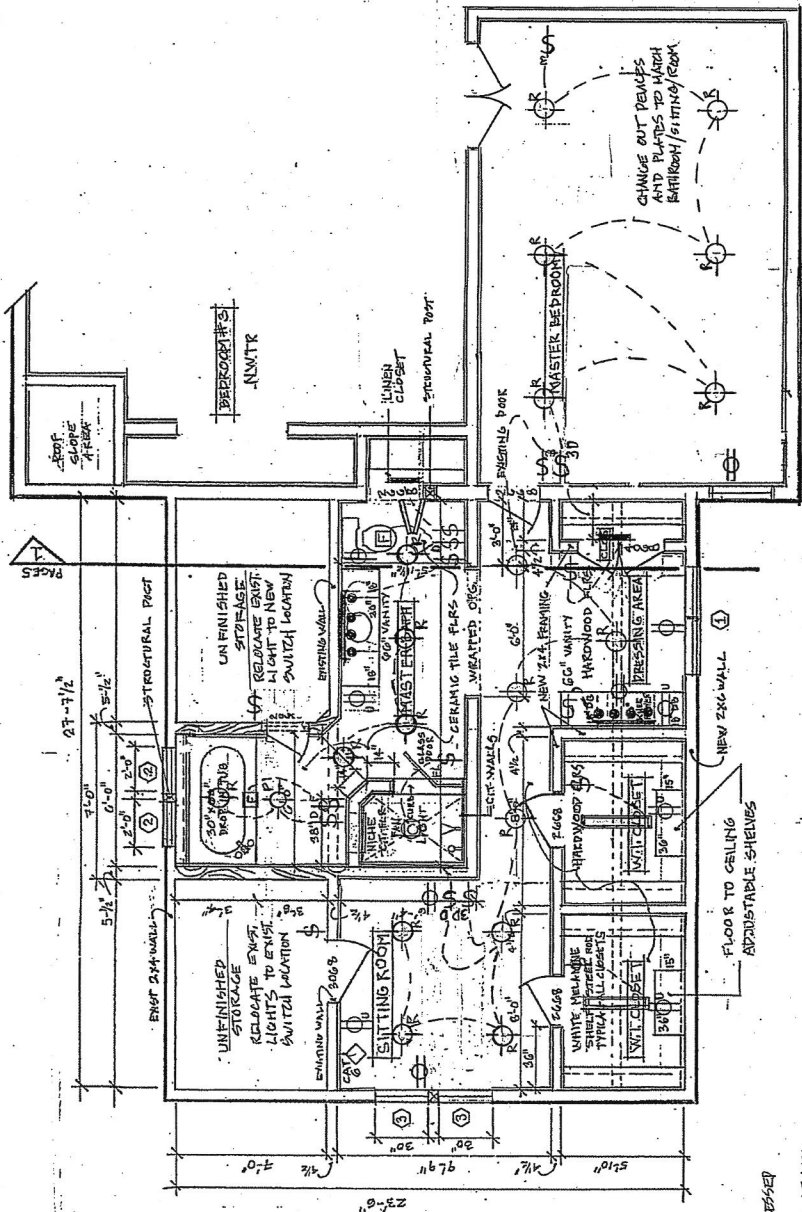


SECTION 1

GARAGE GABLE END ELEVATION



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 24342.
Expiration Date: 11-17-2027.



ELECTRICAL PLAN

1/4" = 1'-0"

NOTE: DUPLEX RECEPTACLE TO CODE WHERE NOT SPECIFICALLY DRAWN