

Record Detail (This section is required.)

Approved
4/10/15 MNE

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B25000332	01/26/2025

Description of Work
SFD/ CONSTRUCT 24'W x 20'D (1) STORY SUNROOM addition/, 1 STORY, Crawl Space, 1R, 0FB, 0HB, 0FP,
OTHER STRUCTURE = None, 0BR, PORCH/DECK = N/A, ENERGY METHOD = Prescriptive Method,

[check spelling](#)

Address (This section is required.)

Online BP.

2/2/10/25

Search	Reset	Clear	Get Parcel & Owner
Street #	Street Name	Street Type	
2710	JENNINGS CHAPEL	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-77.10477	39.29289
City	State	Zip Code	Primary
WOODBINE	MD	21797	Yes

Parcel (This section is required.)

Search	Reset	Clear	Get Address & Owner			
GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
926351	292	1	212500	539900	259900	RURAL
Legal Description						
LOT 2 1.000 A [] 2710 JENNINGS CHAPEL RD [] ASBURY PROPERTY						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	2	605601	5				
Plan Area	State Tax Id	Subdivision Name					
	1404374371	Asbury Property					
Section	Area	Tax Map					
		13					
Grid	Zoning District	ADC Map					
13-15	RC-DEO	4811-D4					
SDP No.	Final Plan No.	WP File No.					
	F-06-103						
Record Plat No.	WS Contract No.	FDP No.			Primary		
20028-2003					Yes		
Owner Occupied	Year Built	Historic District					
☐ Yes ☐ No	2010	☐ Yes ☒ No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-07	☐ Yes ☒ No					
Building No							

Owner (This section is not required.)

Search	Reset	Clear
Name *		
MOST		
Address Line 1		
2710 JENNINGS CHAPEL RD		
Address Line 2		
Address Line 3		
Mail City		
WOODBINE		
Mail State		
MD		
Mail Zip Code		
21797		
Phone		
240-475-7870		
Primary		
Yes		
E-mail		

MOSTDAVID@HOTMAIL.COM

Cell Number

Fax Number

Professionals (This section is not required.)

License # *	Business Name			
08010099528	BERARDUCCI CONTRACTING			
License Type *	First Name	Middle Name	Last Name	
MHIC Ind	✓ CHRISTOPHER		BERARDUCCI	
Primary	Address Line 1			
Yes	✓ 1508 ABELL DRIVE			
	Address Line 2			
	City		State	ZIP Code
	WESTMINSTER		MD	21157
	Phone 1	Phone 2	Fax	
	4437979409			
	E-mail			
	CFUCO1@HOTMAIL.COM			

Applicant (This section is not required.)

Search	As Owner	As Lic. Prof	As Contact
Type *	First Name	MI	Last Name
Applicant	✓ CHRIS	M	BERARDUCCI
Relationship	Full Name		
Applicant	✓ CHRIS M BERARDUCCI		
Primary	Organization Name		
No	BERARDUCCI BUILDERS LLC		
	Street Address		
	1508 ABELL DRIVE		
	Address Line 2		
	City	State	Zip Code
	WESTMINSTER	MD	✓ 21157
	Phone	Cell	Fax
	443-797-9409		
	E-mail *		
	CFUCO1@HOTMAIL.COM		

Contact (This section is not required.)

Search	As Owner	As Lic. Prof	As Contact
Type	First Name	MI	Last Name
Contact	✓ CHRIS	M	BERARDUCCI
Relationship	Full Name		
Licensed Professional	✓ CHRIS M BERARDUCCI		
Primary	Organization Name		
Yes	BERARDUCCI BUILDERS LLC		
	Street Address		
	1508 ABELL DRIVE		
	Address Line 2		
	City	State	Zip Code
	WESTMINSTER	MD	✓ 21157
	Phone	Cell	Fax
	443-797-9409		
	E-mail		
	CFUCO1@HOTMAIL.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
95000	0	0	No ✓
Construction Type			
101 - Single Family Houses Detached	✓		

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *

☐ Yes ☒ No

Capital Project Number

(Text)

Fee Exempt *

☐ Yes ☒ No

Roadside Tree Project Permit

☐ Yes ☒ No

Roadside Tree Pr

No of Stories *	Foundation *	Basement *	No of Rooms *	Full Baths *	Ha
1 (Text)	Crawl Space	N/A	1 (Text)	0 (Number)	0
Model *					
SFD/ CONSTRUCT 24'W x 20'D (1) STORY SUNROOM addition/					
check spelling					
Other Structure *	Bedrooms *	Porch Deck *	No of Fireplaces *	Type of Fireplace	
None	0 (Number)	N/A	0 (Number)	--Select--	
W & S Fees Paid	Water *	Sewage *	Utilities *	Heating System *	Sprinkler System *
☐ Yes ☐ No	Private	Private	Gas & Electric	Electric & Propane Gas	None
1st Floor Width	1st Floor Depth	2nd Floor Width	2nd Floor Depth	Basement Width	Basement Depth
FT (Number)	FT (Number)	FT (Number)	FT (Number)	FT (Number)	FT (Number)
Total Square Footage *	Occupiable Square Footage *	Affordable Housing Funding *		Foundation Measurement	
480	0	N/A		(Text)	
Walls	Roof	Change In Use	Grading Permit No	Senior Housing	MIHU Outside Downtown Columbia
(Text)	(Text)	☐ Yes ☒ No	(Text)	☐ Yes ☒ No	☐ Yes ☒ No
Additional Description Info					Expiration Date
					8/6/2025
					MIHU Required Units
					0 (Num)

[check spelling](#)

GREEN INFORMATION

Goal Level	Actual Level	Leed Registration Number	Date of Leed Certification
--Select--	--Select--	(Text)	

STORM WATER MANAGEMENT

Green Roofs A1	Permeable Pavements A2	Reinforced Turf A3	Disconnection of Rooftop Runoff N1
☐ Yes ☐ No	☐ Yes ☐ No	☐ Yes ☐ No	(Number)
Sheetflow to Conservation Areas N3	Rainwater Harvesting M1	Submerged Gravel Wetlands M2	Landscape Infiltration
☐ Yes ☐ No	(Number)	(Number)	
Dry Wells M5	Micro Bioretention M6	Rain Gardens M7	Swales M8
(Number)	(Number)	(Number)	(Number)
PSWM Certification Received in CID on			

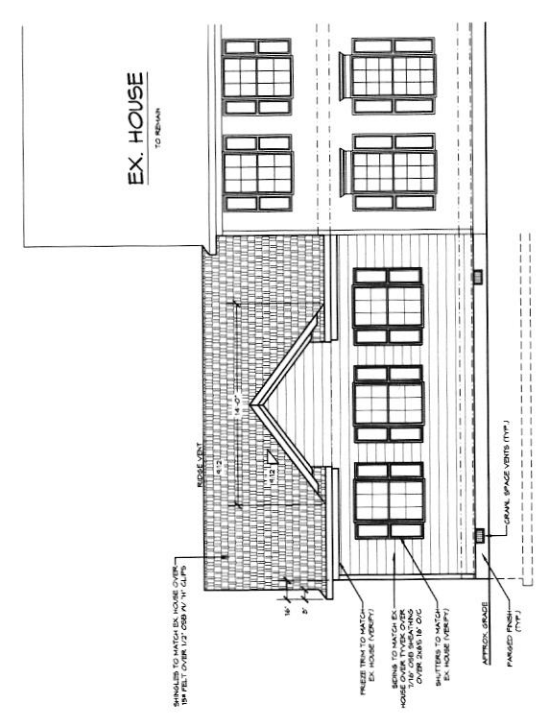
Submit Cancel

ADDITION TO THE MOST RESIDENCE BERARDUCCI CONTRACTING, INC.

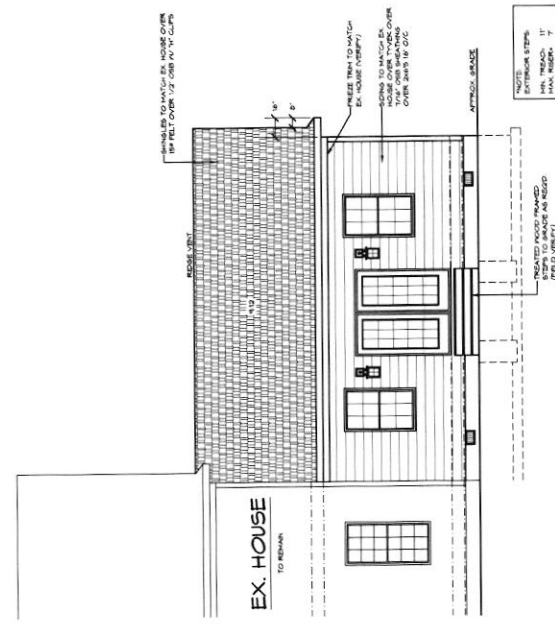
G&L CUSTOM HOME
DESIGN INC.
PO BOX 137
PINE BLUFF, MS 39068
PHONE 601-833-8320

SHEET NO. 2
DATE 1/20/20
SCALE 1/4" = 1'-0"

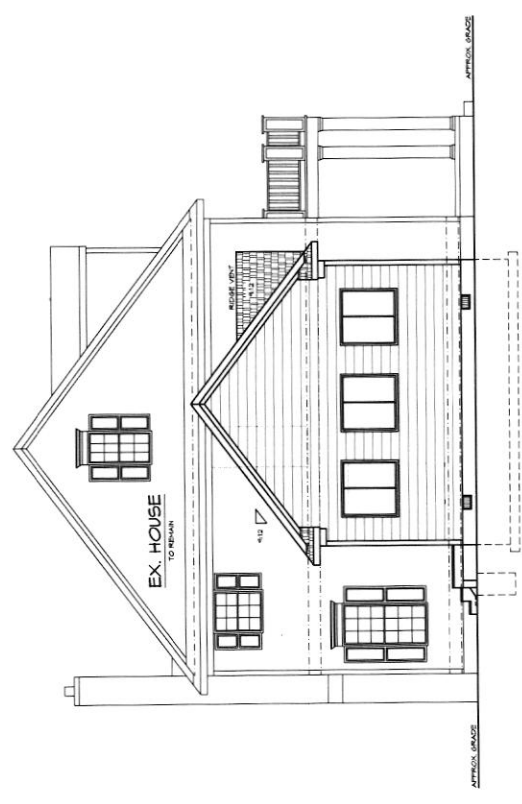
FILE BEHIND - WORK APPROX.



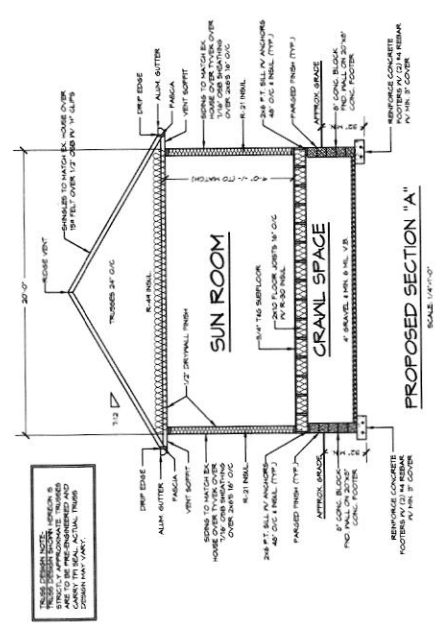
PARTIAL PROPOSED FRONT ELEVATION
SCALE 1/4" = 1'-0"



PARTIAL PROPOSED REAR ELEVATION
SCALE 1/4" = 1'-0"

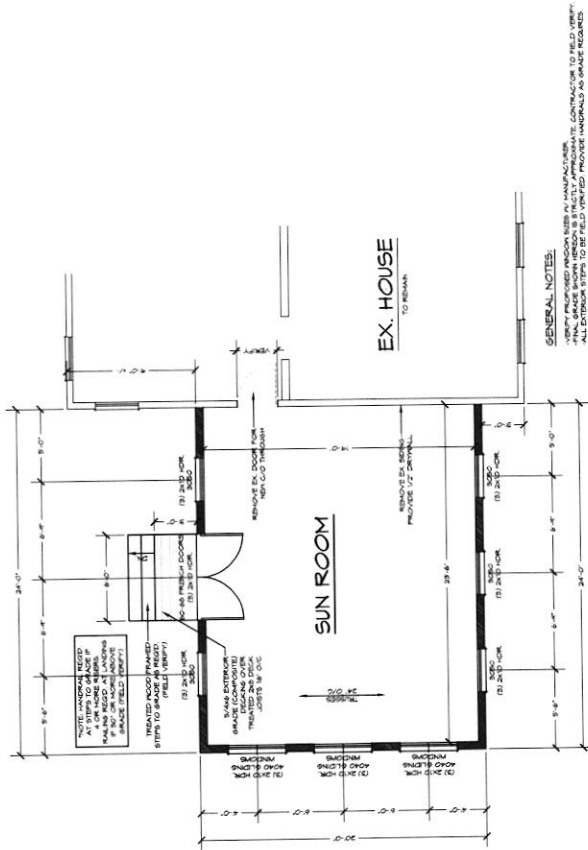


PROPOSED LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED SECTION "A-A"
SCALE 1/4" = 1'-0"

PARTIAL PROPOSED FIRST FLOOR PLAN

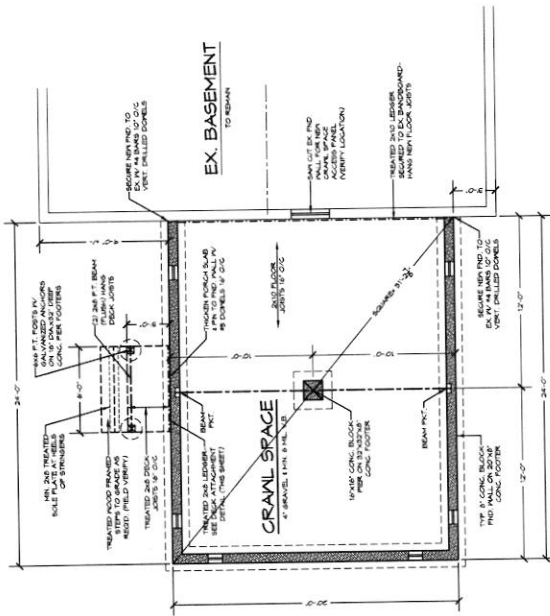


GENERAL NOTE.

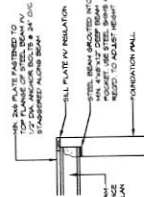
GENERAL NOTES:
-VERIFY PROPOSED INDOOR SIZES W/ MANUFACTURER.
-FINAL GRADE SHOWN HEREON IS STRICTLY APPROXIMATE. CONTRACTOR TO FIELD VERIFY.
-ALL EXTERIOR STEPS TO BE FIELD VERIFIED. PROVIDE HANDRAILS AS GRATE REQUIRES.

- | | |
|-------------------------------------|-----------------------------------|
| ☐ | EXISTING FRAME WALL TO REMAIN |
| ☐ | EXISTING FRAME WALL TO BE REMOVED |
| ☒ | PROPOSED FRAME WALL |

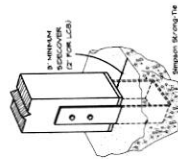
PARTIAL PROPOSED FOUNDATION PLAN



BEAM POCKET DETAIL

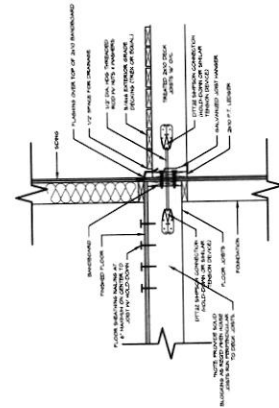


**POST TO FOOTER
CONNECTION DETAIL**



Simplification of a complex network

DECK ATTACHMENT FOR
LATERAL LOADS

[illegible]

NOTE: PROVIDE 4 INSTALL SHIPSON HANGERS & CONNECTORS PER MANUFACTURER'S INSTRUCTIONS.

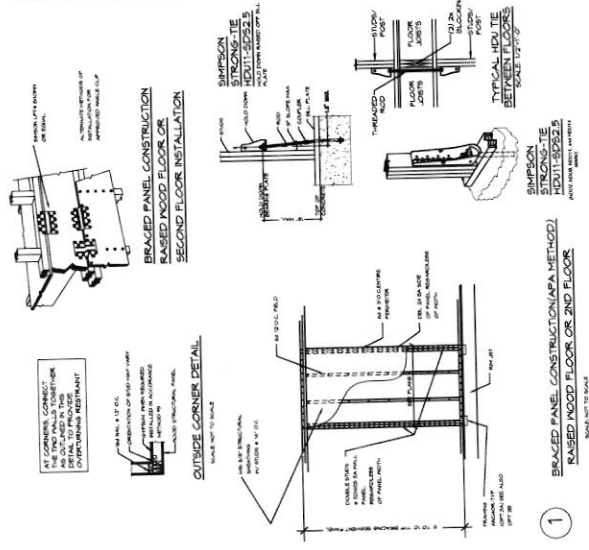
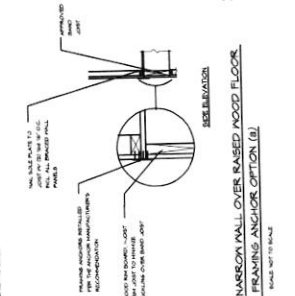
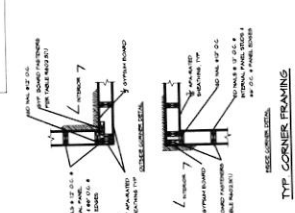
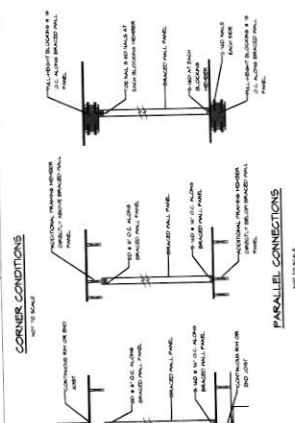
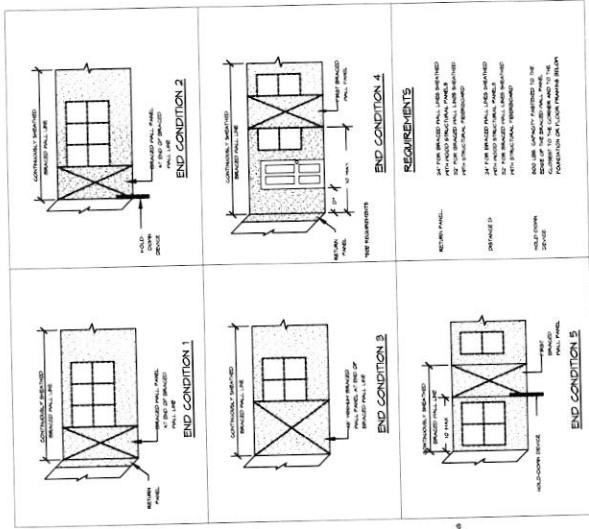
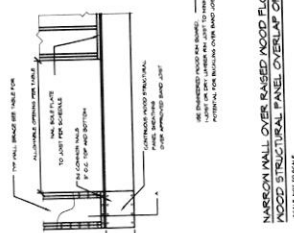
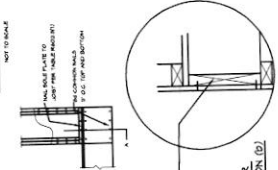
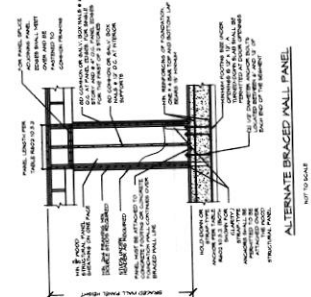
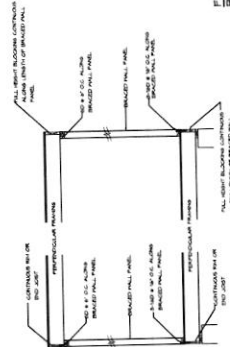
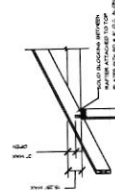
WALL BRACING DESIGN INFO:

LEGEND:
CS-WSP CONTINUOUS SHEATHING- WOOD
STRUCTURAL PANEL (LENGTH)

LOCATION: HOWARD COUNTY, MARYLAND

WIND SPEED: 40 MPH
METHOD 3 (NOOD BREATHING)/ CONTINUOUS BREATHING
METHOD 5 (GYMNASIUM BOARD)

R602.10.4 CONTINUOUS SHEATHING: BRACED WALL LINES WITH CONTINUOUS SHEATHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION. ALL BRACED WALL LINES ALONG EXTERIOR WALLS ON THE SAME STORY SHALL BE



AT CORNERS, CONNECT THE TWO WALLS TOGETHER AS OUTLINED IN THE RETAIL TO PROVE OVERTURNING RESTRAINT.

ORIENTATION OF GRID NEAR VENT
SYSTEM, WITH REQUIRED,
INSTALLED IN ACCORDANCE
METHOD #9

INSIDE CORNER DETAIL

GRADED PANEL CONSTRUCTION
RAISED WOOD FLOOR OR
SECOND FLOOR INSTALLATION

SIMPSON
STRONG-TIE
HDU11-SDS2.5
HOLD DOWN LABELED OFF BILL

STUDS

HOLD DOWN

FLOOR JOIST



TYPICAL HDU TE
BETWEEN FLOORS
SCALE 1/2"=1'-0"

STRONG-TIE
HDU11-SPS2.5
(NOMEX® ARamid, 11 mil, 2.5 mil thick)

CS-07-00000

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APPROXIMATE

9' x 6' 8" D.O. #
PANEL SIZES

7

1st Floor

TYP. CORNER FR
DETAIL W/ FASTER
NOT TO SCALE

1" NAIL BOUL PLATE TO JOIST PER TABLE READ 871

Diagram of a building section showing a vertical shaft with a door at the top and a horizontal duct at the bottom.

FLOOR
OPTION (b)

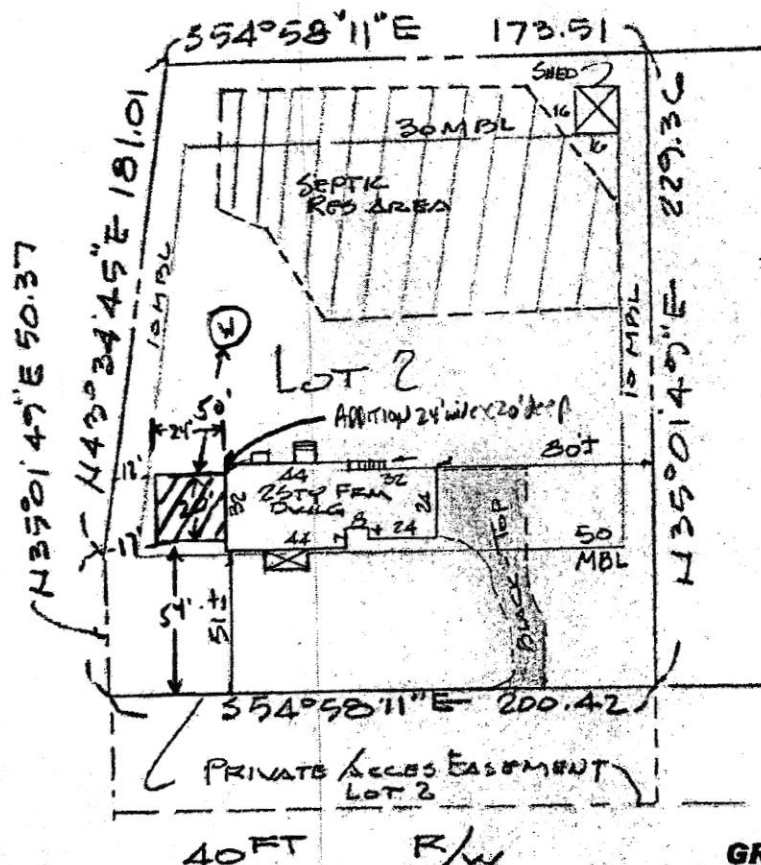
SURVEYORS CERTIFICATE:

1. This plat is a benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with a contemplated transfer, financing, or refinancing.
2. This plat is NOT to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plat does NOT provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.
4. This is to certify that we have surveyed the property for the purpose of locating the improvements and that they are located as shown hereon within the indicated tolerances specified below. This survey did not include the marking of property corners.
5. This plat is for title purposes only. No title report is being furnished.
6. This is to certify that this drawing meets the Minimum Standards of Practice of the State of Maryland.

TOLERANCES:

Structure dimensions have been shown to ± 1.5 feet.
Setback dimensions have been shown to ± 2.0 feet.

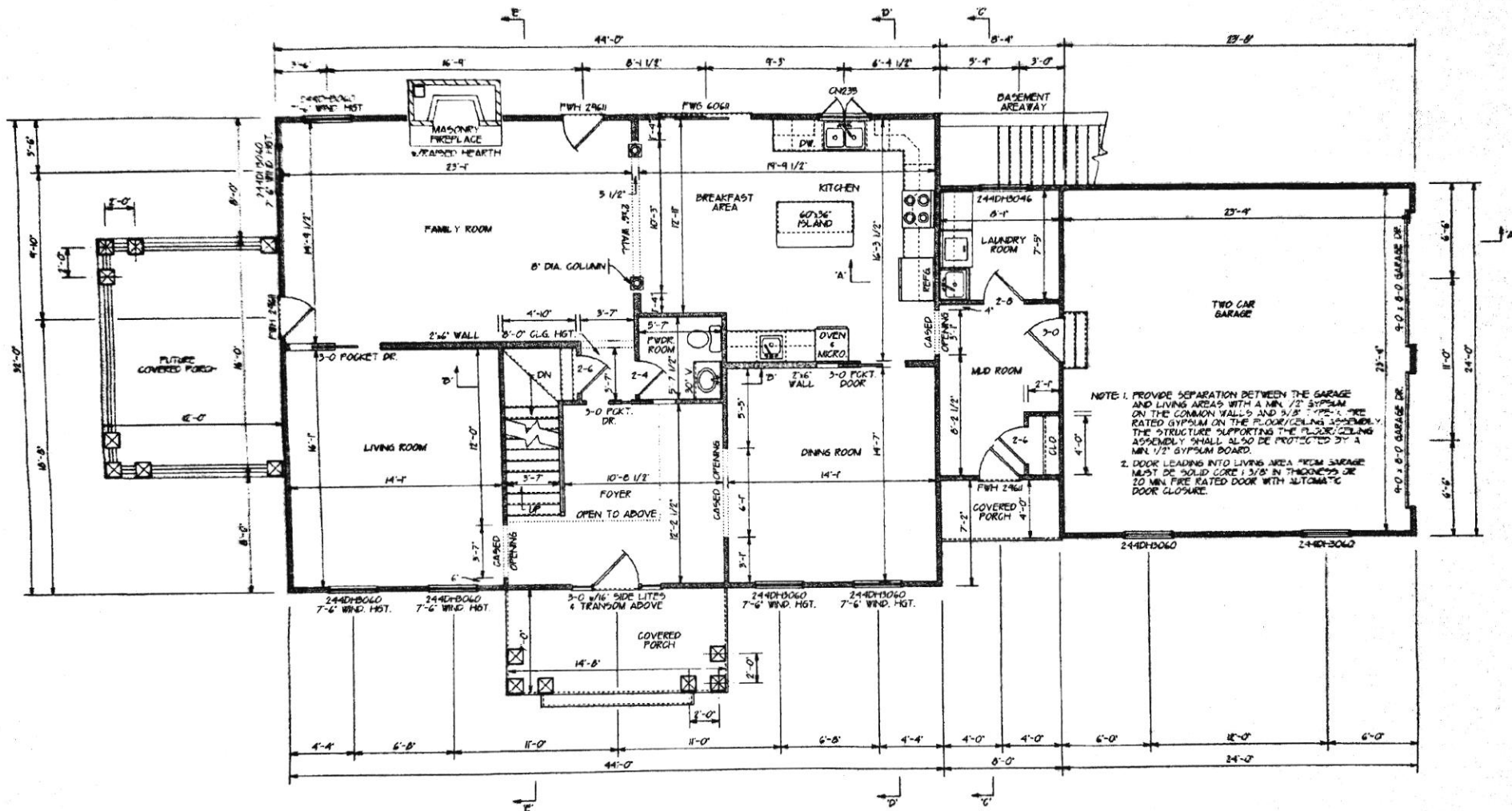
EDWIN J. KIRBY, JR. Prof Land Surveyor
Expires 07-2015



GREENSPRING SURVEYS
P.O. BOX# 761
BROOKLANDVILLE, MD. 21022
410-337-7942 CELL 410-409-5237
FAX 410-876-3176
SURVEYORZ@NETSCAPE.COM

A licensed Maryland Surveyor either personally prepared this Plat or was in responsible charge over its preparation and the Surveying work reflected in it, in compliance with the Maryland Minimum Standards of Practice for Land Surveyors.

DATE: 08-12-14 SCALE 1" = 60'



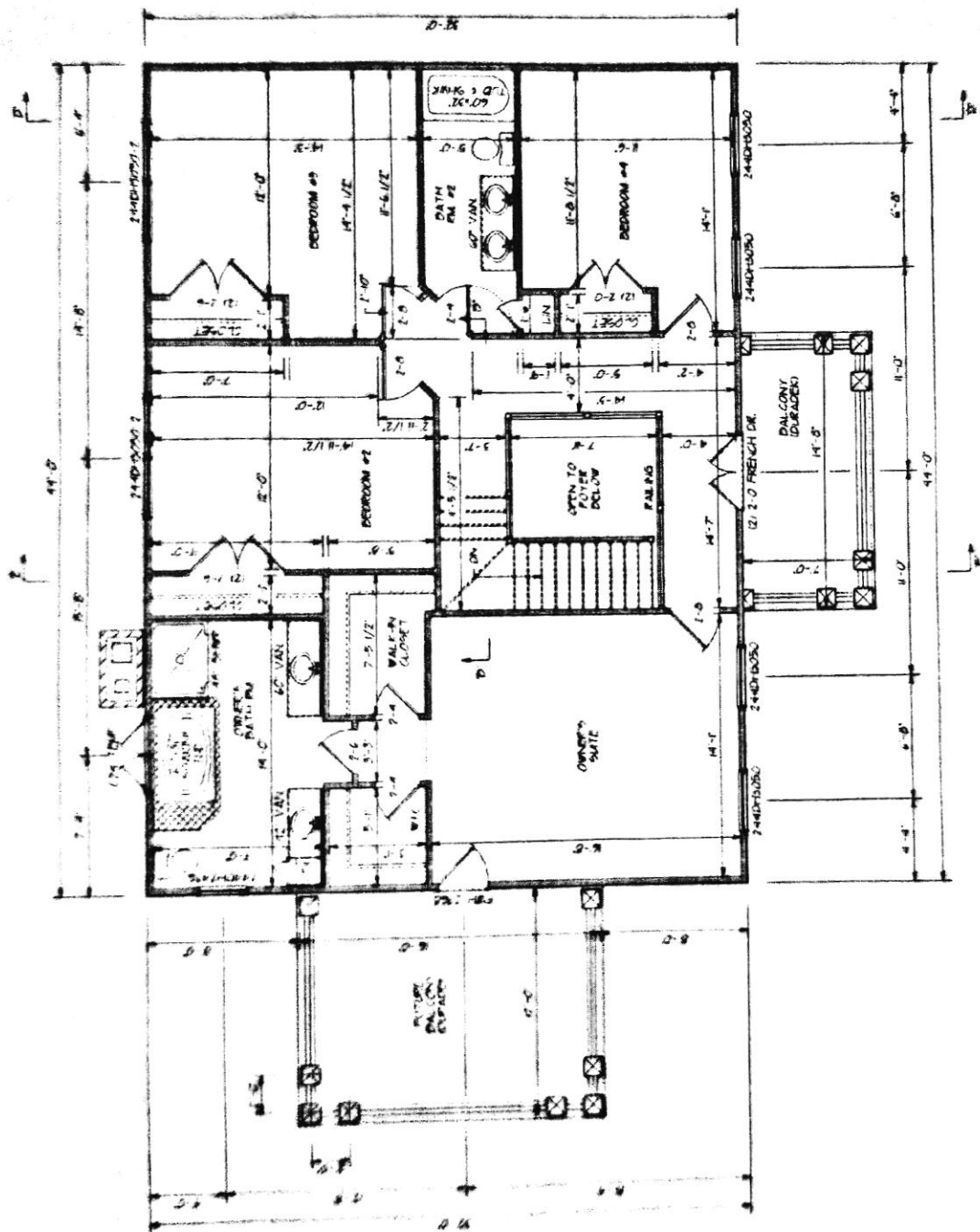
FIRST LEVEL FLOOR PLAN

LIVING AREA 1579 sq ft
GARAGE AREA 570 sq ft
FRONT PORCH 102 sq ft
MUD ROOM PORCH 32 sq ft
FUTURE COVERED PORCH 192 sq ft

SCALE 1/4" = 1'-0"

NOTE

1. FIRST FLOOR WALL HEIGHT: 9'-1 1/8"
2. WINDOWS CODE NUMBERS ARE ANDERSON 200 SERIES, VERTY 6/8" BULDER. WINDOW HEIGHT SHALL BE 7'-0" UNLESS NOTED OTHERWISE ON PLANS.
3. ALL INTERIOR DOORS SHALL BE 6'-8" HEIGHT. ALL DOORS SHOWN ARE EITHER CENTERED ON WALL, SPACE OR 4" FROM CORNER, UNLESS NOTED OTHERWISE.



SECOND LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"

NOTES: SEE PLAN FOR FUTURE BALCONY OR FUTURE GARAGE

1. ALL ROOMS SHALL BE 8'-0" HIGH.
2. ALL ROOMS SHALL BE 8'-0" HIGH.
3. ALL ROOMS SHALL BE 8'-0" HIGH.
4. ALL ROOMS SHALL BE 8'-0" HIGH.
5. ALL ROOMS SHALL BE 8'-0" HIGH.
6. ALL ROOMS SHALL BE 8'-0" HIGH.
7. ALL ROOMS SHALL BE 8'-0" HIGH.
8. ALL ROOMS SHALL BE 8'-0" HIGH.
9. ALL ROOMS SHALL BE 8'-0" HIGH.
10. ALL ROOMS SHALL BE 8'-0" HIGH.

LAYOUT 10/22/10 INSP 4 _____
INSP 2 11/1/10 INSP 5 _____
INSP 3 _____ INSP 6 _____

ISSUE DATE: 10-6-10

APPROVAL DATE: 11/1/10

PERMIT

P 54053

A _____

Tax ID # _____

**ON-SITE SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH**

Kimberland and Company IS PERMITTED TO INSTALL ☒ ALTER ☐

ADDRESS: 18391 A.E. Highway Rd Woodbine MD 21797 PHONE NUMBER: 301-854-6838

SUBDIVISION: Asbury Property LOT NUMBER: 2

ADDRESS: 2710 Jennings Chapel Road PROPERTY OWNER: Ronald Asbury

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED ☐

PUMP CHAMBER CAPACITY (GALLONS): _____ COMPARTMENTED TANK REQUIRED ☒

NUMBER OF BEDROOMS: 3 APPLICATION RATE: 1.2

SQUARE FOOTAGE OF HOUSE: 5151 (12pm)

LINEAR FEET OF TRENCH REQUIRED: 120

TRENCHES:	Trenches to be 2.0 feet wide. Inlet <u>4.0</u> feet below original grade. Bottom maximum depth <u>6.0</u> feet below grade. Effective area begins at 4.0 feet below original grade with 2.0 feet of stone below distribution pipe.
LOCATION:	Set septic tank approx. per plan. Set distribution box 42' south of NE septic reserve corner. Install 3x40' trenches on contour.
NOTES:	Do not order the septic tank until after layout inspection and Sanitarian approval. Stake easement corners. Call for layout inspection. Mark utilities. Gravel tickets must be available for Environmental Sanitarians. Stone must be approved by the Howard County Health Department. A written variance request is required for tanks deeper than 3 feet. A traffic bearing lid is required for tanks deeper than 4 feet.

PLANS APPROVED: Robert Bricker DATE: 2/4/10

NOTE: PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL

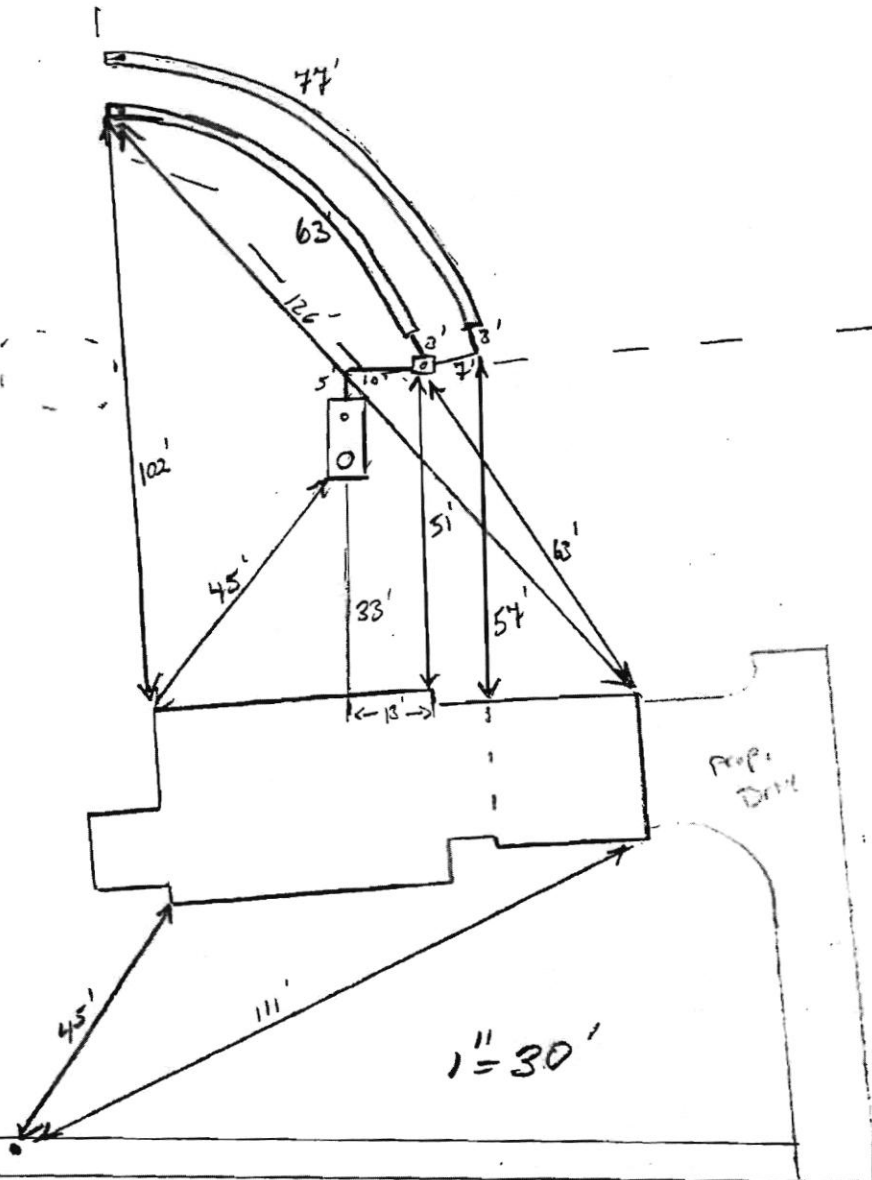
NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

**NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR
THE SUCCESSFUL OPERATION OF ANY SYSTEM**

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT

CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM

NOT TO SCALE



TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
2	4	6
NUMBER OF TRENCHES		2
TOTAL LENGTH		140
ABSORPTION AREA		280 + SW
DISTRIBUTION BOX LEVEL		Lower
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL		Yes
MANUFACTURER	Babylon	
CAPACITY	2000	GAL
SEAM LOC	Top	
TANK LID DEPTH	2.5'	
BAFFLES	Yes	
BAFFLE FILTER		
MANHOLE LOC	Front	
6" PORT LOC	Rear	
WATERTIGHT TEST		
SLOTTED	Yes	9/5/10
PUMP/SEPTIC TANK LEVEL		N/A
MANUFACTURER		
CAPACITY		GAL
SEAM LOC		
TANK LID DEPTH		
BAFFLES		
BAFFLE FILTER		
MANHOLE LOC		
6" PORT LOC		
WATERTIGHT TEST		
SLOTTED	Yes	

PRE-CONSTRUCTION

10/22/10 Install S.T.
and D box per plan.
Install 2x60' on
contour. Trenches pointed
out in field. Call for

inspection (Kw)

INSTALLATION:

11/1/10 4" SHC installed to tank. Tank set per
plan. D box set and leveled. Trenches completed. Contractor added
17' more feet in bottom trench. OK to cover all work

FINAL INSPECTOR

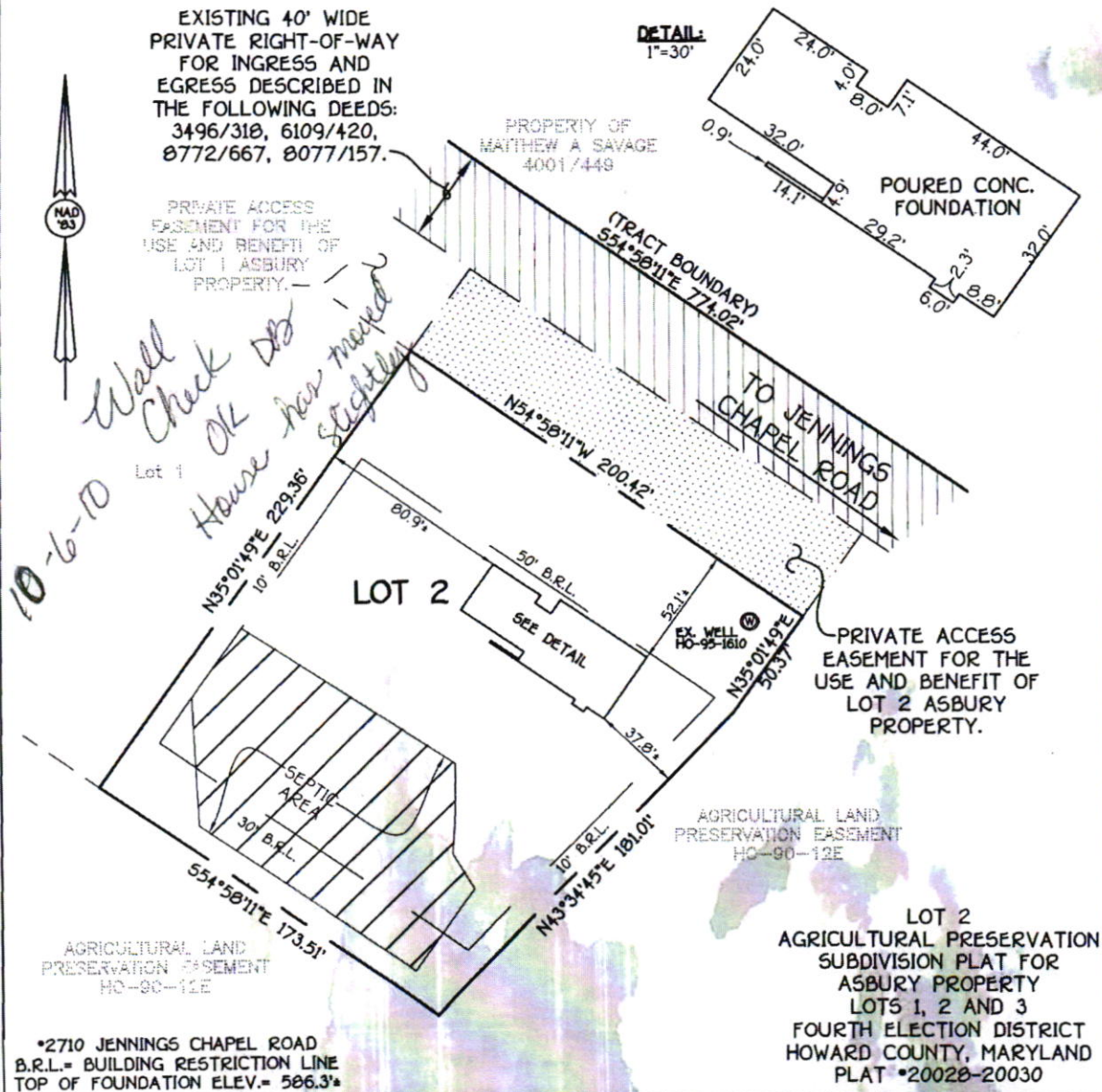
J. K. Way

DATE OF APPROVAL

11/1/10

GENERAL NOTES:

- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE C ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 240044007B EFFECTIVE DEC. 4, 1986.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 1' (±).
- 4) NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-92-1610) HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 6) SEE PLAT #20030 FOR ADDITIONAL EASEMENTS AND RIGHT-OF-WAYS OUT TO JENNINGS CHAPEL ROAD.
- 7) BUILDING PERMIT #B-09001647



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410/461 - 2955

FCC •



PROFESSIONAL LAND SURVEYOR DATE
REG. # 539

HOUSE LOCATION DRAWING

FOUNDATION LOCATION: 9/22/10
FINAL LOCATION:
BOUNDARY SURVEY:

SCALE: 1"=60'
DATE: 10/4/10
DRAWN BY: JMP
CHECKED BY: MLR
PROJECT No.: 30735-0001

PUB. SEWER STATUS VERIFIED BY _____

ISSUE DATE: 4/8/2011

APPROVAL DATE: 5/5/2011

PERMIT

P 534549

A REPAIR

Septic Repair ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

South Carroll Backhoe IS PERMITTED TO INSTALL ☐ ALTER ☒

ADDRESS: 4410 Salem Bottom Road Westminster, MD 21157 PHONE NUMBER: 410-875-4197

SUBDIVISION: _____ LOT NUMBER: _____

ADDRESS: 14399 Old Frederick Road PROPERTY OWNER: Sam Spicknall

SEPTIC TANK CAPACITY (GALLONS): N/A (1250 Ex)

PUMP CHAMBER CAPACITY (GALLONS): N/A 2' wide

NUMBER OF BEDROOMS: 4 4' - 9'

SQUARE FEET OF HOUSE: _____ 10' C.T.C.

LINEAR FEET OF TRENCH REQUIRED: 132 LF

TRENCHES:	
LOCATION:	<u>Set Dbox 20' from house. Install 2x 66' trenches on contour running down side N. 99.</u>
PURPOSE:	<u>Pump & collapse Ex. Drw. Manhole riser needed on tank obs. pipes needed in trenches.</u>

PLANS APPROVED: K. Wolf DATE: 5-3-11

NOTE: PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

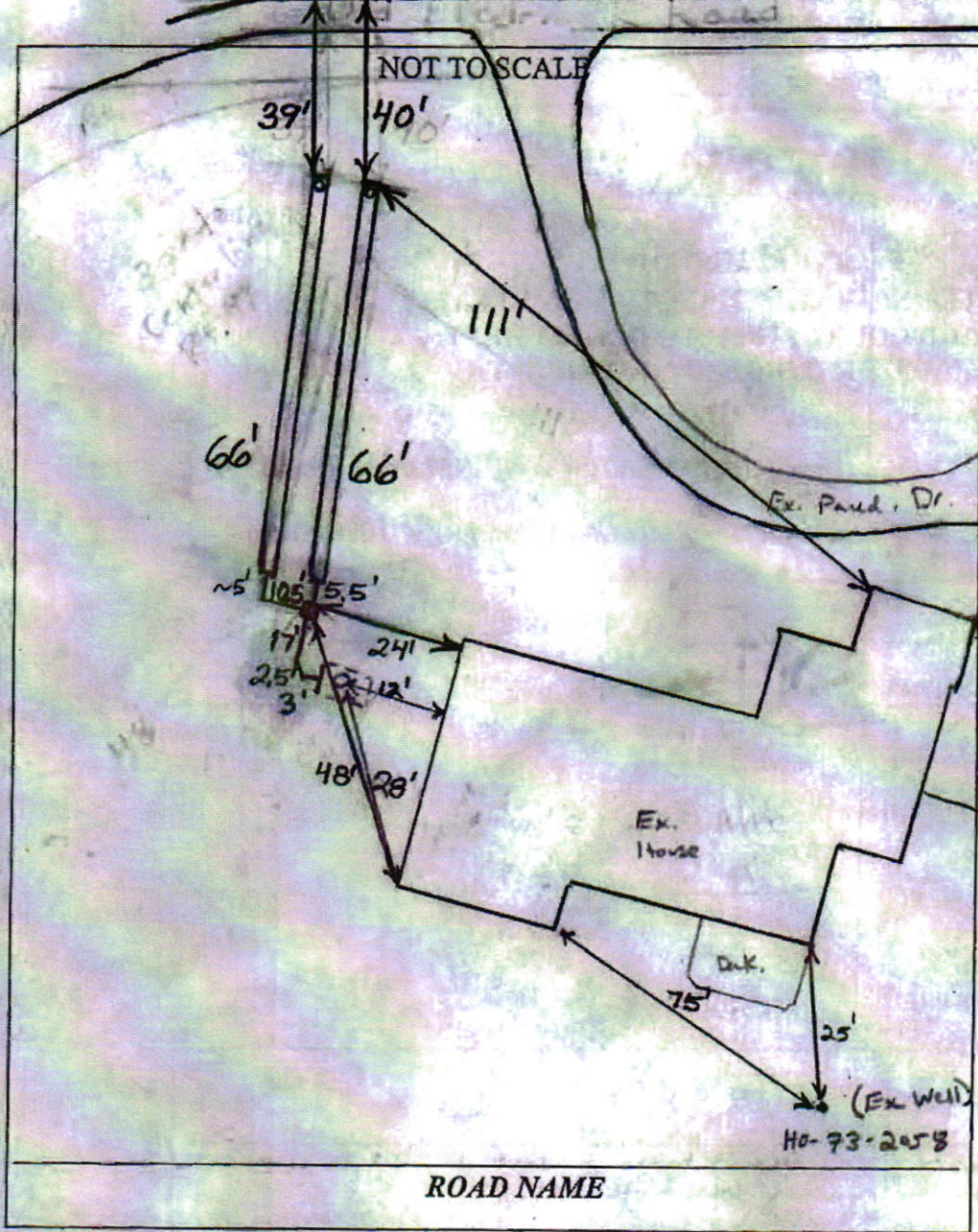
NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

**NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS
RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**

Centerline of Old Frederick Road



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
2'	4'	9'
NUMBER OF TRENCHES 2		
TOTAL LENGTH 132'		
ABSORPTION AREA 528		
DISTRIBUTION BOX LEVEL Levelers		
DISTRIBUTION BOX BAFFLE Yes		
DISTRIBUTION BOX PORT Yes		

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Yes
MANUFACTURER	?
CAPACITY	1250 GAL
SEAM LOC	Midseam
TANK LID DEPTH	2'
BAFFLES	Yes (existing)
BAFFLE FILTER	No
MANHOLE LOC	Rear
6" PORT LOC	None
WATERTIGHT TEST	No
SLOTTED	No
DATE ON LID	N/A
PUMP/SEPTIC TANK LEVEL N/A	
MANUFACTURER	
CAPACITY	
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION: 5-3-11 To keep trenches out of the upgradient setback from ex. well, trenches are to be placed close to rt. 99 as possible. OK to use ex. S.T., pump and collapse ex. Driv. Install 2x62 trenches on contour running towards rt. 99. Contractor wanted to stay 20' off of power lines. Contractor to start on trench today. (KID)

INSTALLATION: 5/5/2011 System finished. O.K. to backfill. (BB)

FINAL INSPECTOR B. Baker DATE OF APPROVAL 5/5/2011

Eshenbaugh, Melanie

From: Chris Berarducci <cfuco1@hotmail.com>
Sent: Thursday, April 10, 2025 2:01 PM
To: Eshenbaugh, Melanie
Subject: 2710 Jennings Chapel Road well conduit repair
Attachments: 20250410_140005.jpg; 20250410_135951.jpg

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Melanie,

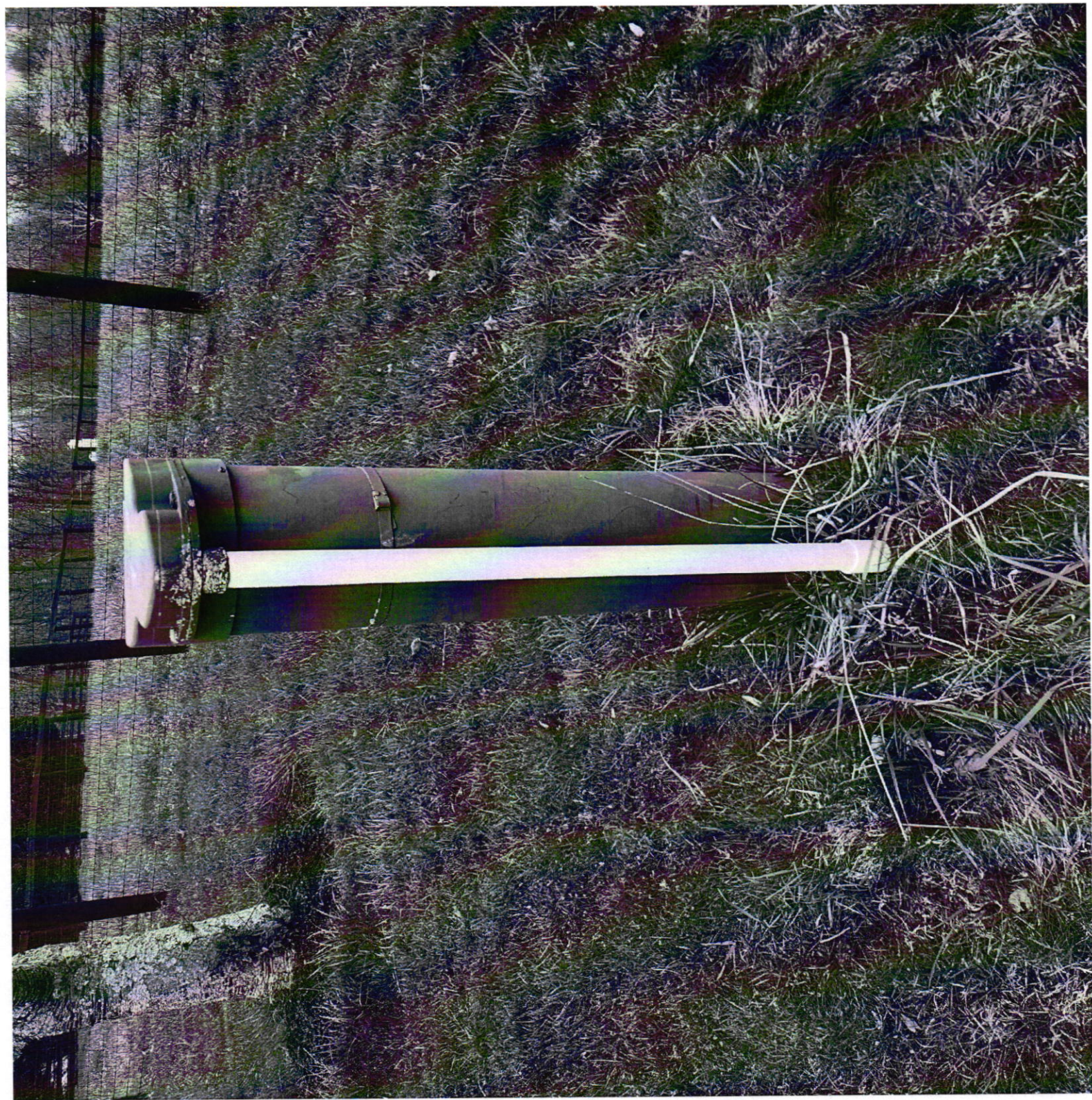
Please.

See attached pictures of the well conduit repair at the above referenced address.

Thanks,

Chris Berarducci

Sent from my Verizon, Samsung Galaxy smartphone
Get [Outlook for Android](#)



Eshenbaugh, Melanie

From: Eshenbaugh, Melanie
Sent: Thursday, February 20, 2025 2:13 PM
To: Chris Berarducci
Subject: B25000332
Attachments: 1000020648.jpg; 1000020649.jpg; 1000020650.jpg

Good afternoon,

After review of the building permit request and conducting a site visit at this property, I noticed that the well condition is of concern. The conduit is cracked which can present a groundwater contamination risk. Additionally, we kindly request existing simplified floor plans to gain approval of building permit #B25000332, along with the repair of the well conduit. This requirement is in response to conducting the site visit to the property on 2/14 and observing the condition of the well/conduit (see attached photos). The well conduit will need to be secured under the cap and will need repaired to ensure water potability standards for the residence in accordance with Health Dept. code (code requirements in COMAR 26.04.04.25). Please submit to the Health Dept. office documentation of the well repair via email or mail as proof of completion of the work. Also, please submit floor plans for the entire residence in order to move forward with our review of the building permit approval process. Any additions/renovations to existing dwellings must include simplified floor plans. The floor plans must contain a diagram of each room, labeled with intended use and level of the dwelling including windows, doors, plumbing fixtures, and rough-in plumbing. Please upload the floor plans to DILP. Also, we strongly recommend water testing for bacteria to ensure there is no potential health risk to the occupants of the property. Please contact the Community Hygiene program (410-313-1773) and someone can assist with scheduling water sampling if there is a desire to have the well water tested. Let me know if you have any questions and thank you kindly.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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