

Approved 3/10/26

-H.O.

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Commercial/Alteration/NA	B25005200	11/19/2025
Description of Work		
MOUNT GREGORY CHURCH/ ALTERATIONS TO BASEMENT LEVEL TO INCLUDE CONVERT KITCHEN TO PANTRY FOR STORAGE OF DRY GOODS, SOME REFRIGERATED ITEMS, CLOSETS FOR COATS, ADD GLIDER CHAIR FOR ADA ACCESS ON STAIRS FROM SANCTUARY TO BASEMENT, MAKE RESTROOM ADA ACCESSIBLE, GENERAL PURPOSE ASSEMBLY SPACE, NEW FINISHES AND LIGHTING, EXISTING OFFICE AND MECHANICAL ROOM TO REMAIN.		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
2325	RT 97	--Select--
Unit Type	Unit #	X Coordinate
--Select--		-77.02076
		Y Coordinate
		39.30767
City	State	Zip Code
COOKSVILLE	MD	21723
	Primary	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
906549	193	0.13	170900	878200	707300	RURAL

Legal Description

IMPS.137 A[]2325 ROUTE 97[]COOKSVILLE

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
		605601	5				
Plan Area	State Tax Id	Subdivision Name					
	1404334108						
Section	Area	Tax Map					
		14					
Grid	Zoning District	ADC Map					
14-11	RC-DEO	4812-G1					
SDP No.	Final Plan No.	WP File No.					
SDP-07-006							
Record Plat No.	WS Contract No.	FDP No.			Primary		
					Yes		
Owner Occupied	Year Built	Historic District					
☐ Yes ☒ No	1898	☐ Yes ☒ No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-06	☐ Yes ☒ No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *
MT GR
Address Line 1
PO BOX 63
Address Line 2
Address Line 3
Mail City
GLENWOOD
Mail State
MD
Mail Zip Code
21738
Phone
410-489-7526
Primary
Yes
E-mail

Cell Number Fax Number

Professionals (This section is not required.)

License # *	Business Name		
21040009325	KNU DESIGN LLC		
License Type *	First Name	Middle Name	Last Name
Architect	SCOTT		KNUDSON
Primary	Address Line 1		
No	20505 TOP RIDGE DRIVE		
	Address Line 2		
	City	State	ZIP Code
	BOYDS	MD	20841-0000
	Phone 1	Phone 2	Fax
	E-mail		
	SCOTT@KNU.DESIGN		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	Scott		Knudson
Relationship	Full Name		
Applicant	Scott Knudson		
Primary	Organization Name		
No			
	Street Address		
	20505 Top Ridge Drive		
	Address Line 2		
	City	State	Zip Code
	Boys	MD	20841
	Phone	Cell	Fax
	240-372-0185		
	E-mail *		
	scott@knu.design		

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Contact	SCOTT		KNUDSON
Relationship	Full Name		
Licensed Professional	SCOTT KNUDSON		
Primary	Organization Name		
Yes	KNU DESIGN LLC		
	Street Address		
	20505 TOP RIDGE DRIVE		
	Address Line 2		
	City	State	Zip Code
	BOYDS	MD	20841 000
	Phone	Cell	Fax
	2403720185		
	E-mail		
	SCOTT@KNU.DESIGN		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
80000	0	0	No
Construction Type			
437 - Additions, Alterations and Conversions - Commercial			

COMMERCIAL ALTERATION

BUILDING INFORMATION

Expedited Review * Capital Project-No Fee * Capital Project Number Fee Exempt * Fee Exempt Group
(Text) -Select-

Revi

Roadside Tree Project Permit ☒ Yes ☐ No		Roadside Tree Project Permit # (Text)		Was Tenant Space previously occupied? ☒ Yes ☐ No		Previous Use A (Text)		Proposed ☒ Yes ☐ No	
Tenant ☐ Yes ☒ No		Shell Permit Number (Text)		Use Group --Select--		Construction Type --Select--			
Mount Gregorgy UMC (Text)									
Minor Alteration ☐ Yes ☒ No		Downtown Tax Square Footage (Number)		State Certified Module ☐ Yes ☒ No		No of Stories (Number)		Height (Number)	
U&O Issued On		U & O Comments				Plan Submittal Electronically by Invitation from Prc			
						Gross Area - Sq Foot Per Floor		SQFT (Numbe	

UTILITY INFORMATION

Water Supply ☐ Private ☒ Private	Sewage Disposal ☐ Private ☒ Private	Utilities ☐ Electric ☒ Electric	Heating System ☐ Electric ☒ Electric	Geothermal ☐ Yes ☒ No	Sprinkler System ☐ None ☒ None	Fire Alarm ☒ Yes ☐ No
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GREEN BUILDING INFORMATION

Goal Level --Select--	Actual Level --Select--	Leed Registration Number (Text)	Date of Leed Certification
--	--	--	---

Submit Cancel

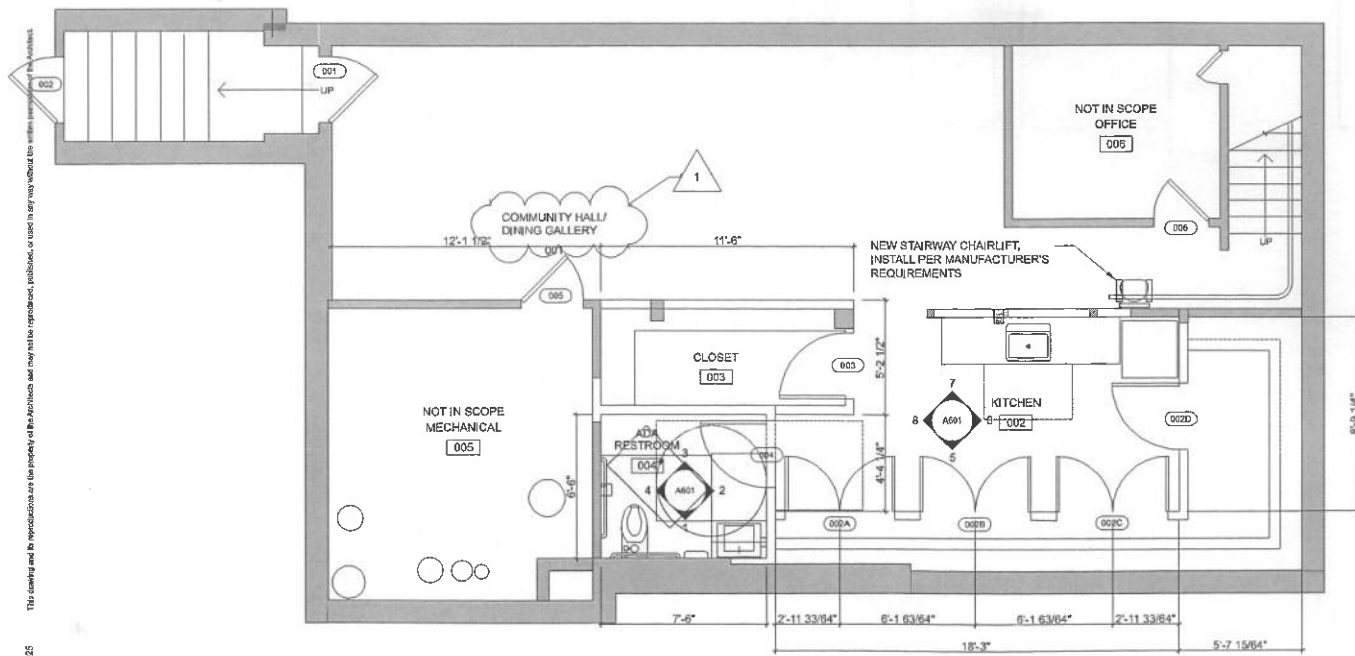
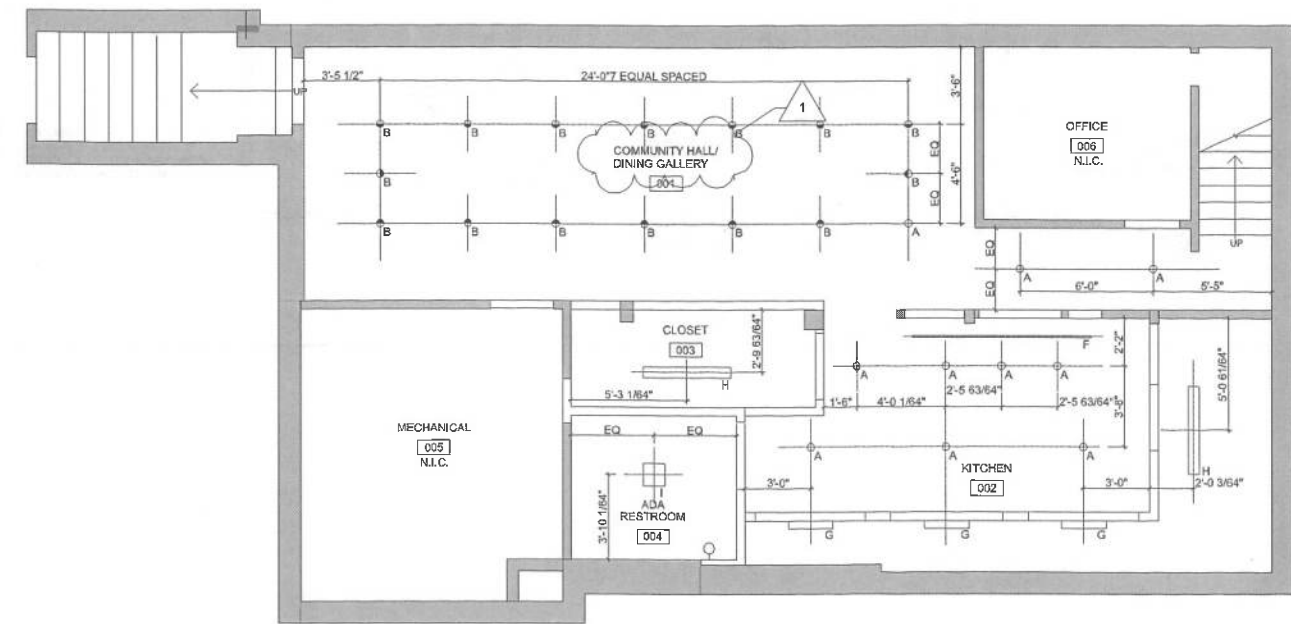
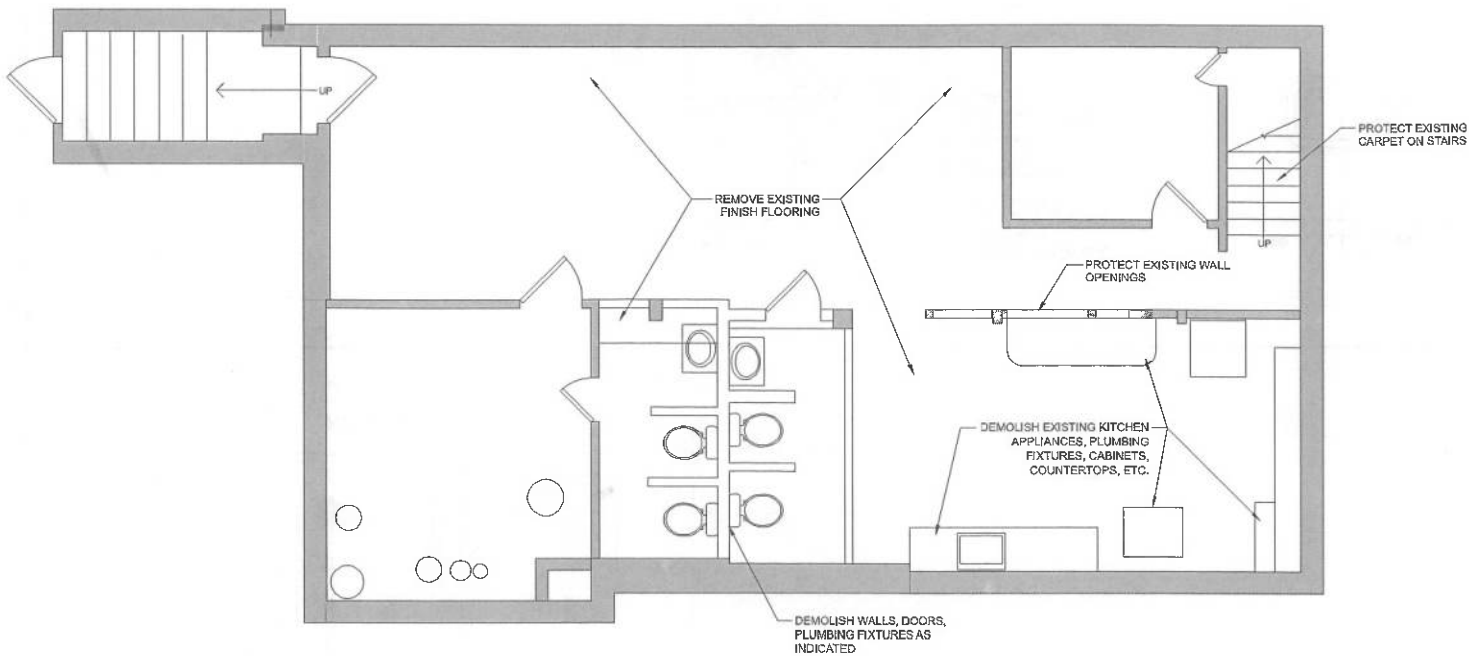
Knu Design, LLC
20505 Top Ridge Dr.
Boyd's, MD 20841
240.372.0185
www.knu.design



November 24, 2025

RE: Tenant Letter

Mount Gregory United Methodist Church will remain the user of the space and there is no change in use proposed. The space will be used for general open space for meetings and gatherings. The existing kitchen will be removed and converted to a pantry, closet space will be enlarged, and an accessible restroom added. Pantry will house non-perishables, minimal refrigerated items, supplies and other items used for gatherings/meetings. Closet will be for coats. The existing office and mechanical room in the basement will remain.



2 NEW BASEMENT FLOOR PLAN
1/4" = 1'-0"

3 NEW BASEMENT REFLECTED CEILING PLAN
1/4" = 1'-0"

DATE: OCTOBER 15, 2025
1 JANUARY, 14, 2026
2 FEBRUARY 13, 2026

MOUNT GREGORY
UNITED METHODIST
CHURCH

BASEMENT
RENOVATION
2325 ROXBURY MLS RD,
COOKSVILLE, MD 21723

JOB #2510

3"x3" BLANK AREA FOR HOWARD
COUNTY DPS APPROVAL STAMP

BASEMENT - DEMO,
NEW FLOOR PLAN
& NEW RCP



DATE: OCTOBER 15, 2025

1 JANUARY, 14, 2026

2 FEBRUARY 13, 2026

MOUNT GREGORY
UNITED METHODIST
CHURCH

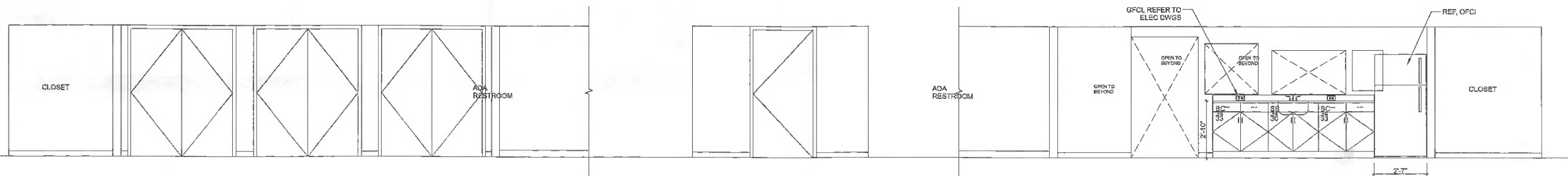
BASEMENT
RENOVATION
2325 ROXBURY MILLS RD,
COOKSVILLE, MD 21723

JOB #2510

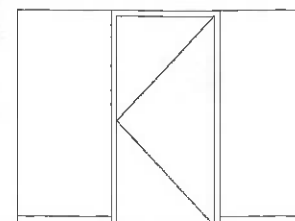
3"x3" BLANK AREA FOR HOWARD
COUNTY DPS APPROVAL STAMP

BASEMENT -
INTERIOR
ELEVATIONS

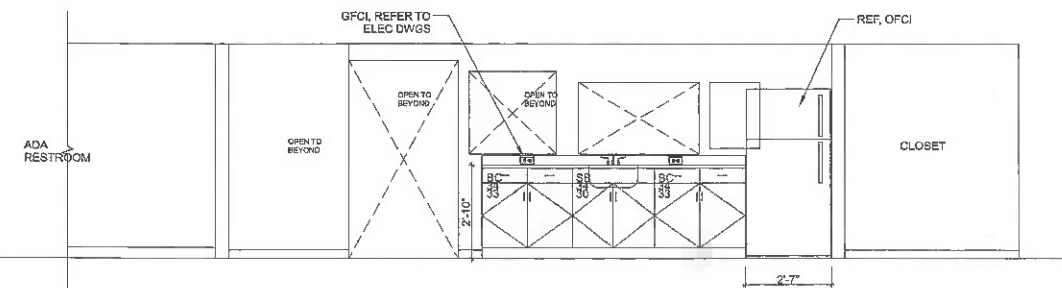
A601



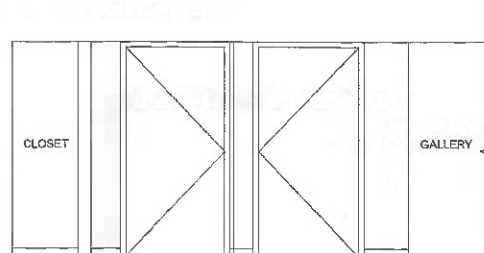
5 KITCHEN
3/8"=1'-0"



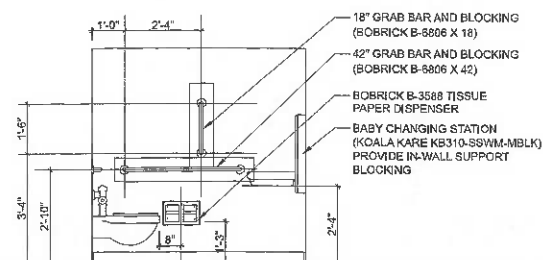
6 KITCHEN
3/8"=1'-0"



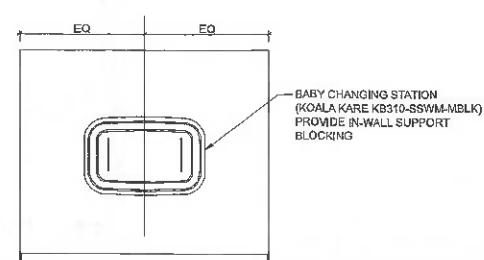
7 KITCHEN
3/8"=1'-0"



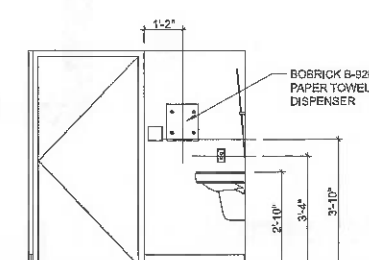
8 KITCHEN
3/8"=1'-0"



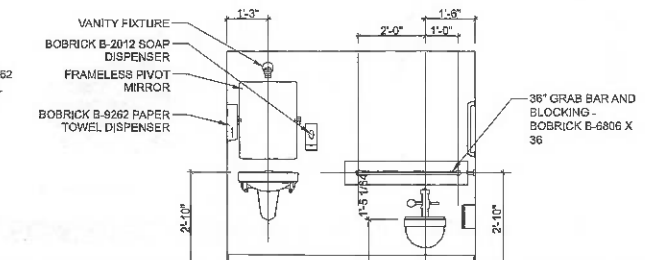
4 ADA RESTROOM
3/8"=1'-0"



3 ADA RESTROOM
3/8"=1'-0"



2 ADA RESTROOM
3/8"=1'-0"



1 ADA RESTROOM
3/8"=1'-0"



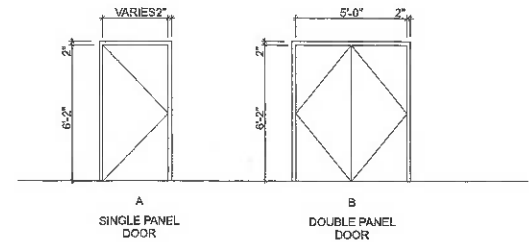
knu design, llc
20505 top ridge drive
boyds, md 20841
(240) 372-0185
www.knu.design

Professional Certification:
I hereby certify that these documents
were prepared or approved by me,
and that I am a duly licensed
professional architect under the laws of
the State of Maryland License No. 9325,
Expiration Date: 12-12-2028

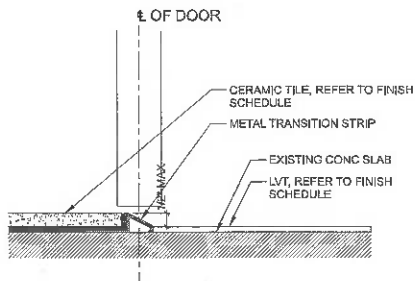


MATERIALS LEGEND					
CODE	ITEM	MFR	MODEL / LINE	COLOR*	REMARK
CT1	CERAMIC TILE - FLOOR	Daltile	Bee Hive	Run-Up Cool Blend P018	Hexagon 24x20
TB	CERAMIC TILE - BASE	Daltile	Volume 1.0	Reverb Ash VL74	6x12 Cove Base shape P36C9
CT2	CERAMIC TILE - WAINSCOT	Daltile	Volume 1.0	Sonic White VL75	6x24, vertical stack bond, with Bullnose 3x12 at exposed edges
LVT	LUXURY VINYL TILE FLOORING	Patcraft	Stratified	Plateau 00750	12x24
CORK	CORK FLOORING	Duro Design	Edipo	Charcoal	
PL1	PLASTIC LAMINATE - CABINETS	Formica		6999 Earthenware Brushstroke	
PL2	PLASTIC LAMINATE - COUNTERS	Formica		8918 Blackened Steel	
PT1	PAINT - CEILING	Benjamin Moore		OC-117 Simply White	
PT2	PAINT - WALL	Benjamin Moore		OC-28 Collingwood	
PT3	PAINT - DOOR, CASING, BASE TRIM	Benjamin Moore		OC-18 Dove Wing	
				*All colors to be confirmed with samples during submittal review process	

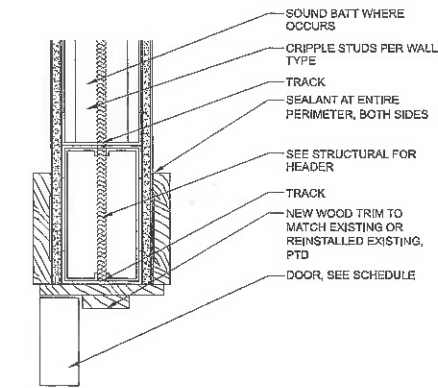
FINISH SCHEDULE						
#	ROOM NAME	FLOOR	BASE	WALLS	CEILING	OTHER
001	GALLERY	CORK	RB	PT2	GWB-PT1	
002	KITCHEN	LVT	RB	PT2	GWB-PT1	
003	CLOSET	LVT	RB	PT2	GWB-PT1	
004	ADA RESTROOM	CT1	TB	CT2,PT2	GWB-PT1	
005	MECHANICAL	-	-	-	-	N/C
006	OFFICE	-	-	-	-	N/C



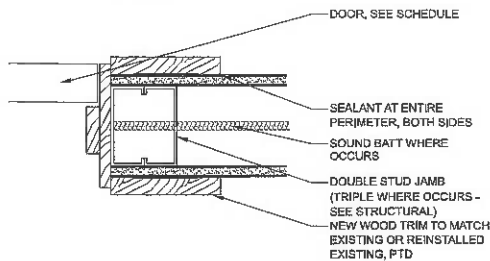
DOOR SCHEDULE														
DOOR #	DOOR						FRAME		DETAILS			HARDWARE SET	LABEL	NOTES
	ELEV	WIDTH	HEIGHT	THK	MATERIAL	FINISH	MATERIAL	FINISH	HEAD	JAMB	SILL			
001	A	-	-	-	-	PNT	-	PNT	-	-	-	-	-	SAND, FILL AND PAINT EXISTING DOOR/FRAME TO REMAIN
002A	B	5'-0"	6'-4"	1-3/4"	SCW	PNT	WD	PNT	2	1	-	-	-	
002B	B	5'-0"	6'-4"	1-3/4"	SCW	PNT	WD	PNT	2	1	-	-	-	
002C	B	5'-0"	6'-4"	1-3/4"	SCW	PNT	WD	PNT	2	1	-	-	-	
002D	A	3'-0"	6'-4"	1-3/4"	SCW	PNT	WD	PNT	2	1	-	-	-	
003	A	3'-0"	6'-4"	1-3/4"	SCW	PNT	WD	PNT	2	1	-	-	-	
004	A	3'-0"	6'-4"	1-3/4"	SCW	PNT	WD	PNT	2	1	3	-	-	DOOR CLOSURE REQUIRED, HARDWARE TO BE ADA COMPLIANT
005	A	-	-	-	-	PNT	-	PNT	-	-	-	-	-	SAND, FILL AND PAINT EXISTING DOOR/FRAME TO REMAIN
006	A	-	-	1-3/4"	-	PNT	-	PNT	-	-	-	-	-	SAND, FILL AND PAINT EXISTING DOOR/FRAME TO REMAIN



3 FLOORING TRANSITION
6" = 1'-0"



2 INTERIOR DOOR HEAD
3" = 1'-0"



1 INTERIOR DOOR JAMB
3" = 1'-0"

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RENOVATION
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JOB #2510

3"x3" BLANK AREA FOR HOWARD
COUNTY DPS APPROVAL STAMP

SCHEDULES &
DETAILS

A-701

GENERAL NOTES

General Notes & Specifications

Division 1 General:

- Contract: An edited version of AIA Document A105-2017 Standard Short Form of Agreement Between Owner and Contractor shall be used for the Owner-Contractor agreement.
- Performance of the Work:
 - Owner shall obtain and pay for building permits.
 - Contractor shall obtain all trade permits and inspections necessary to perform and complete the work. Maintain a record of all inspections and provide to owner and architect.
 - Perform the work in accordance with codes & requirements of the authorities having jurisdiction.
 - Perform all work in a professional and workmanlike manner in compliance with manufacturer's recommendations, installation instructions, and industry standards.
 - The work shall result in a complete and operational building including all of its elements, components, and systems. Provide all options, accessories, hardware, supporting construction, and other materials & devices required for each and every aspect of the building, whether specifically indicated in the contract documents or not.
 - Work shall be free from defects in workmanship and materials. Contractor shall provide one-year warranty commencing on date of substantial completion and/or completion of the subcontracts purchased.
 - Where new work requires existing work, Contractor shall verify existing materials, dimensions, and condition / suitability and compatibility prior to purchase or installation of new work.
 - Other trades: Owner reserves the right to self-perform or hire other contractors to perform other work that is not part of the contractor's scope of work, and to perform that work at any time (with reasonable accommodation of contractor's need to maintain a safe and efficient job site). Other work may include but is not limited to low voltage or security systems, or various repairs. In the event that owner hires others, contractor shall cooperatively coordinate with and enable the work of the owner's other contractors.
 - Warranty: The Work shall be free from defect in materials and workmanship for one year after completion. The Owner shall notify the Contractor in writing of any defects discovered during the warranty period. The Contractor shall promptly correct all failures or defects in the Work which are identified during the warranty period. Should the Contractor fail to do so, promptly, the Owner may take whatever actions it deems necessary to remedy the failure or defect and the Contractor shall promptly reimburse the Owner for any expenses or damages.
- Use of the premises:
 - Contractor may use owner's electricity and water and toilets.
 - Toilets installed as part of the work shall not be used.
 - Remove all trash and debris from the site on a daily basis, or place all debris in dumpsters that are positioned so as not to disrupt owner's use of the premises or be objectionable to neighbors. Do not use dumpsters for any waste that may attract wildlife or pests or create offensive odors.
 - Reconstruct the project site daily.
 - Contractor shall protect existing building elements and grounds during the work and repair or replace any and all items that are damaged or marred due to the performance of the work.
 - Dust control: Seal off all ducts until completion of all dust-producing activities, trial, and maintain dustproof membranes separating the work area from owner-occupied areas. Provide floor protection in upstairs spaces if any worker must access the upstairs areas for any reason; remove the floor protection prior to each weekend.
 - No work shall occur on Sundays.
 - Access to the work area shall be via the rear stairs that lead directly to the exterior, not through the sanctuary.
- Use of these drawings:
 - Drawings are illustrative; all existing conditions shown are approximate. Verify all dimensions, conditions, & precise locations of existing elements in field.
 - Do not scale drawings. If dimensions are ambiguous or missing, ask the architect for clarification.
 - All dimensions are to the face of finish material, unless noted otherwise.
 - New elements graphically illustrated as aligning with or centered on existing elements shall be made to align or be centered whether as noted or not. Where elements are indicated by note or graphics as aligning, finished face shall align; in the case where more than one surface is visible (such as both sides of a wall that is extended), new work shall be performed such all surfaces align, which may involve cutting framing to show or using oversized studs.
 - All questions or discrepancies within documents or between documents and field conditions shall be brought to the attention of the architect prior to construction.
 - The construction documents are to be taken as a whole. Contractor shall coordinate the work of the various trades with the work of other trades. Any errors, omissions, or conflicts found in any part of the construction documents shall be brought to the attention of the architect before proceeding with the work.
- Bidding:
 - Submission of a bid or entering into an Owner-Contractor Agreement is confirmation that these construction documents are sufficiently detailed, coordinated, and inclusive for the Contractor to prepare an accurate bid and to complete the construction.
 - Bids shall include the following information:
 - Base bid amount, including a) direct cost breakdown by major trade and/or CSI division, b) general conditions cost, c) overhead & profit percentage & cost, and d) total cost for the Work shown in the bid documents.
 - Construction-suggested substitutions, value engineering suggestions, or other options, including the associated increase or decrease in cost.
 - Terms and limits of contractor's insurance and surety.
 - Schedule – contractor-proposed overall proposed duration from notice to proceed to substantial completion.
 - Payment terms, including schedule of values on which applications for payment will be based.
 - Construction Process / Administration:
 - Construction process documents (such as RFIs, Application For Payment, Change Order, etc.) shall either use standard AIA templates or be substantially similar in intent & meaning including language, terms, and content.
 - Contractor shall plan their work in such a manner as to allow for reasonable review times by the Architect. Assume responses to RFIs will be provided within 5 working days of receipt, and submit reviews will be completed within 10 working days of receipt.
 - Within 2 weeks of contract execution, submit the names of all key personnel and major subcontractors.
 - Schedule of Values and Applications for Payment: Within 2 weeks of contract execution, submit for Architect's review a schedule of values indicating the value of each line item that will serve as the basis for the Applications for Payment. Provide sufficient detail so that applications for payment can be appropriately determined based on field observations – for example, if materials are anticipated to be installed prior to the labor of their installation, provide separate material and labor breakdowns for that item. Each line item shall represent the direct cost for each subcontractor or supplier. General Contractor's Overhead and Profit and General Conditions shall be separately delineated in the Schedule of Values.
 - No payments will be approved for preparation of submittals or shop drawings unless they are itemized on the Schedule of Values submitted with the bid. No subcontractor Deposits, Mobilization Fees, or Demobilization Fees shall be included nor paid by Owner.
 - Submittal Schedule: Within 2 weeks of Notice To Proceed, provide to Architect a list of product data, shop drawings, warranties, test reports, maintenance data, and other submittals that will be sent to the Architect for review, and also provide an anticipated sequence and schedule of those submittals. At a minimum, submittals shall be made for any part of the Work that (a) typically involves refinement of the design or greater detail by the subcontractor – such as casework, custom glass work, and upholstery – (b) for any product or material that is not sole-source specified in the construction documents, and (c) any item for which substitutions are proposed by the contractor.
 - Submittal Format: Except for material samples, all submittals shall be made electronically, numbered by CSI Division (or other agreed-upon method) and include a cover sheet with contractor's signature indicating their review and coordination of the submittal with other Work and products, and for compliance with the Contract Documents (any contractor's comments & markings shall be easily identifiable on the submittal). Architect's review will be for the limited purpose of checking for general conformance with the design intent expressed in the Contract Documents. Submittal review excludes determining the accuracy or completeness of other information such as dimensions, quantities, or construction means, methods, techniques, sequences, or procedures.
 - Substitutions & Changes: If any cost saving measures or alternative products are identified by any party after issuance of bidding documents, they shall only be implemented as part of the Work if they are a) specifically identified and fully described in an addendum that forms part of the Contract Documents or b) are delineated in a clear and precise contractor clarification which is made part of the Owner-Contractor Agreement, or c) is a documented change during the construction process via an Architect's Supplemental Instruction, response to a Request For Information, or a Change Order – otherwise, the Work indicated on the Contract Documents shall prevail. No intentions or interpretations by the contractor or subcontractors shall be considered as a basis for performing the Work or providing materials that in any way deviate from the contract.
 - Change Orders: Proposed Change Orders shall include itemized line item breakdowns indicating material and on-site labor costs & credits (with work hours, hourly rates, and material supplier quotes) for each item. No efforts of office, management, or supervisory staff shall be included; direct costs shall be marked up by a fixed percentage for overhead + profit (said percentage shall be submitted with contractor's bid and documented in Owner-Contractor Agreement). Proposed change orders are for review only and will not be signed by architect or Owner. Change Orders

will take effect when signed by Owner, Contractor, and Architect. Payment terms and process for Change Order work shall be the same as for base contract work, including retention.

- Payment Applications: Contractor shall submit Applications for Payment on a monthly basis. Contractor shall provide detailed justification or explanation of Application for Payment amounts as may reasonably be requested by Owner or Architect. Payments shall be made by Owner based on Architect's approval of Contractor's Application For Payment. Retained 10% shall be applied to all Payments through 50% of project completion, after which retention may be lowered to 5%. Payments and applications shall include only:
 - Materials delivered to and properly secured on site. No off-site stored materials shall be paid.
 - Completed labor to create Work in Place (including materials, labor, & equipment associated with mobilization and general conditions).
 - Overhead, Profit, and General Conditions. Each shall be set at the overall percentage completion of stored materials and Work in Place.

Division 5 Wood and Carpentry

- Framing: All wood in contact with concrete or masonry, on roof, or on building exterior shall be pressure-treated.
- Blocking: Provide solid wood blocking, whether indicated or not, for attachment of all wall-mounted hardware, toilet accessories, casework, millwork, etc., as may be required for the secure attachment of the Work.
- Studs: Stud walls shall have 2 continuous top plates. Any options shall be located directly above studs and staggered 4" minimum. Wall studs shall be solid and continuous from bottom to top plate, and shall not be cut for straightening – warped studs shall be replaced. Provide double studs at all corners, openings, and beam bearing points.

Division 7 Thermal and Moisture Protection

- Sealant: provide joint sealant at all joints at exterior building envelope and at interior joints between dissimilar materials (including but not limited to casework-to-gb, counter or backsplash-to-gb, plumbing fixtures to tile, counter-to-countertop, trim-to-wall or floor, etc.

Division 8 Doors and Hardware

- Interior doors: Solid core flush paint grade.
- Hardware: see schedule.
 - Interior Door hardware shall be Grade 2 Commercial.
 - All hardware and locksets shall be lever style.

Division 9 Finishes

- Provides businesses around all pipes, ducts, and other elements that are not installed within walls & ceilings, whether indicated or not in architectural drawings. Review any proposed bulkheads not shown on the drawings with the architect prior to performing the work. Architect may require removal and reworking of unapproved bulkheads.
- Provide access doors in walls and ceilings as required for mechanical, plumbing, and electrical equipments, whether or not indicated in architectural drawings. All access panels shall be made-in fire-rated and flush with adjacent surfaces. Where walls & ceilings are noted, access panels shall also be noted. Review any proposed access panel locations with architect prior to performing the work that requires the access panel; architect may require removal and relocation of work associated with unapproved access panels.
- Paint shall be made except use eggshell in bathrooms. Provide primer and 2 finish coats. The great shall be spray.
- Gypsum Wallboard:
 - Provide Level 4 finish at all gypsum wallboard surfaces unless noted otherwise.
 - Gypsum wall board in all bathrooms and within 4' of sinks shall be papetase moisture-resistant wallboard with Level 5 full-skin finish.
 - Provide cementitious tile backerboard in lieu of gypsum wallboard at all locations indicated to receive wall tile.
 - At straight and continuous gypsum wallboard surfaces, stagger vertical joints to avoid visible variations in flatness of drywall surface. provide control joints at 30' or center maximum. Submit proposed control joint locations to Architect for approval prior to installation.

Division 12 Casework

- All cabinets shall be full-overlay doors. Provide soft-close hinges.
- Casework shall be fabricated and finished to meet the Architectural Woodwork Institute's Standards for Custom Grade. All cabinet and casework shall be shop-fabricated and finished, not field-finished. Install in-wall blocking to support guide rail (remove and rehang if replace wall finishes as required).

Division 14 Vertical Transportation

- New pair chair lift: Braxton GRE-2110 Ergo Curve or equal, 400 pound capacity. Provide larger seat and larger footrest (folding). Provide swivel seat at top landing and power folding footrest. Include call-hand controls, keyed control on chair, and commercial package with overspeed safety brake. Field verify all dimensions and submit shop drawings.

Division 15 HVAC

- See mechanical drawings for additional notes and requirements.
- Install all ducts, piping, and wires within walls and ceilings and within the insulated envelope. Bulkheads shall be minimized and, if any other than those shown on the construction drawings are required or suggested, shall be reviewed with Architect prior to construction.
- Ducts shall be made of rigid material except that flex duct may be used for up to 4' length at ends of runs where necessary.
- All new and all accessible existing supply ducts shall be sealed with mastic for efficiency and insulated to minimize risk of condensation in concealed areas and increase efficiency. During construction, seal off all ducts until completion of all dust-producing activities.
- Seal and caulk all registers/duct penetrations to adjacent drywall.
- Submit proposed duct layout plan (with duct sizes) highlighting any required shafts or bulkheads to architect for review prior to fabrication or installation.
- Perform duct leakage test prior to installing drywall. Leakage shall be less than 4.0 cfm per 100 sf.

Division 16 Plumbing

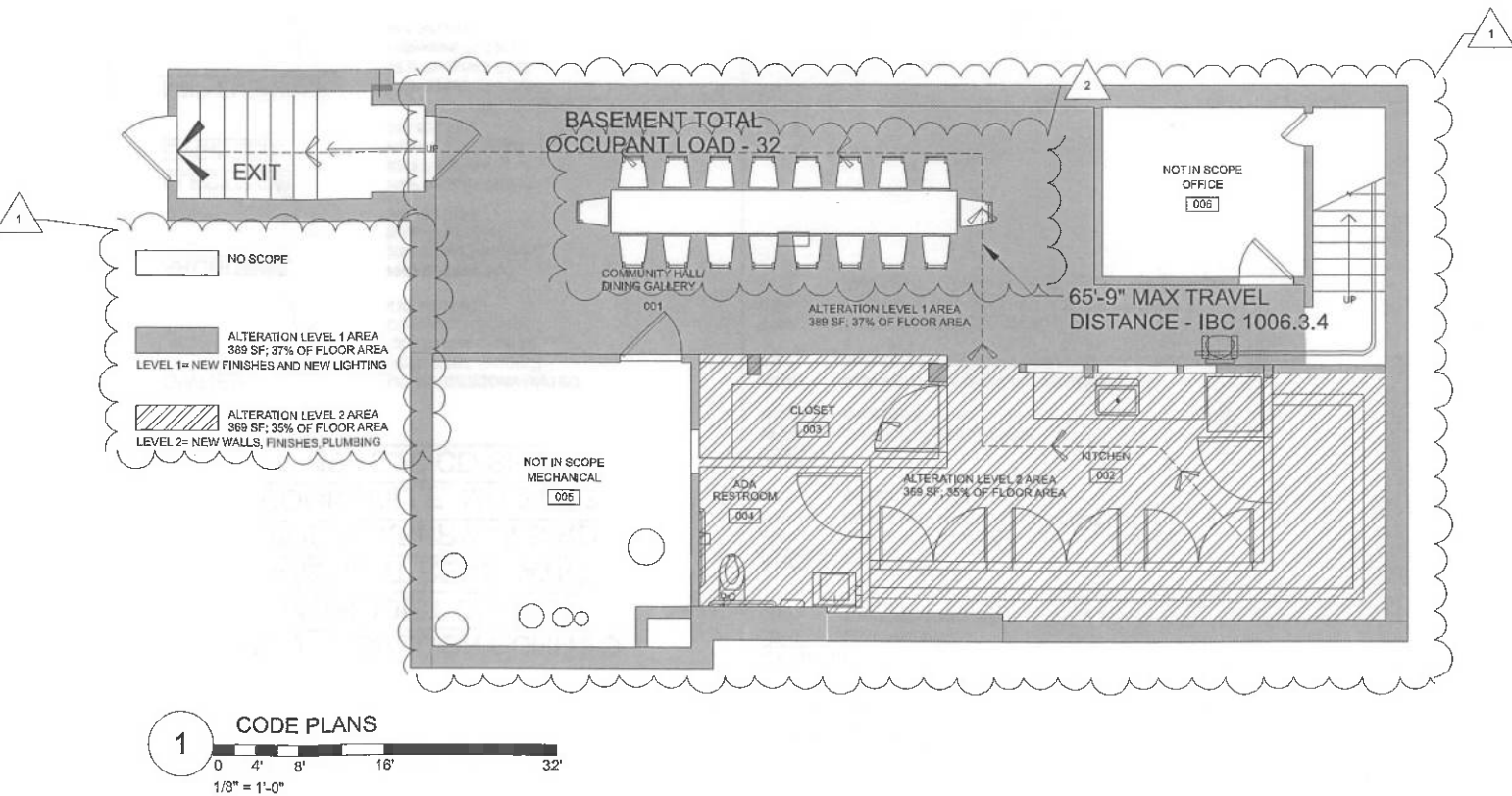
- See plumbing drawings for additional notes and requirements.
- Install all pipes within walls and ceilings. Bulkheads shall be minimized and, if any other than those shown on the construction drawings are required or suggested, shall be reviewed with Architect prior to construction.
- Adjust controls so hot water temperature at faucets does not exceed 120 degrees.

Division 17 Electrical

- See electrical drawings for additional notes and requirements.
- If the drawings show existing devices to be relocated, provide new wiring if existing wiring is not of sufficient length.
- Electrical dimmer switches specified, if any, are design-intent only. Contractor shall coordinate actual selection of wiring and dimmer switches to be compatible with the light fixture manufacturer and submit for review by the Architect. Dimmer switches selected shall be those that offer the lowest dimming range of all options tested by the manufacturer.
- At exterior walls and ceilings, device boxes shall be airtight.

Mount Gregory UMC Basement CODE ANALYSIS

REQUIREMENT / DESCRIPTION	CODE REF	CRITERIA	COMPLIANCE / COMMENT
APPLICABLE CODES			
2024 ICC Building Code	IBC		
2024 ICC Mechanical Code	IMC		
2024 ICC Plumbing Code	IPC		
2024 ICC Existing Building Code	IEBC		
2024 ICC Energy Conservation Code	IECC		
COMAR 09.12.53, ADAAG	ADA		
PROJECT SCOPE OF WORK SUMMARY			
Project consists of the limited renovation of portions of existing church basement. No change in use is proposed: functions include a general open space for meetings and gathering, a pantry, and storage. The existing office and mechanical room in the basement are to remain and are not part of the work. The work includes: - Add a glider chair to facilitate access to the basement from the upstairs sanctuary. - Removal existing noncompliant toilets and create an accessible restroom. - Reconfigure the pantry to create more closet space. - New lighting and finishes.			
BASIC CHARACTERISTICS			
USE GROUP	IBC 303.4	A-3 community hall, place of religious worship	
CONSTRUCTION TYPE	IBC 602.5	Type V	
FIRE SUPPRESSION		Existing Non-Sprinklered	
CLASSIFICATION OF WORK	IEBC 602, 603	No Scope: Mechanical 005 & Office 006	Full Basement Area: 1050 SF
		Alteration Level 1: Community Hall/Dining Gallery 001	Alteration Level 1: 389 SF= 37% of Area
		Alteration Level 2: Pantry 002, Closet 003, Restroom 004	Alteration Level 2: 369 SF= 35% of Area
MEANS OF EGRESS			
OCCUPANT LOAD	IBC Table 1004.5	32 persons	Open Area: 350sf/15 = 23.3 persons Pantry: 113/15 = 7.5 Office: 73 / 150 = 0.5 Closet: 49 / 300 = 0.2



DATE: OCTOBER 15, 2025

1 JANUARY, 14, 2026

2 FEBRUARY 13, 2026

MOUNT GREGORY
UNITED METHODIST
CHURCH

BASEMENT
RENOVATION
2325 ROXBURY MLS RD,
COOKSVILLE, MD 21723

JOB #2510

3"x3" BLANK AREA FOR HOWARD
COUNTY DPS APPROVAL STAMP

GENERAL NOTES

G002

SYMBOLS

	IN ELEVATION BATT INSULATION
	BRICK (BRK)
	CONCRETE (CONC)
	CONCRETE MASONRY UNIT (CMU)
	EARTH
	GLASS (GL)
	GRAVEL
	PLYWOOD (PLY)
	RIGID INSULATION (INSUL)
	WOOD, ROUGH FRAMING (WD)
	WOOD, FINISHED (WD)
	EXISTING PARTITION TO BE DEMOLISHED
	EXISTING PARTITION TO REMAIN
	NEW PARTITION

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
A.P.	ACCESS PANEL
BR.	BRICK
CL.	CENTER LINE
C.J.	CONTROL JOINT
CONC.	CONCRETE
DIV.	DIVISION
CL.	CLOSET
CL.C.	CLEARANCE
CLING.	CEILING
C.M.U.	CONCRETE MASONRY UNIT
DIA.	DIAMETER
DI.M.	DIMENSION
DN.	DOWN
DW.	DISHWASHER
EA.	EACH
EQ.	EQUAL
E.W.	EACH WAY
EX.	EXISTING
EXT.	EXTERIOR
FIN.	FINISH (ED)
FLR.	FLOOR
FT.	FEET
GL.	GLASS
GR.	GRADE
G.W.B.	GYPSUM WALL BOARD
H.C.	HOLLOW CORE
H.D.	HISTORIC DISTRICT
HM.	HOLLOW METAL
INS., INSUL.	INSULATION
INT.	INTERIOR
MAX.	MAXIMUM
MAS.	MASONRY
MECH.	MECHANICAL
MISC.	MISCELLANEOUS
MIN.	MINIMUM
MTL.	METAL
M.O.	MASONRY OPENING
MLW.	MILLWORK
N/A.	NOT APPLICABLE
N/R.	NOT REQUIRED
N.I.C.	NOT IN CONTRACT
PR.	PAIR
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.P.C.	OWNER PROVIDED CONTRACTOR INSTALLED
P.L.	PROPERTY LINE
P.W.D.	PLYWOOD
P.T.	PRESSURE TREATED
PT. / PTD.	PAINT / PAINTED
R.C.P.	REFLECTED CEILING PLAN
RE.	REFER TO
REF.	REFRIGERATOR
R.O.	ROUGH OPENING
SCW.	SOLID CORE WOOD
S.D.	SMOKE DETECTOR
S.DCM.	SMOKE/CARBON DETECTOR
S.F.	SQUARE FEET
T.O.	TOP OF
T+G.	TONGUE AND GROOVE
T.O.F.	TOP OF FINISH
U.S.	UNDERSIDE
UNO, UNON.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
WD.	WOOD
WD.	WASHER/DRYER
W.W.F.	WELDED WIRE FABRIC

MOUNT GREGORY UNITED
METHODIST CHURCH
BASEMENT RENOVATION
2325 ROXBURY MLS RD
COOKSVILLE, MD 21723
10.15.25 CD SET

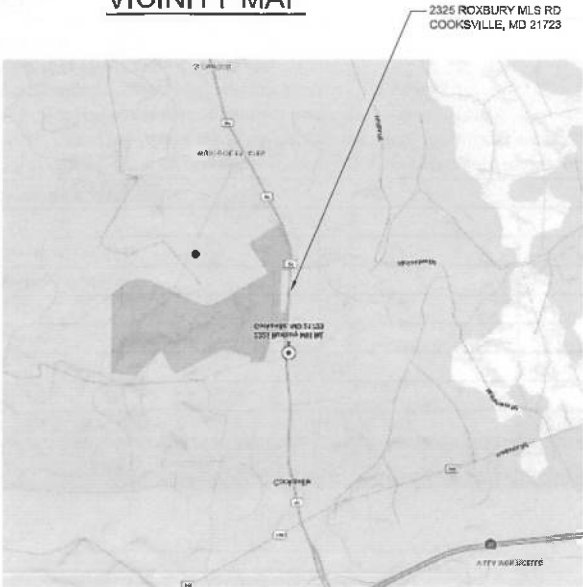
OWNER: MOUNT GREGORY UNITED
METHODIST CHURCH
2325 Roxbury MLS Rd
Cooksville, MD 21723
410.489.7526

ARCHITECT: KNU DESIGN, LLC
20505 Top Ridge Road
Boyd's, MD 20841
240.372.0185

ELECTRICAL
ENGINEER: MEP DESIGN GROUP
5211 Pembroke Road
Hollywood, FL 33021
954.505.7411

MEP ENGINEER: MEP DESIGN GROUP
5211 Pembroke Road
Hollywood, FL 33021
954.505.7411

VICINITY MAP



SHEET INDEX

SHEET # SHEET TITLE

GENERAL

G001	COVER SHEET
G002	GENERAL NOTES, CODE ANALYSIS & PARTITION TYPES

ARCHITECTURAL

A101	BASEMENT - DEMO, NEW FLOOR PLAN, NEW RCP
A601	BASEMENT - INTERIOR ELEVATIONS
A701	SCHEDULES & DETAILS

MEP

MP100	SPECS, NOTES & LEGEND
M100	BASEMENT - PLAN, RISERS DIAGRAMS, & SCHEDULES
PD100	BASEMENT - PLUMBING DEMOLITION PLAN
P100	BASEMENT - PLAN, RISER DIAGRAMS, & SCHEDULES
E100	SPECS, NOTES & LEGENDS
E101	BASEMENT - LTG & POWER DEMOLITION PLAN
E102	BASEMENT - LTG, POWER & RISER DIAGRAM

knu
design

knu design, llc
20505 top ridge drive
boyds, md 20841
(240) 372-0185
www.knu.design

Professional Certification:
I hereby certify that these documents
were prepared or approved by me,
and that I am a duly licensed
professional architect under the laws of
the State of Maryland License No. 9325,
Expiration Date: 12-12-2025



DATE: OCTOBER 15, 2025

- 1 JANUARY, 14, 2026
- 2 FEBRUARY 13, 2026

MOUNT GREGORY
UNITED METHODIST
CHURCH

BASEMENT
RENOVATION
2325 ROXBURY MLS RD,
COOKSVILLE, MD 21723

JOB #2510

3"x3" BLANK AREA FOR HOWARD
COUNTY DPS APPROVAL STAMP

COVER SHEET

G001

GENERAL NOTES

- [illegible]

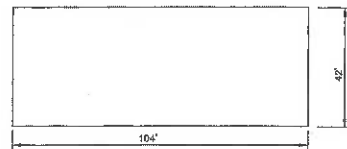
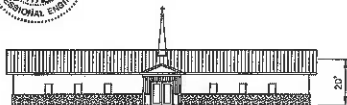
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	MISCELLANEOUS DETAILS
4	EROSION & SEDIMENT CONTROL NOTES AND DETAILS

ADDRESS CHART	
LOT/PARCEL NO.	STREET ADDRESS
PARCEL 150 - GRID 5 & PARCEL 193 - GRID 11	2335 ROUTE 97

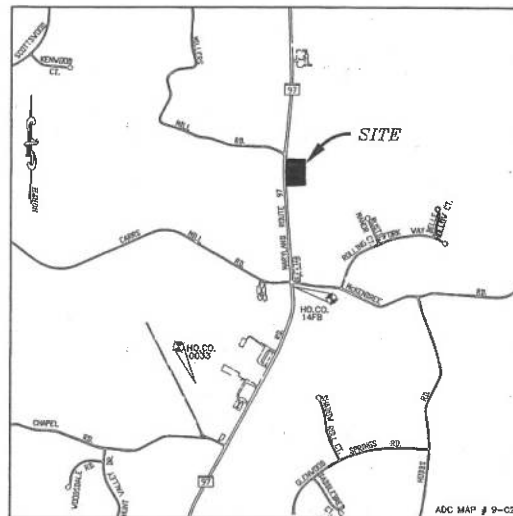
PERMIT INFORMATION BLOCK						
SOP NAME MT. GORDON UNITED METHODIST CHURCH			SECTION/AREA		PARCEL: 130 GRD 5 PARCEL: 163 GRD 11	
PLAY NO. N/A	BLOCK(S) 5 & 11	ZONING RC-GRD	TAX MAP NO. 14	ELECTION DISTRICT 4TH	CENSUS TRACT 604022	
WATER CODE PRIVATE			SEWER CODE PRIVATE			

MOUNT GREGORY UNITED METHODIST CHURCH
2333 MARYLAND ROUTE 97
COOKSVILLE, MARYLAND, 21723

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND, LICENSE NO.:17942
EXPIRATION DATE:09/03/2010



FOOTPRINT



VICINITY MAP

SCALE: 1"=1000'

MAILING ADDRESS: P.O. BOX 63, GLENWOOD, MARYLAND 21738
TAX MAP 14, PARCEL 130, GRID 5 & PARCEL 193, GRID 11

NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL SHALL BE PROVIDED ON THIS SITE PLAN. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (18 SHADE TREES, 8 EVERGREEN, 102 SHRUBS) IN THE AMOUNT OF \$80,000.00 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR SDP-07-006.

PARKING LOT INTERIOR TREE CALCULATION

NUMBER OF PARKING SPACES = 19
(1 BLAND / 30 PARKING SPACES)
ISLANDS PROVIDED = 5
SHADE TREES REQUIRED = 5
SHADE TREES PROVIDED = 5

LANDSCAPE REQUIREMENT PLANTING SCHEDULE

QUANTITY	SPECIES	BIOMASS	SIZE
18	AGER BURNING RED BARKET	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
8	PAVIA TROPICUS	EASTERN WHITE PINE	6" - 8" HT.
102	CORNUS STOLONIFERA	RED-ORCHER DOGWOOD	2 1/2" - 3" HT.

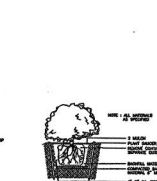
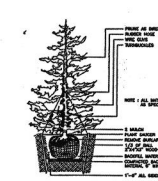
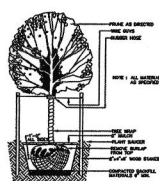
SOILS CLASSIFICATION

SOIL TYPE: CHESTER GRAVELLY SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED

SCHEDULE A: PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	TOTAL
LINEAR FEET OF PERIMETER	428 LF	332 LF	488 LF	341 LF	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 20 LF OF EXISTING TREES	YES, 332 LF OF EXISTING TREES	YES, 332 LF OF EXISTING TREES	YES, 341 LF OF EXISTING TREES	
CREDIT FOR WALL, FENCE, OR BURN (YES, NO, LINEAR FEET)	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED	10 SHADE TREES 8 EVERGREEN TREES 102 SHRUBS	1 SHADE TREE 0 EVERGREEN TREES 0 SHRUBS	4 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	10 SHADE TREES 8 EVERGREEN TREES 102 SHRUBS
CREDIT FOR EXISTING VEGETATION	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	1 SHADE TREE 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	3 SHADE TREES
NUMBER OF PLANTS PROVIDED	10 SHADE TREES 8 EVERGREEN TREES 102 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	13 SHADE TREES 8 EVERGREEN TREES 102 SHRUBS

* PERIMETER 2: CREDIT HAS BEEN TAKEN FOR 2 EXISTING SHADE TREES TO SATISFY THE REQUIRED 2 EVERGREENS.
* PERIMETER 3: CREDIT HAS BEEN TAKEN FOR 1 EXISTING SHADE TREE TO SATISFY THE REQUIRED 4 SHADE TREES.



TYPICAL DECIDUOUS TREE PLANTING DETAIL TYPICAL EVERGREEN TREE PLANTING DETAIL TYPICAL SHRUB PLANTING DETAIL

DEVELOPER'S/OWNER'S CERTIFICATE

I, Philip E. Tyus, DATE 9/15/09
NAME DATE
I HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE.
A LETTER OF NOTICE OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN ASSURED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

ENGINEER'S CERTIFICATE
I, Philip E. Tyus, DATE 9/15/09
NAME DATE
I HEREBY CERTIFY THAT THE DESIGN FOR SEWERAGE AND SEWERAGE CONSTRUCTION, REPRESENTED BY THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, IS IN ACCORDANCE WITH THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

DEVELOPER'S CERTIFICATE
I, Philip E. Tyus, DATE 9/15/09
NAME DATE
I HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE 11/10/09
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE 11/10/09
THRESHOLD

APPROVED: FOR PLUMB, WATER AND SEWERAGE SYSTEM
DATE 11/10/09
HONORARY COUNTY HEALTH DEPARTMENT



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942 EXPIRATION DATE: 09/01/2010

SOILS CLASSIFICATION

SOIL TYPE: CHESTER GRAVELLY SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED

SEPTIC DESIGN

DESCRIPTION OF CHURCH'S ACTIVITIES:

SUMMER VACATION BIBLE STUDY	1000 GPD
MINISTRY AND CLUB MEETINGS	90 GPD
HALL EVENTS	300 GPD
TOTAL	1390 GPD

ALTERNATIVE ACTIVITIES:

BANQUET (175 SEATS MAX.)	1,000 GPD
(FUNERALS, WEDDINGS, ETC.)	

EASEMENT AREA = 20,742 SQ. FT.

AVERAGE DAILY FLOW =
(1390 GALLONS PER DAY) / (3) * (0.8)
= 370 LF. OF TRENCH REQUIRED
380 LF. OF TRENCH PROVIDED

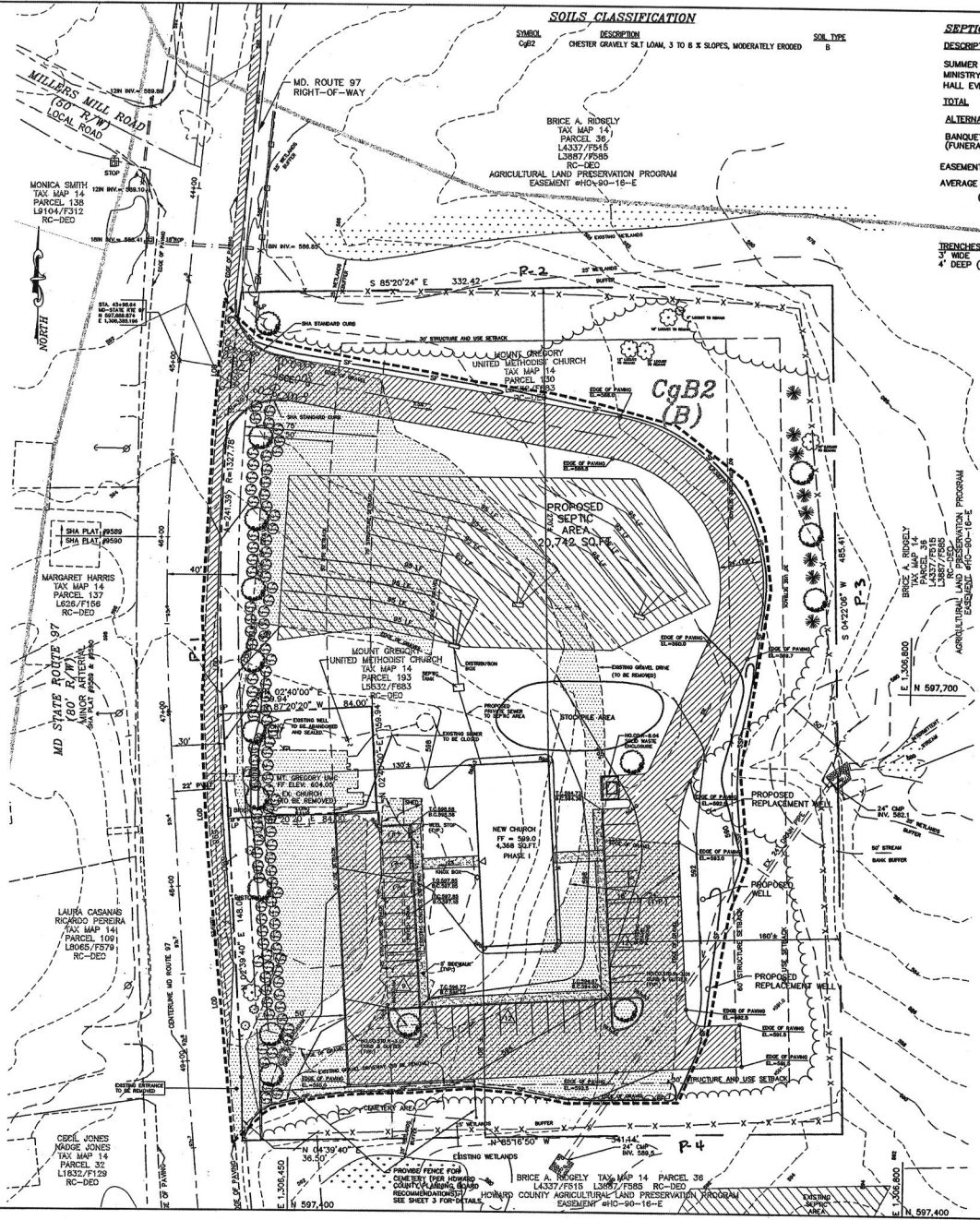
TRENCHES
4" DEEP (STONE) WITH 2' OF COVER

PRIVATE SEWER DATA

FIRST FLOOR EL.	= 599.00
INV. OUT OF HOUSE	= 594.55
INV. IN SEPTIC TANK	= 593.75
INV. OUT OF SEPTIC TANK	= 593.50
EXIST. EL. AT SEPTIC TANK	= 596.50
PROP. EL. AT SEPTIC TANK	= 596.30
INV. IN DIST. BOX	= 593.00
EXIST. EL. AT DIST. BOX	= 595.00

NOTE:

SILT FENCE ALONG THE EASTERN L.O.D. IS TO BE REPLACED WITH SUPER SILT FENCE IN THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.



- LEGEND**
- 30" DRAIN LINE
 - USE RESTRICTION LINE
 - LIGHT POLE
 - PROPOSED SEPTIC AREA
 - EXISTING WETLANDS
 - EXISTING IMPERVIOUS PARKING AND DRIVEWAY
 - PROPOSED PARKING
 - EXISTING SHADE TREE
 - EXISTING EVERGREEN
 - PROPOSED EVERGREEN
 - PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - MAIN ENTRANCE TO THE CHURCH

OWNER / DEVELOPER

MOUNT GREGORY UNITED METHODIST CHURCH
2325 MARYLAND ROUTE 87
COOKVILLE MARYLAND, 21723

MT. GREGORY UNITED METHODIST CHURCH (PHASE 1)
TAX MAP 14 PARCEL 130 GRID 5 & PARCEL 132 GRID 11
FORTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SITE DEVELOPMENT PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5077 Derry Rd. Suite 202, Ellicott City, Maryland 21045
(410) 297-0200 Fax