

Record Detail * (This section is required.)

Permit Type Building/Residential/Addition/SFD Permit Number B25002804 Opened Date 07/17/2025

Description of Work

SFD/ CONSTRUCT 5 X 21 (1) STORY ADDITION ON FRONT FOR EXPANSION OF LIVING ROOM, 12 X 21 (1) STORY ADDITION ON REAR FOR DINING ROOM, RAISE ROOF, NEW SCISSOR TRUSSES TO OPEN SPACE, RENOVATIONS TO KITCHEN/ LIVING ROOMS, CONSTRUCT 6 X 21 IRREGULAR SHAPED DECK, 6 X 21 PORCH ON FRONT/, 1 STORY, Post & Pier, 1R, 0FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = Open Porch and Deck, ENERGY METHOD = Prescriptive Method,

[check spelling](#)

Online BP.

gjb 7/31/25

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 1045 Street Name LONG CORNER Street Type RD
 Unit Type -Select- Unit # X Coordinate -77.14342 Y Coordinate 39.33981
 City MOUNT AIRY State MD Zip Code 21771 Primary Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
831844	184	5	246200	447100	200900	RURAL

Legal Description

IMPS5.001 AR[]1045 LONG CORNER RD[]WOODBINE

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
		604001	5				
Plan Area		State Tax Id		Subdivision Name			
		1404329007					
Section		Area		Tax Map			
				6			
Grid		Zoning District		ADC Map			
6-11		RC-DEO		4690-H6			
SDP No.		Final Plan No.		WP File No.			
					Primary		
					Yes		
Record Plat No.		WS Contract No.		FDP No.			
Owner Occupied		Year Built		Historic District			
☐ Yes ☐ No		1976		☐ Yes ☒ No			
Historic District Registry No.		Stat Area		Flood Plain			
		4-04		☐ Yes ☒ No			
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *

MASTI

Address Line 1

1045 LONG CORNER RD

Address Line 2

Address Line 3

Mail City

MOUNT AIRY

Mail State

MD

Mail Zip Code

21771

Phone

240-732-3305

Primary

Yes

E-mail

mastconstructionllc@gmail.com

Cell Number

Fax Number

Professionals (This section is not required.)

License # * 08010092245	Business Name MAST CONSTRUCTION		
License Type * MHIC Ind	First Name ▼ DOUGLAS	Middle Name	Last Name MAST
Primary Yes	Address Line 1 ▼ 1045 LONG CORNER RD		
	Address Line 2		
	City MT AIRY	State MD	ZIP Code 21771-0000
	Phone 1 2404050763	Phone 2	Fax 8884347805
	E-mail D.MAST@MASTCONSTRUCTIONLLC.COM		

Applicant (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type * Applicant	First Name ▼ Ashleigh	MI	Last Name Konczal
Relationship Applicant	Full Name ▼ Ashleigh Konczal		
Primary No	Organization Name Mast Construction LLC		
	Street Address 16036 Frederick Rd		
	Address Line 2		
	City Lisbon	State MD	Zip Code 21797
	Phone 240-732-3775	Cell	Fax
	E-mail * a.konczal@mastconstructionllc.com		

Contact (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type Contact	First Name ▼ Ashleigh	MI	Last Name Konczal
Relationship Licensed Professional	Full Name ▼ Ashleigh Konczal		
Primary Yes	Organization Name Mast Construction LLC		
	Street Address 16036 Frederick Rd		
	Address Line 2		
	City Lisbon	State MD	Zip Code 21797
	Phone 240-732-3775	Cell	Fax
	E-mail a.konczal@mastconstructionllc.com		

Addtl Info

Est Construction Cost * 75000	Housing Units * 0	Number of Buildings * 0	Public Owned No
Construction Type 434 - Additions, Alterations and Conversions - Residential			

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *

☐ Yes ☒ No

Capital Project Number

(Text)

Fee Exempt *

☐ Yes ☒ No

Roadside Tree Project Permit

☐ Yes ☒ No

Roadside Tree Pr

No of Stories * 1 (Text) Foundation * Post & Pier Basement * N/A No of Rooms * 1 (Text) Full Baths * 0 (Number) Ha 0

Model *

SFD/ CONSTRUCT 5 X 21 (1) STORY ADDITION ON FRONT FOR EXPANSION OF LIVING ROOM, 12 X 21 (1) STORY ADDITION ON REAR

[check spelling](#)

Other Structure * None Bedrooms * 0 (Number) Porch Deck * Open Porch and Deck No of Fireplaces * 0 (Number) Type of Fireplace --Select--
W & S Fees Paid Water * Private Sewage * Private Utilities * Electric Heating System * Electric Sprinkler System * None
☐ Yes ☐ No 1st Floor Width 1st Floor Depth 2nd Floor Width 2nd Floor Depth Basement Width Basement Depth Height
FT (Number) FT (Number) FT (Number) FT (Number) FT (Number) FT (Number) FT (Number)
Total Square Footage * 820 SQFT (Number) Occupiable Square Footage * 0 SQFT (Number) Affordable Housing Funding * N/A Foundation Measurement (Text)
Walls Roof Change In Use Grading Permit No Senior Housing MIHU Outside Downtown Columbia
(Text) (Text) ☐ Yes ☒ No (Text) ☐ Yes ☒ No
Additional Description Info

Expiration Date

1/27/2026

MIHU Required Units

0 (Num)

[check spelling](#)

GREEN INFORMATION

Goal Level --Select-- Actual Level --Select-- Leed Registration Number (Text) Date of Leed Certification

STORM WATER MANAGEMENT

Green Roofs A1 ☐ Yes ☐ No Permeable Pavements A2 ☐ Yes ☐ No Reinforced Turf A3 ☐ Yes ☐ No Disconnection of Rooftop Runoff N1 (Number)
Sheetflow to Conservation Areas N3 ☐ Yes ☐ No Rainwater Harvesting M1 (Number) Submerged Gravel Wetlands M2 (Number) Landscape Infiltration
Dry Wells M5 (Number) Micro Bioretention M6 (Number) Rain Gardens M7 (Number) Swales M8 (Number)
PSWM Certification Received in CID on

Submit Cancel

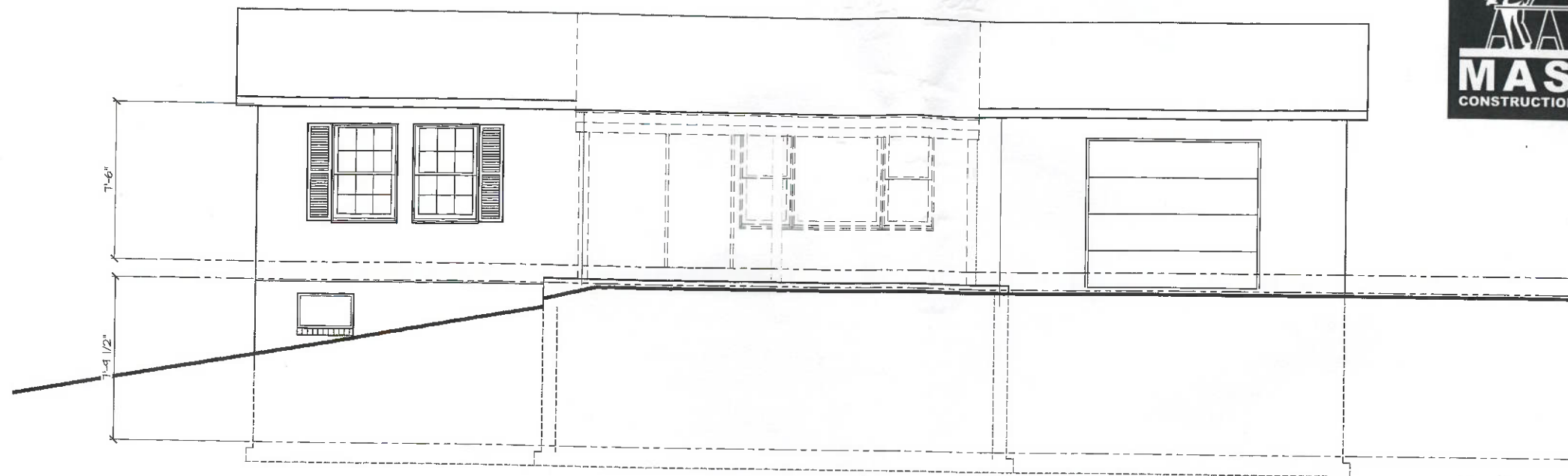


SCALE: 1/4"=1'-0"

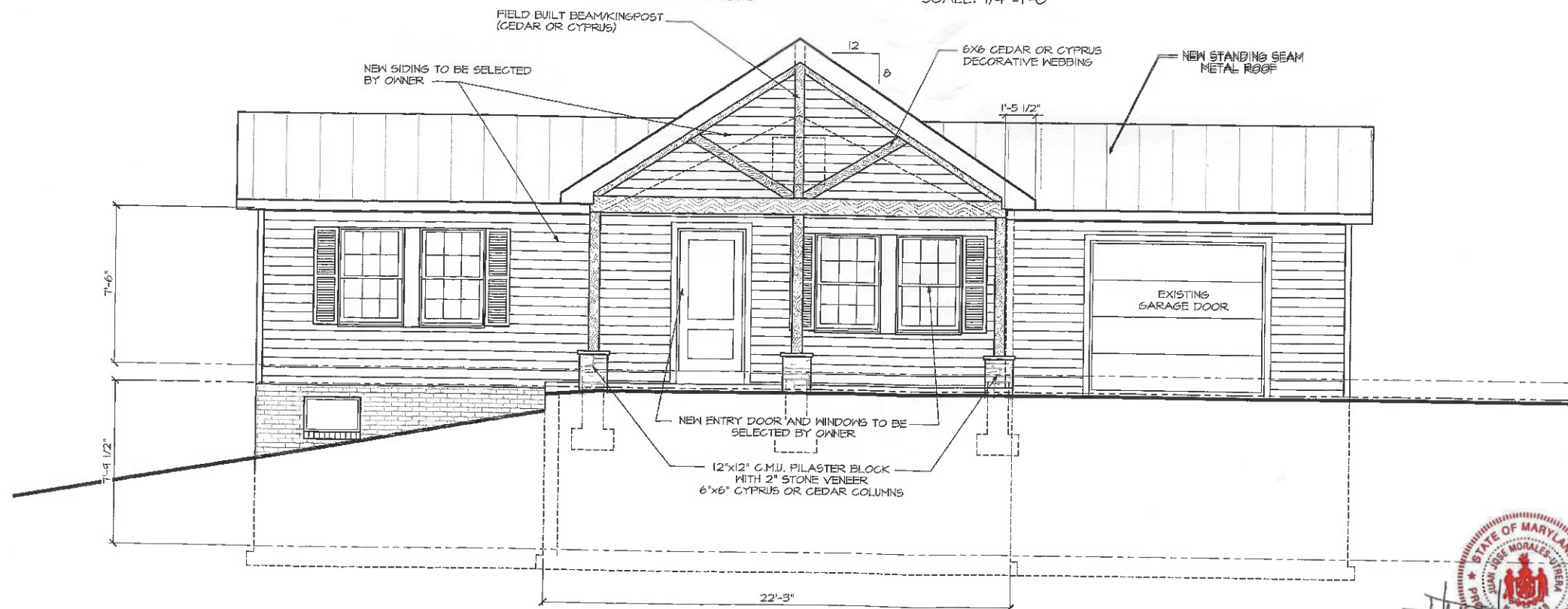


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PROJ. NO.: 1359



FRONT ELEVATION
EXISTING CONDITIONS
SCALE: 1/4"=1'-0"



FRONT ELEVATION
PROPOSED ADDITION
SCALE: 1/4"=1'-0"



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SUBMITTALS

ISSUE DATE	DRAWN BY	REMARKS
1-27-25	DWE	PROGRESS DRAWINGS
2-11-25	DWE	REVISED
5-15-25	DWE	REVISED PRELIMINARY DRAWINGS
7-14-25	DWE	REVISED PRELIMINARY DRAWINGS

FRONT ELEVATION

ADDITION/REMODELING

MAST RESIDENCE

1045 LONG CORNER RD.
MT. AIRY, MD 21771



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SHEET NO.
A-3

PROJ. NO.: 1359



REAR ELEVATION
EXISTING CONDITIONS

SCALE: 1/4"=1'-0"



REAR ELEVATION
PROPOSED ADDITIONS

SCALE: 1/4"=1'-0"



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1-21-25	DWR	PROGRESS DRAWINGS
2-11-25	PHE	REVISIONS
3-15-25	PHE	REVISED PRELIMINARY DRAWINGS
5-27-25	PHE	REVISED PRELIMINARY
7-14-25	PHE	PERMIT DRAWINGS

REAR ELEVATION

ADDITION/REMODELING

MAST RESIDENCE

1045 LONG CORNER RD.
MT. AIRY, MD 21771

SHEET NO.
A-4

PROJ. NO.: 1359

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LEFT-SIDE ELEVATION

PROPOSED ADDITIONS

SCALE: 1/4"=1'-0"



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2-11-25	HFE	REVISED
5-6-25	HFE	REVISED PRELIMINARY DRAWINGS
5-27-25	HFE	REVISED PRELIMINARY
7-14-25	HFE	PERMIT DRAWINGS

LEFT-SIDE ELEVATION

ADDITION/REMODELING

MAST RESIDENCE

1045 LONG CORNER RD.
MT. AIRY, MD 21771

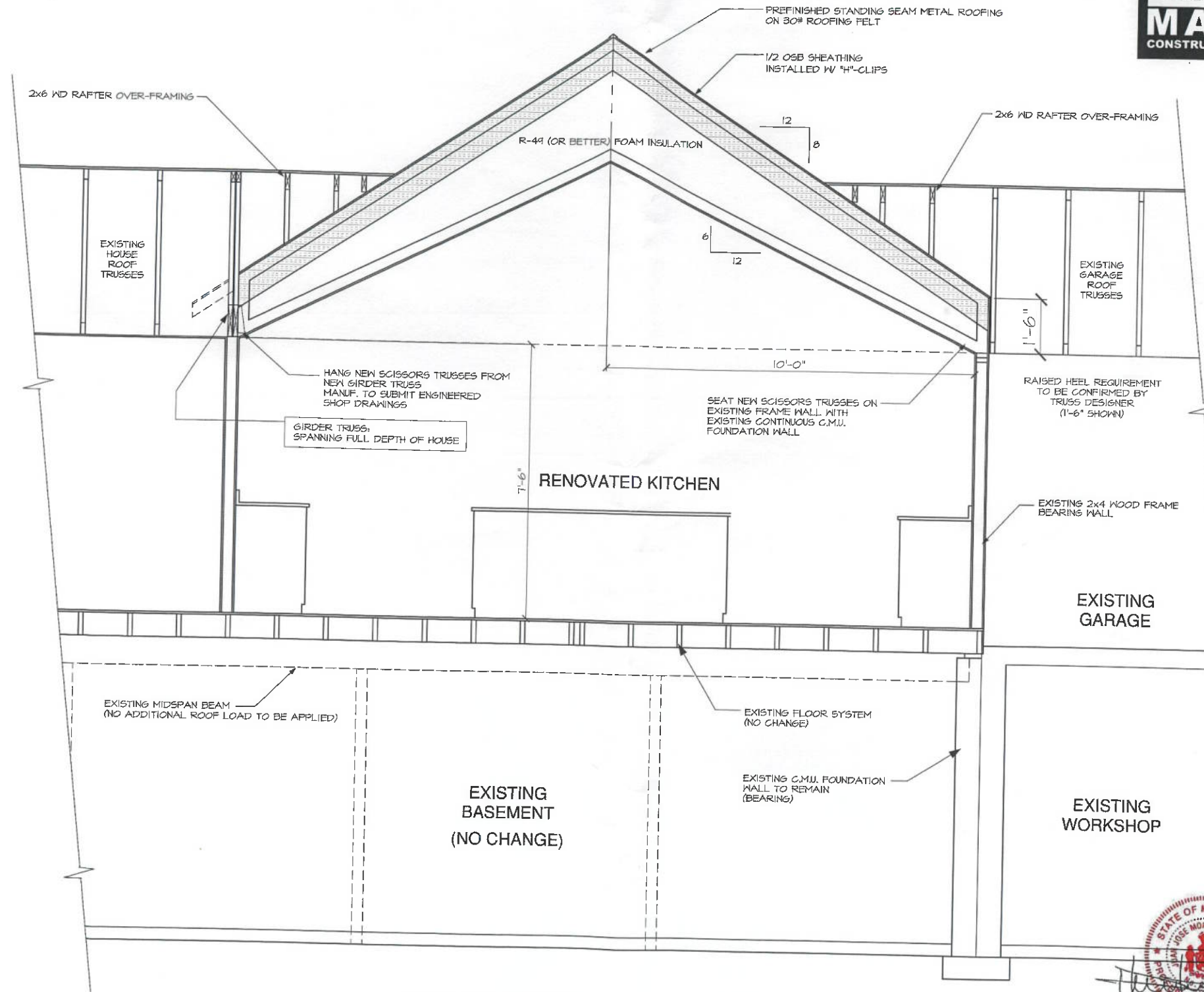
SHEET NO.
A-5

PROJ. NO.: 1359



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CROSS-SECTION "A"

SCALE: 1/2"=1'-0"



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ISSUE DATE	REMARKS
1-21-25	DME PRELIMINARY DRAWINGS
2-11-25	DME REVISIONS
3-13-25	DME REVISED PRELIMINARY DRAWINGS
5-27-25	DME REVISED PRELIMINARY
7-14-25	DME PERMIT DRAWINGS

CROSS SECTION "A"

ADDITION/REMODELING

MAST RESIDENCE
1045 LONG CORNER RD.
MT. AIRY, MD 21771

SHEET NO.
A-6

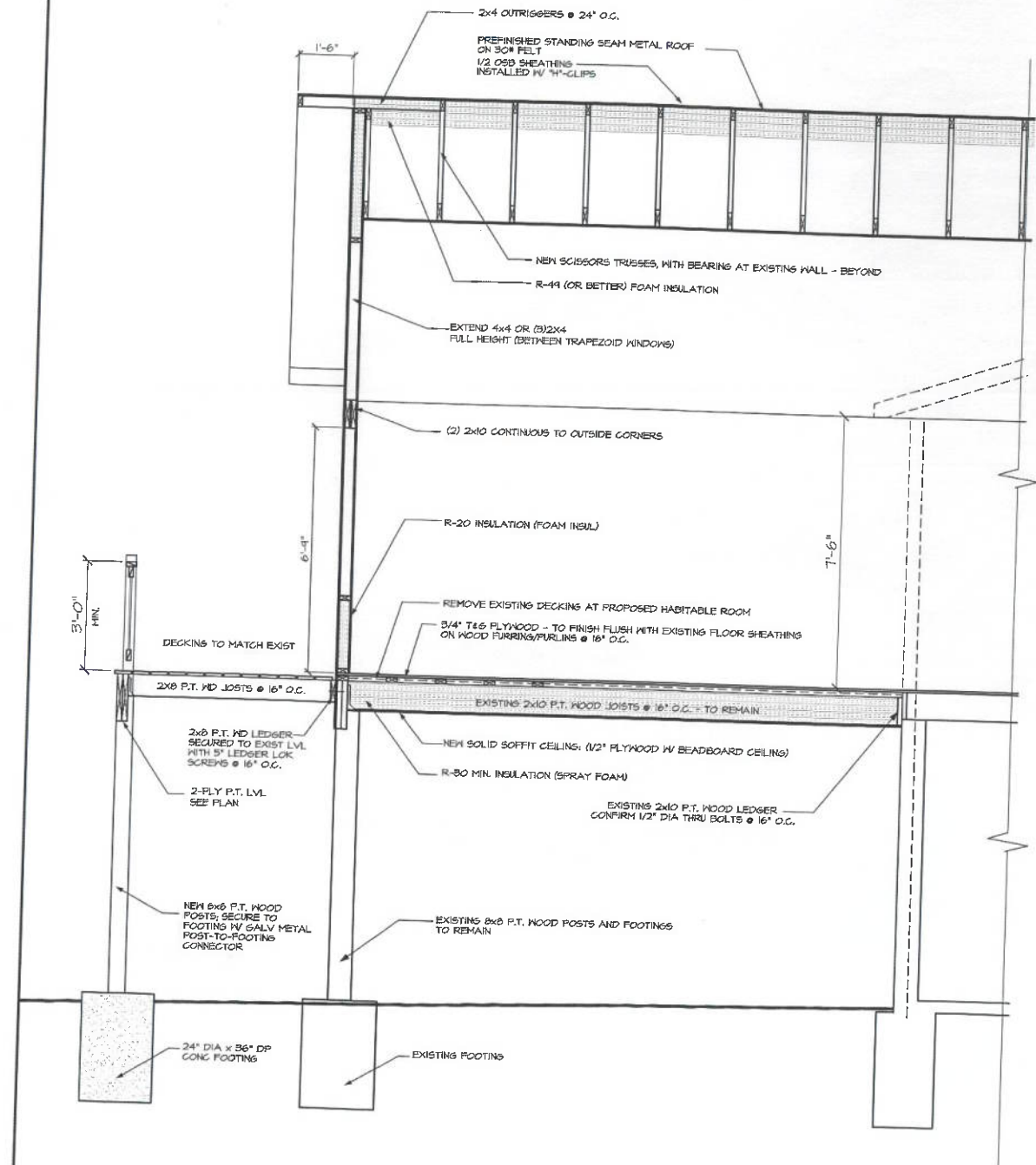
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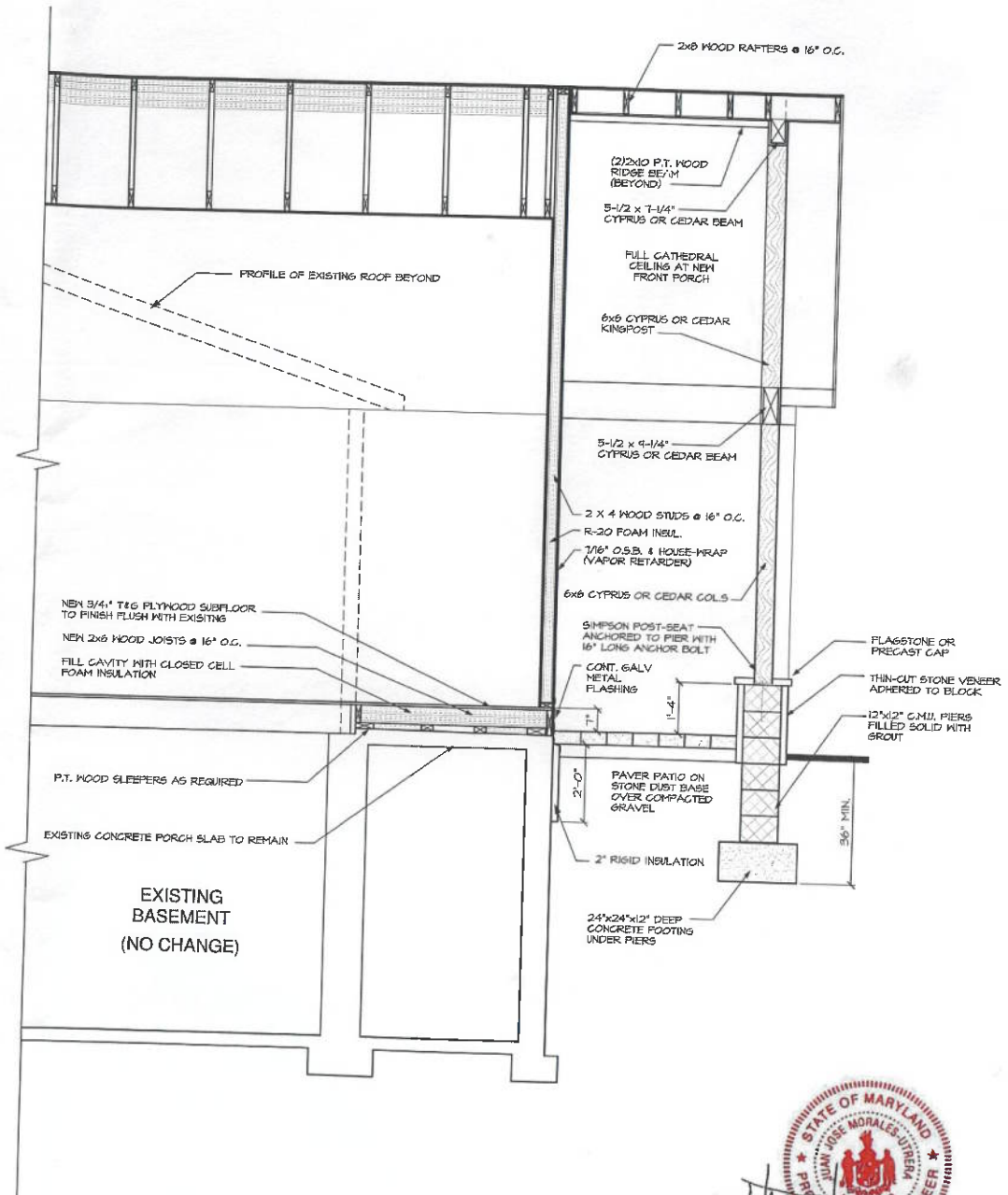
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CROSS-SECTION "B2"

SCALE: 3/8"=1'-0"



CROSS-SECTION "B1"

SCALE: 3/8"=1'-0"



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ISSUE	DATE	DRAWN BY	REMARKS
1	1-21-25	DWE	PROGRESS DRAWINGS
2	2-11-25	DWE	REVISIONS
3	3-6-25	DWE	REVISED PRELIMINARY DRAWINGS
4	3-21-25	DWE	REVISED PRELIMINARY
5	4-14-25	DWE	PERMIT DRAWINGS

CROSS SECTION "B"

ADDITION/REMODELING

MAST RESIDENCE

1045 LONG CORNER RD.

MT. AIRY, MD 21771

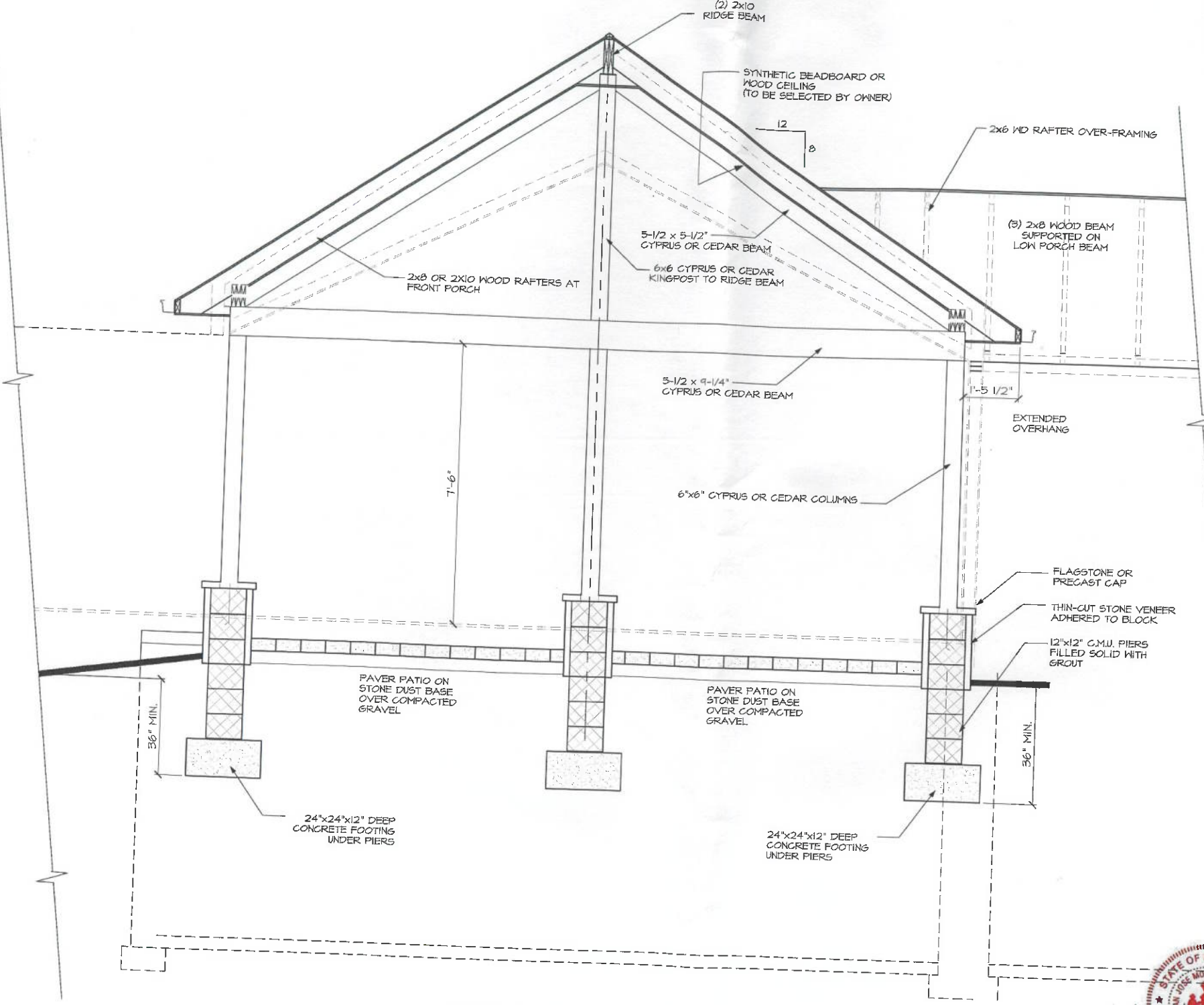
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A-7

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CROSS-SECTION "C"
SCALE: 1/4"=1'-0"



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ISSUE DATE	DRAWN	REMARKS
1-21-25	DWA	PROGRESS DRAWINGS
2-11-25	MHE	REVISIONS
5-21-25	MHE	REVISED PRELIMINARY DRAWINGS
7-14-25	MHE	PERMIT DRAWINGS

CROSS SECTION "C"

ADDITION/REMODELING

MAST RESIDENCE

1045 LONG CORNER RD.
MT. AIRY, MD 21771

SHEET NO.
A-8

PROD. NO.: 1359

Proposed Addition and Renovation

The MAST Residence

1045 Long Corner Rd.
Mt. Airy, MD - Howard County



VICINITY MAP

OWNER: DOUGLAS AND DINAH MAST
1045 LONG CORNER ROAD
MT. AIRY, MD

DESIGNER: CADDWORKS, INC.
332 WEST PATRICK STREET
FREDERICK, MARYLAND 21701

STRUCTURAL: STRUCTURAL ENGINEERING UNLIMITED

BUILDER: MAST CONSTRUCTION, LLC



DRAWING INDEX

- CVR COVER PAGE
G-1 GENERAL NOTES
EX-1 BASEMENT PLAN - EXISTING CONDITIONS
EX-2 FIRST FLOOR PLAN - EXISTING CONDITIONS
A-1 BASEMENT/FOUNDATION PLAN
A-2 FIRST FLOOR PLAN
A-3 FRONT ELEVATION
A-4 REAR ELEVATION
A-5 LEFT-SIDE ELEVATION
A-6 CROSS-SECTION "A"
A-7 CROSS-SECTION "B"
A-8 CROSS-SECTION "C"

SCOPE OF WORK

- DEMOLITION:
• REMOVAL OF THE CENTRAL PORTION OF THE
AND EXISTING FRONT PORCH ROOF
- CONSTRUCTION
• EXTENSION OF LIVING SPACE OVER THE EXISTING
FRONT PORCH FOUNDATION AND OVER THE
REAR DECK
258 S.F. PLUS 104 S.F.
• NEW FRONT COVERED PORCH - 125 S.F.
• NEW DECK EXTENSION (CONNECTING DECKS)
163 S.F.
• KITCHEN RENOVATION

ALL WORK IS TO COMPLY WITH IRC 2021
INTERNATIONAL RESIDENTIAL BUILDING CODE



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2-11-25	MHE	REVISED
5-15-25	MHE	REVISED PRELIMINARY DRAWINGS
8-27-25	MHE	REVISED PRELIMINARY
7-14-25	MHE	FINAL DRAWINGS

COVER PAGE

ADDITION/REMODELING

MAST RESIDENCE

1045 LONG CORNER RD.
MT. AIRY, MD 21771

SHEET NO.

COV

PROJ. NO.: 1359



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GENERAL NOTES

BUILDING CODES:

- ALL CONSTRUCTION SHALL CONFORM WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC).
- ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL CODES/AMENDMENTS.

DESIGN CRITERIA:

- THE DESIGN DEAD LOADS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE GENERAL NOTES.
- THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:
FLOOR LOAD (U₀) LL=40 PSF / DL=10 PSF
SLEEPING RMS. / ATTIC WITH FIXED STAIR LL=30 PSF / DL=10 PSF
GARAGE FLOOR LL=50 PSF / 2000# POINT
ROOF LIVE LOAD MIN. 30 PSF
ATTIC AND TRUSS BOTTOM CHORD LL=20 PSF (LIMITED STORAGE)
LL=10 PSF (NO STORAGE)
- ROOF SNOW LOAD DESIGN CRITERIA:
GROUND SNOW LOAD (P_g)= 30 PSF
FLAT ROOF SNOW LOAD (P_f)= 21 PSF
EXPOSURE FACTOR (C_e)= 1
IMPORTANCE FACTOR (I)= 1
- WIND LOAD DESIGN CRITERIA:
BASIC WIND SPEED= 15 MPH
TOPOGRAPHIC EFFECTS= NO
WIND EXPOSURE= B
IMPORTANCE FACTOR (I)= 1
- EARTHQUAKE LOAD DESIGN CRITERIA:
SEISMIC DESIGN CATEGORY= B
- SUBJECT TO DAMAGE FROM:
WEATHERING SEVERE
FROST LINE DEPTH 30"
TERMITE YES
- TEMPERATURE AND FLOODING:
WINTER DESIGN TEMPERATURE 12° F
ICE BARRIER UNDERLAYMENT REQUIRED AS DETERMINED BY PLANING & FLOOD HAZARDS ZONING DEPARTMENT
AIR FREEZING INDEX GREATER THAN 1500
MEAN ANNUAL TEMPERATURE 52° F
RADON PROTECTION REQUIRED YES
- THE STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION INCLUDING SOILS ON WALLS FROM BACK FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTOR'S RESPONSIBILITY.

SPREAD FOOTING FOUNDATIONS:

- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISH GRADE FOR FROST PROTECTION.
- ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.

CONCRETE SLAB-ON-GRADE:

- ALL SLABS ON GRADE, UNLESS OTHERWISE NOTED, SHALL CONSIST OF A 4 INCH THICK CONCRETE SLAB REINFORCED WITH ONE LAYER OF 6"x6"-W4X4 WELDED WIRE FABRIC AND PLACED OVER A 6 MIL POLYETHYLENE VAPOR RETARDER AND 4 INCHES OF COMPACTED GRANULAR BASE. ALL EDGES OF VAPOR RETARDER SHALL BE LAPPED A MINIMUM OF 6 INCHES AND TAPED. MAXIMUM AGGREGATE SIZE OF GRANULAR BASE SHALL BE 1/2 INCH.
- FILL DEPTHS UNDER SLAB SHALL NOT EXCEED 24 INCHES FOR CLEAN SAND OR GRAVEL AND 8 INCHES FOR COMPACTED SOIL. SLABS ON GREATER FILL SHALL BE ENGINEERED SUPPORTED SLABS. COORDINATE WITH ENGINEER WHERE REQUIRED.
- PLACE CONCRETE PER ACI 302. CONTRACTOR SHALL READ, UNDERSTAND & FOLLOW GUIDELINES SET FORTH FOR PREPARING SUBGRADE, PLACING, CONSOLIDATING, FINISHING AND CURING CONCRETE SLABS.

CAST IN PLACE CONCRETE:

- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)" AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)".
- IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
 - RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).
 - RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).
 - RECOMMENDED PRACTICE FOR CONCRETE FORM WORK (ACI 347).
- ALL CONCRETE, UNLESS OTHERWISE NOTED, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5%-7%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1" AND MAXIMUM SLUMP SHALL BE 4" (3" FOR SLABS ON GRADE). ALL CONCRETE, EXCEPT FOOTINGS, SHALL CONTAIN A WATER REDUCING ADMIXTURE. PORTLAND CEMENT SHALL CONFORM TO ASTM C150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C33.
- ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615 GRADE 60. ALL WELDED WIRE FABRIC (WUF) SHALL CONFORM TO ASTM A185. LAP ALL REINFORCING BARS A MINIMUM OF 48XBAR DIA. (EX - LAP 1/2" BAR 24") AND ALL WUF, A MINIMUM OF TWO FULL GRIDS, UNLESS OTHERWISE INDICATED.

STRUCTURAL AND MISCELLANEOUS STEEL:

- ALL STEEL CONSTRUCTION SHALL CONFORM TO THE THIRTEENTH EDITION OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN" AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A572 GRADE 50 OR ASTM A36 AT THE CONTRACTORS OPTION.
- ALL MISCELLANEOUS STEEL (ANGLES, PLATES, ETC) SHALL CONFORM TO ASTM A36 HAVING A MINIMUM YIELD STRENGTH OF F_y=36,000 PSI.
- ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A501 HAVING A MINIMUM YIELD STRENGTH OF F_y=36,000 PSI OR TO ASTM A53, TYPE "E" OR "B" GRADE "B", HAVING A MINIMUM YIELD STRENGTH OF F_y=35,000 PSI.
- ALL STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE "B", HAVING A MINIMUM YIELD STRENGTH OF F_y=46,000 PSI.
- ALL CONNECTIONS, UNLESS OTHERWISE NOTED, SHALL BE DOUBLE ANGLE OR SINGLE PLATE SHEAR CONNECTIONS DESIGNED AND DETAILED IN ACCORDANCE WITH THE AISC "STEEL CONSTRUCTION MANUAL" WITH A MINIMUM EDGE DISTANCE OF 1-1/2 INCHES AND BOLT SPACING OF 3 INCHES.
- THE CONTRACTOR SHALL NOT SPICE OR CUT OPENINGS IN STEEL MEMBERS NOT SHOWN ON CONTRACT DRAWINGS WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.

WOOD FRAMING:

- ALL WOOD FRAMING SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- ALL NEW LUMBER SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER. ALL NEW PRESSURE TREATED LUMBER SHALL BE SOUTHERN PINE NO. 2 OR BETTER.
- NAILING OF ALL WOOD FRAMING SHALL MEET THE MINIMUM RECOMMENDED REQUIREMENTS PROVIDED IN THE NAILING SCHEDULE OF THE IRC BUILDING CODE.
- PROVIDE DOUBLE JOISTS OR HEADERS ALONG EACH SIDE OF FLOOR OR ROOF OPENINGS, UNDER THE CENTERLINE OF PARTITION WALLS PARALLEL TO JOIST SPANS, AND ABOVE ALL WALL OPENINGS UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL CUT OR NOTCH THE WOOD FRAMING ONLY AS REQUIRED AND IN ACCORDANCE WITH THE IRC BUILDING CODE, THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, OR AS SHOWN ON THE CONTRACT DRAWINGS.
- PROVIDE DOUBLE OR TRIPLE STUDS AT ALL CORNERS, SIDES OF OPENINGS, AND BENEATH ALL WOOD BEAMS AND LINTELS, UNLESS OTHERWISE INDICATED.
- WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE'S "NATIONAL DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" FOR THE DESIGN LOADS INDICATED ON THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL INCLUDING MEMBER LAYOUT, WOOD SPECIES AND GRADE, MEMBER SIZES, TRUSS BEARING CONNECTION DETAILS, CAPACITY OF CONNECTOR PLATES AND THE SIZE AND LOCATION OF ALL REQUIRED BRIDGING. THE CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE APPLICABLE STATE OR JURISDICTION REVIEWING THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE TRUSS TIES EQUIVALENT TO OR BETTER THAN THE UPLIFT LOADS INDICATED ON THE TRUSS SHOP DRAWINGS.

STAIRS, HANDRAILS and GUARDS:

- STAIRS SHALL COMPLY WITH SECTION R311 OF THE IRC. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT, 31.5 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE, 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
- MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES.
- MAXIMUM STAIR RISER HEIGHT SHALL BE 7-3/4 INCHES AND MINIMUM TREAD DEPTH SHALL BE 10 INCHES, UNLESS NOTED OTHERWISE IN CONTRACT DRAWINGS.
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. HANDRAILS SHALL BE A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE TREAD NOSING.
- PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT.
- REQUIRED GUARDS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.

INSULATION & MOISTURE PROTECTION:

- PROVIDE 30 LB. BUILDING FELT OR PAPER AT BRICK VENEER WITH FLASHING AT OPENINGS TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.
- PROVIDE MINIMUM ONE LAYER OF 15 LB. ROOFING FELT AT THE ROOF TO PROVIDE A WATER-RESISTANT BASE FOR FIBERGLASS COMPOSITION ROOF SHINGLES.
- AN ICE BARRIER, IF REQUIRED, THAT CONSISTS OF TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- PROVIDE INSULATION TO ACHIEVE MINIMUM R-VALUES AS FOLLOWS:
CEILING: R-41 (R-38 IF UNCOMPRESSED EXTENDS OVER HALL TOP PLATE)
EXTERIOR FRAME WALLS: R-20 (TOTAL WALL ASSEMBLY)
BASEMENT (CONCRETE) WALLS: R-10 CONTINUOUS
R-18 CAVITY
FLOORS OVER UNCONDITIONED SPACE: R-19
WINDOWS / GLASS DOORS: U-FACTOR ≤ 0.28
SKYLIGHTS: U-FACTOR ≤ 0.55
- THE CONTRACTOR SHALL PROVIDE CORROSION-RESISTANT METAL FLASHING ABOVE ALL WINDOW AND DOOR OPENINGS TO PREVENT MOISTURE PENETRATION. SIMILAR FLASHING SHALL BE PROVIDED AT ROOF VALLEYS AND ROOF OPENINGS, MOOD OR METAL COPINGS AND SILLS.
- THE CONTRACTOR SHALL PROVIDE PERFORATED SOFFITS AT THE ROOF EAVES AND A CONTINUOUS RIDGE VENT AT THE ROOF TO PROVIDE REQUIRED ATTIC VENTILATION.

SPECIALTIES:

- SMOKE ALARMS SHALL COMPLY WITH SECTION R314 OF THE IRC. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE HOUSE INCLUDING THE BASEMENT.
- SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE HOUSE WIRING. WHEN PRIMARY POWER IS INTERRUPTED, SMOKE ALARMS SHALL RECEIVE POWER FROM A BATTERY.
- CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315 OF THE IRC. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- CARBON MONOXIDE ALARMS ARE REQUIRED IN DWELLING UNITS WHICH HAVE FUEL-FIRED APPLIANCES OR ATTACHED GARAGES.

MECHANICAL, ELECTRICAL & PLUMBING:

- H.V.A.C. DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- ELECTRICAL DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- PLUMBING DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED PLUMBING CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- IF REQUIRED, FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED BY LICENSED SPRINKLER CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.

MASONRY - BRICK VENEER:

- ALL BRICK VENEER CONSTRUCTION TO BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR ENGINEERED BRICK MASONRY" BY THE BRICK INSTITUTE OF AMERICA AND IRC 2018 REQUIREMENTS.
VENEER BRICK _____ ASTM C216, GRADE 5M
MORTAR _____ ASTM C270, TYPE S
- BRICK VENEER SHALL BE ATTACHED TO WOOD FRAMING WITH 1/8" x 7" LONG 22 GAUGE STANDARD CORRUGATED WALL TIES. THE TIES SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION CONFORMING TO ASTM A-159 CLASS B2. SPACING OF ANCHORS AND TIES SHALL BE 6" O.C. MAX. VERTICAL AND 24" O.C. MAX. HORIZONTAL. FOR BRICK VENEER WALLS TALLER THAN 28'-0" BUT NOT EXCEEDING 40'-0" IN HEIGHT, PROVIDE D1X10" SERIES VENEER ANCHORS BY HOBAS AND BARBARO OR APPROVED EQUIVALENT AT 16" O.C. VERTICAL AND 24" O.C. HORIZONTAL. ATTACH ALL TIES WITH (2)16 x 1-1/4" SCREWS PER STUD. PROVIDE KEEPS HOLES HORIZONTALLY AT 2'-0" O.C.
- COORDINATE OPENINGS WITH LINTEL SCHEDULE.
- ALL MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH THE NATIONAL CONCRETE MASONRY ASSOCIATION'S STANDARD PRACTICES AND "SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD-BEARING CONCRETE MASONRY" OR ACI 531 "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES". ALL MASONRY TO CONFORM TO THE FOLLOWING SPECIFICATIONS:
- HOLLOW LOAD-BEARING CMU _____ ASTM C40
- SOLID LOAD-BEARING CMU _____ ASTM C45
- MORTAR _____ ASTM C270, TYPE M OR S

- CMU UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF F_m = 1500 PSI. CONTRACTOR SHALL PROVIDE SPECIAL TEST AND INSPECTION FOR THE LOCATION OF THE REINFORCEMENT AND DURING CONSTRUCTION OF CMU WALL.
- JOINT REINFORCING: PROVIDE TRUSS TYPE ZINC COATED, COLD DRAWN STEEL WIRE CONFORMING TO ASTM A82 DIAGONAL OR EQUIVALENT AT EVERY OTHER BLOCK COURSE ABOVE GRADE. REINFORCEMENT SHOULD CONSIST OF TWO OR MORE LONGITUDINAL WIRES NO. 4 GAUGE OR LARGER, WELD CONNECTED WITH NO. 12 GAUGE OR LARGER CROSS WIRES. ZINC COATING
- GROUT OR FEA GRAVEL CONCRETE USED FOR FILLING UNIT CELLS OF MASONRY SHALL CONFORM TO ASTM C416 AND SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI ON THE NET AREA AT 28 DAYS.

WINDOWS AND DOORS:

- ALL WINDOW NUMBERS INDICATE MODEL NUMBERS FOR "GENERIC" WINDOW UNITS.
- WINDOWS INDICATED ON DRAWINGS AS "EGRESS" SHOULD MEET BUILDING CODE REQUIREMENTS PER SECTION R310 OF THE IRC.
- WINDOWS IN DOORS, SIDE LIGHTS AND WINDOWS WITHIN 24" OF DOORS SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION R308 OF THE IRC.
- GLASS AT TUBS AND SHOWER ENCLOSURES SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION R308 OF THE IRC.

PROJECT GENERAL NOTES:

- ALL DIMENSIONS ARE FROM OUTSIDE FACE OF FRAMING AND ARE AS FOLLOWS (U.O.N.):
INTERIOR PARTITIONS = 3-1/2" (2x4 WOOD STUDS @ 16" O.C.)
3-1/2" (2x6 WOOD STUDS @ 16" O.C.)
EXTERIOR WALLS (INSULATED) = 6" (2x6 STUDS @ 16" O.C. PLUS 1/2" SHEATHING)
EXTERIOR WALLS (NON-INSULATED) = 4" (2x4 STUDS @ 16" O.C. PLUS 1/2" SHEATHING)
- THE CONTRACTOR AND HIS ASSOCIATED SUBCONTRACTORS ARE RESPONSIBLE TO THOROUGHLY REVIEW ALL DRAWINGS. ANY INCONSISTENCIES OR ERRORS ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION OR CORRECTION PRIOR TO THE START OF CONSTRUCTION OR MANUFACTURING OF PRE-FABRICATED COMPONENTS.
- IF THE CONTRACTOR MODIFIES OR DEVIATES FROM THESE PLANS FOR ANY REASON WITHOUT NOTIFYING CADDWORKS, INC., THE PLANS CODE COMPLIANCE BECOMES THE CONTRACTOR'S RESPONSIBILITY.
- SIZING/SPACING OF ALL PRE-ENGINEERED WOOD FRAMING PRODUCTS (MICROLANS, PARALLANS, & FLOOR/ROOF TRUSSES) TO BE ENGINEERED/VERIFIED BY MANUFACTURER.
- FLOOR FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD "I" JOISTS; MANUFACTURERS AGENT TO DESIGN JOIST LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS, FLOOR SYSTEM TO BE DESIGNED WITH 1400 LIVE LOAD DEFLECTION MIN. 1/600 IN AREAS TO BE FINISHED WITH TILE.
- ROOF FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD TRUSSES; MANUFACTURERS AGENT TO DESIGN TRUSS LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS.
- THE STAIR MANUFACTURER SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO FABRICATION OF STAIR STAIR TO BE BUILT IN COMPLIANCE WITH ALL APPLICABLE CODES.
- THESE DOCUMENTS ARE NOT TO BE SCALED. DIMENSIONS SHOWN ON ANY DRAWINGS, ANY OMISSIONS OR AREAS OF DISCREPANCY SHALL BE REFERRED TO CADDWORKS, INC. PRIOR TO CONSTRUCTION.



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a professional engineer duly licensed under the laws of the State of Maryland.
License No. 24518 Expiration Date: 9/21/2025

SUBMITTALS

ISSUE	DATE	REVISIONS	REMARKS
1-27-25	DATE	PROGRESS DRAWINGS	
2-1-25	DATE	REVISED PRELIMINARY DRAWINGS	
2-27-25	DATE	REVISED PRELIMINARY	
3-14-25	DATE	PERMIT DRAWINGS	

GENERAL NOTES

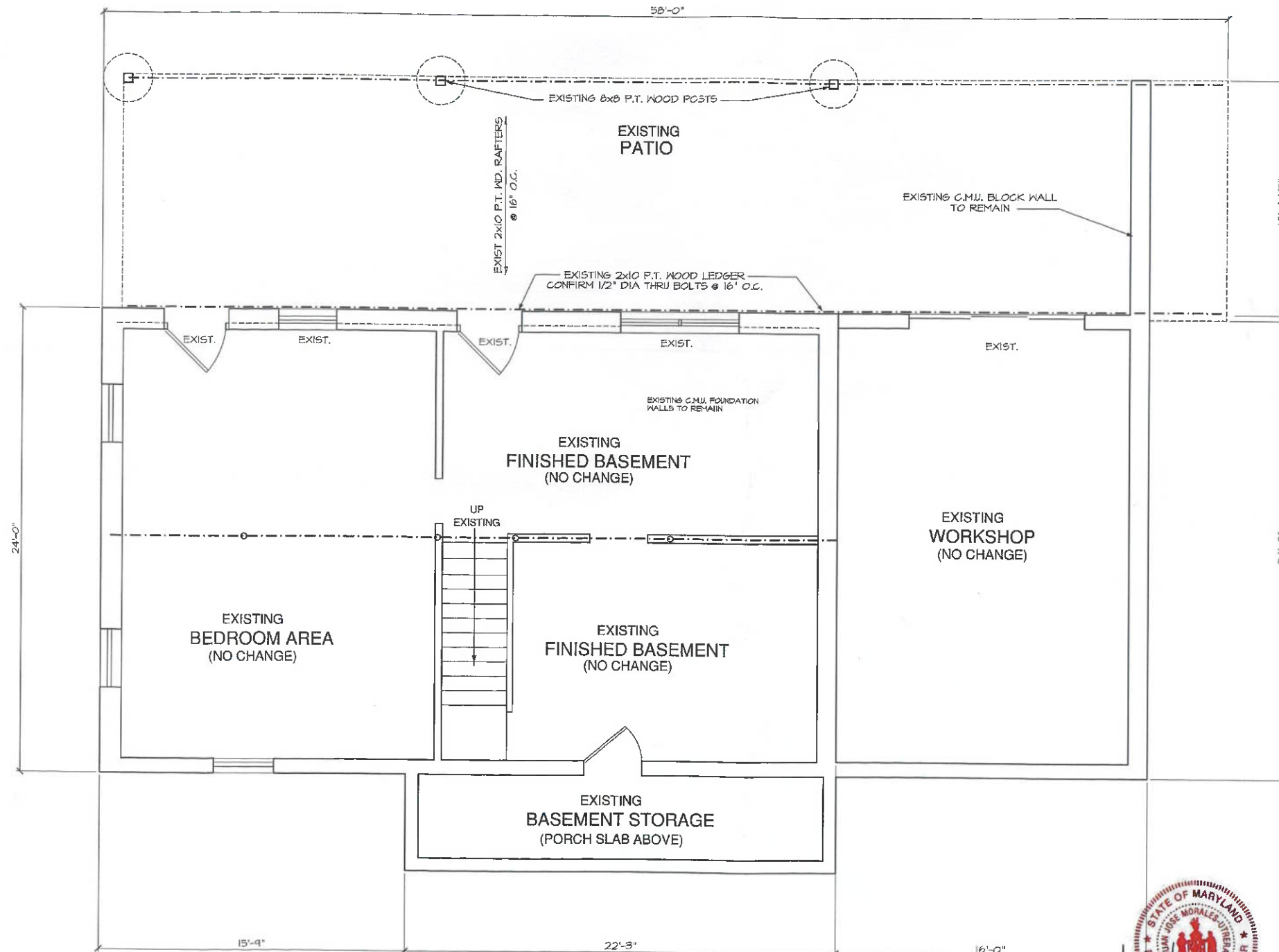
ADDITION/REMODELING

MAST RESIDENCE

1045 LONG CORNER RD.
MT. AIRY, MD 21771

SHEET NO.
G1

PROJ. NO.: 1359



BASEMENT PLAN

EXISTING CONDITIONS
NO DEMOLITION PROPOSED

SCALE: 1/4"=1'-0"



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a professional engineer duly licensed under the laws of the State of Maryland.
License No. 24518 Expiration Date: 9/21/2025



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SUBMITTALS

ISSUE DATE	DRAWN BY	REMARKS
1-21-25	DJR	PROGRESS DRAWINGS
2-1-25	MJE	REVISIONS
3-15-25	MJE	REVISED PRELIMINARY DRAWINGS
5-27-25	MJE	REVISED PRELIMINARY
7-14-25	MJE	PERMIT DRAWINGS

BASEMENT PLAN (EXISTING)

ADDITION/REMODELING

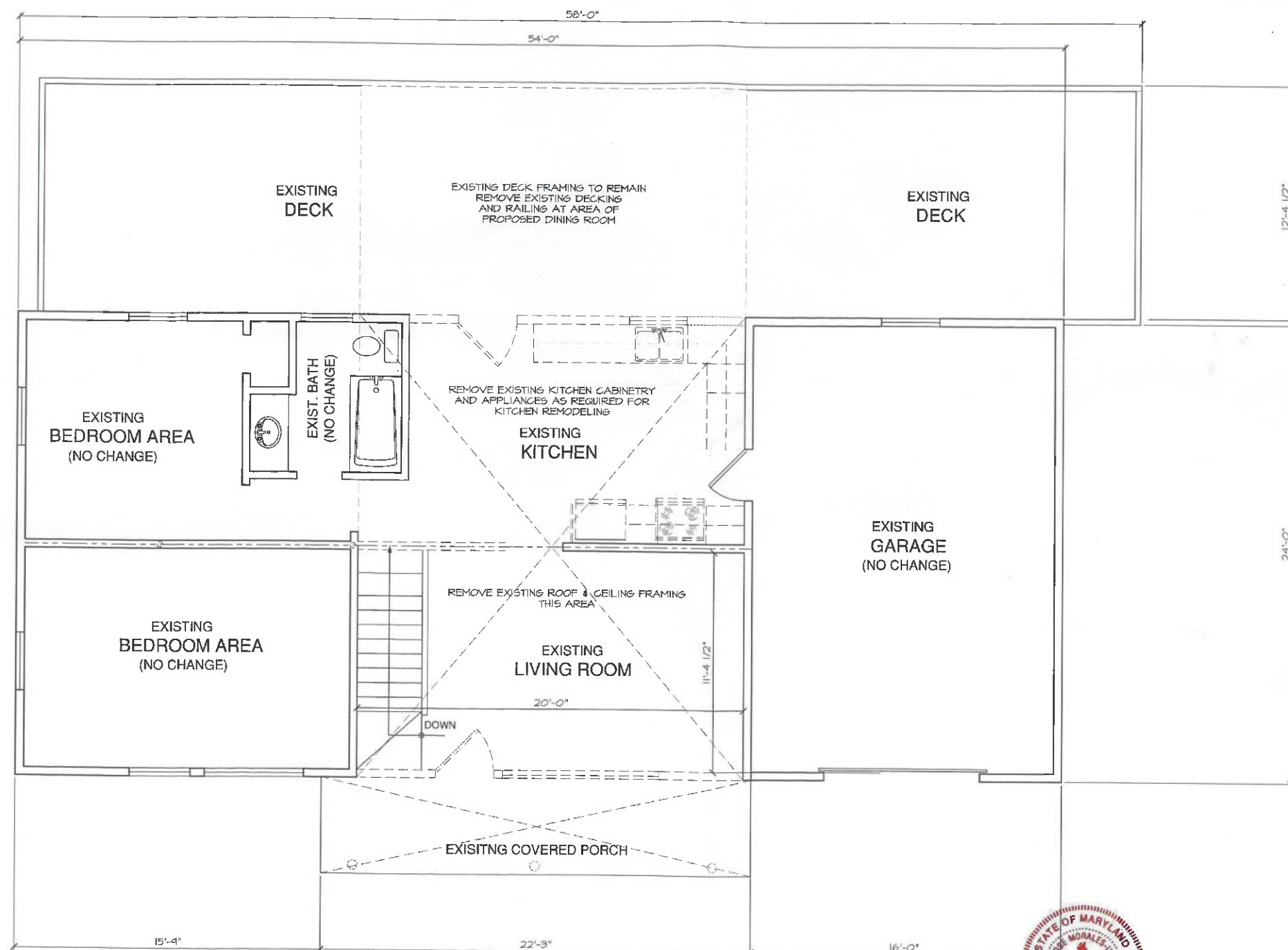
MAST RESIDENCE

1045 LONG CORNER RD.
MT. AIRY, MD 21771

SHEET NO.

EX1

PROJ. NO.: 1359



FIRST FLOOR PLAN

EXISTING CONDITIONS
WITH PROPOSED DEMOLITION

SCALE: 1/4"=1'-0"



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SUBMITTALS

ISSUE DATE	DRAWN BY	REMARKS
1-27-25	DWR	PRELIMINARY DRAWINGS
2-1-25	MHE	REVISIONS
5-15-25	MHE	REVISED PRELIMINARY DRAWINGS
8-27-25	MHE	REVISED PRELIMINARY
7-14-25	MHE	FINAL DRAWINGS

**BASEMENT PLAN
(EXISTING)**

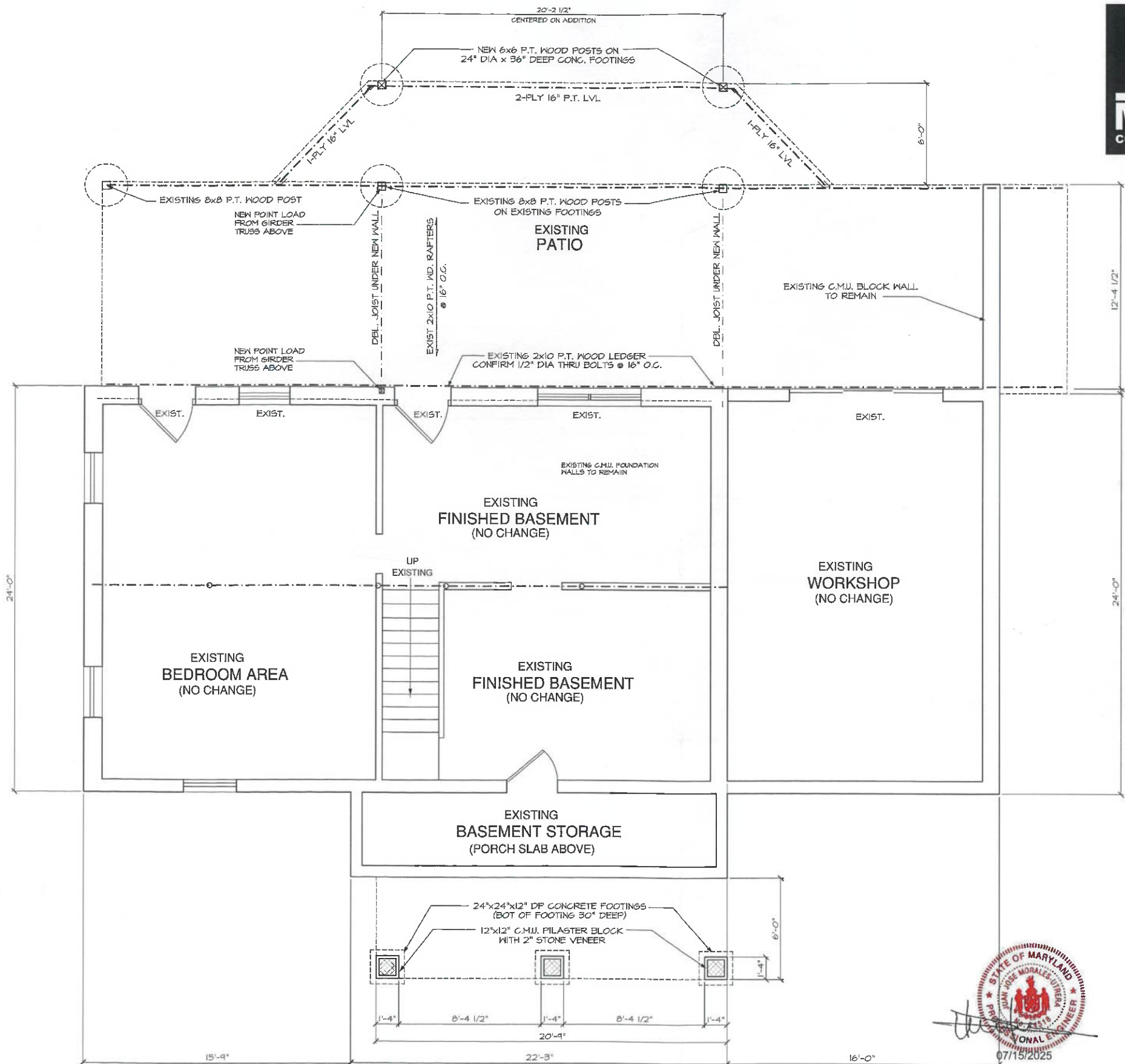
ADDITION/REMODELING

MAST RESIDENCE

1045 LONG CORNER RD.
MT. AIRY, MD 21771

SHEET NO.
EX2

PROJ. NO.: 1359



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SUBMITTALS

ISSUE DATE	DRAWN BY	REMARKS
1-27-25	DWE	PROGRESS DRAWINGS
2-11-25	HRE	REVISIONS
3-15-25	HRE	REVISED PRELIMINARY DRAWINGS
5-21-25	HRE	REVISED PRELIMINARY
7-14-25	HRE	FINAL DRAWINGS

BASEMENT FOUNDATION PLAN

ADDITION/REMODELING
MAST RESIDENCE
1045 LONG CORNER RD.
MT. AIRY, MD 21771

SHEET NO.
A-1

PROJ. NO.: 1359

BASEMENT/FOUNDATION PLAN

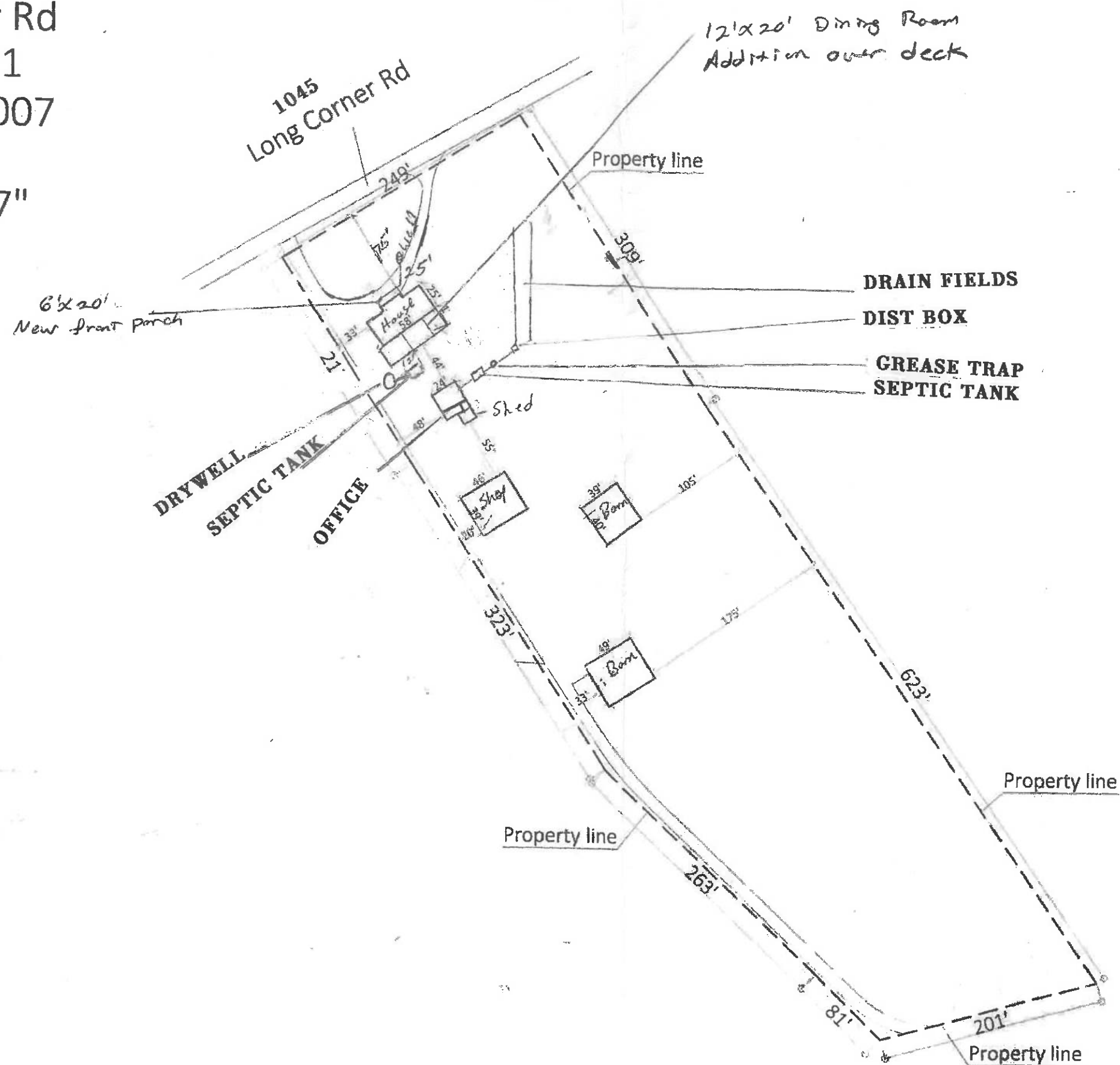
PROPOSED ADDITIONS

SCALE: 1/4"=1'-0"



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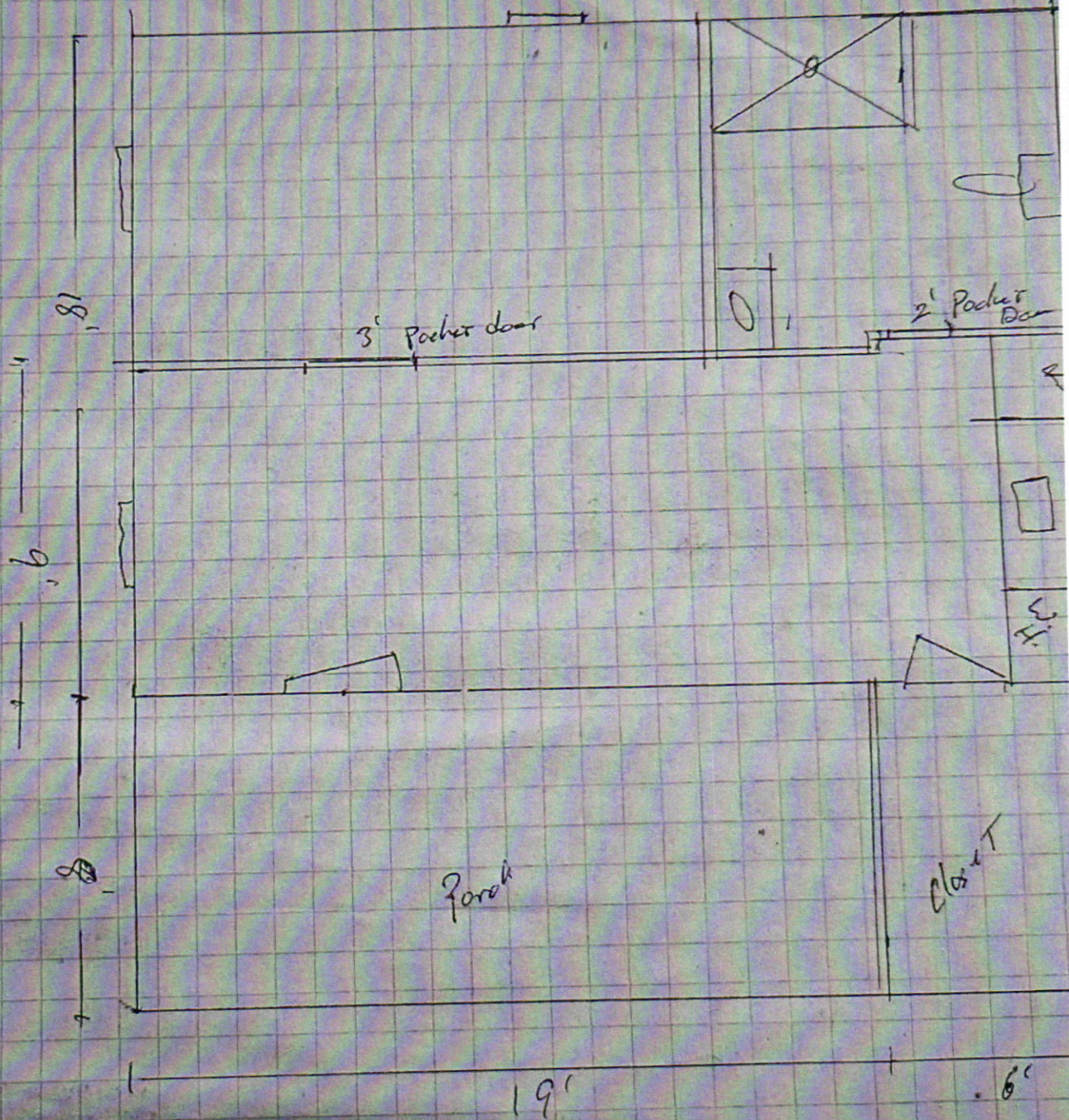
1045 Long Corner Rd
Mt Airy, MD 21771
Parcel ID: 04-329007
Lot area: 5 Acres
Paper Size: 11"x17"



This is not a Legal Survey, nor is it intended to be or replace one.

These measurements are approximate and are for illustrative purposes only.

This work product represents only generalized location of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, objects or boundary.





Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 21045
410.313.2640 - Voice/Relay
410.313.2648 - Fax
1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

APPLICATION FOR WAIVER

To Howard Co Code Subtitle 8: Onsite Sewage Disposal Systems and Subtitle 9: Individual Potable Water Supply Systems

Date Submitted: 9-15-25

Property Address: 1045 Long Corner Rd, Mt Airy, MD 20711

Subdivision _____ Lot _____ Tax Map _____ Grid _____ Parcel _____ Tax Account # _____

Provide a brief site history including previously submitted and active plans with the Health Department or the County (subdivision plans, perc test applications, Building Permit applications):

House was built in 1976. Slop was built in 2013.

In the area below, list the specific section of the Howard Co Code to which a waiver is being requested and provide a brief summary of the regulation and an explanation of why the waiver is being requested (Attach a separate sheet if necessary).

Regulation Section

1. Section 3.805 (a)

Summary and Explanation

Perc Certification Plan Requirements. Before a building permit is issued, a Perc certification plan shall be submitted and approved that complies with the provisions of this subtitle

2. _____



Property Owner's Signature

Health Department Use Only

Reviewed by

Hank Oswald
HCHD Staff

9/15/25
Date

Comments/Conditions:

- Must install bell and barrier between well + driveway + repair septic tank manhole prior to building permit approval. Any repair to septic must tie both systems together.

Approved by:


B&H Deputy Director

9/23/25
Date

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Thursday, October 23, 2025 8:01 AM
To: 'd.mast@mastconstructionllc.com'
Subject: RE: Waiver Form_1045 Long Corner Road

Hi Douglas,

Good morning. I received your email with the pics of the new tank lid and boulders around the well. Thanks for sending them to me. Your building permit (BP#B25002804) has been approved by the Health Department.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: d.mast@mastconstructionllc.com <d.mast@mastconstructionllc.com>
Sent: Wednesday, October 22, 2025 4:28 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: RE: Waiver Form_1045 Long Corner Road

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Good evening Hank,

I sent you the above photos in an email on Oct 2, however I am suspicious that you did not get it as I see a note on the portal that I have not responded. I have had several other people say that have not gotten my emails lately, so I am not sure what is going on. Please let me know if you get this email and what else you might need. I lost the receipt from the purchase of the manhole cover. I didn't know you would need it a threw it away. I can tell you it was purchased from WRF in Mt Airy and cost \$90.+

Thanks,
Douglas

From: Oswald Jr, Woodin [<mailto:hoswald@howardcountymd.gov>]
Sent: Tuesday, September 23, 2025 2:36 PM
To: d.mast@mastconstructionllc.com
Subject: Waiver Form_1045 Long Corner Road

Hi Douglas,

The waiver has been approved. Please take note of the comments/conditions at the bottom of the page. Please let me know when the bollards or barriers have been installed between well and driveway, and the manhole cover has been replaced. Please send me pics and a copy of the invoice for the repair/replacement of the man hole cover.

Should you have any questions, please don't hesitate to ask.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
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Oswald Jr, Woodin

From: d.mast@mastconstructionllc.com
Sent: Monday, September 15, 2025 12:32 PM
To: Oswald Jr, Woodin
Subject: RE: B25002804_1045 Long Corner Road
Attachments: SKM_C450i25091511160 11 17.pdf

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From: Oswald Jr, Woodin [mailto:hoswald@howardcountymd.gov]
Sent: Monday, September 15, 2025 9:46 AM
To: d.mast@mastconstructionllc.com
Subject: RE: B25002804_1045 Long Corner Road

Received. Thanks. As soon as I have the plat, I will forward the docs to the Deputy Director for his review.

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
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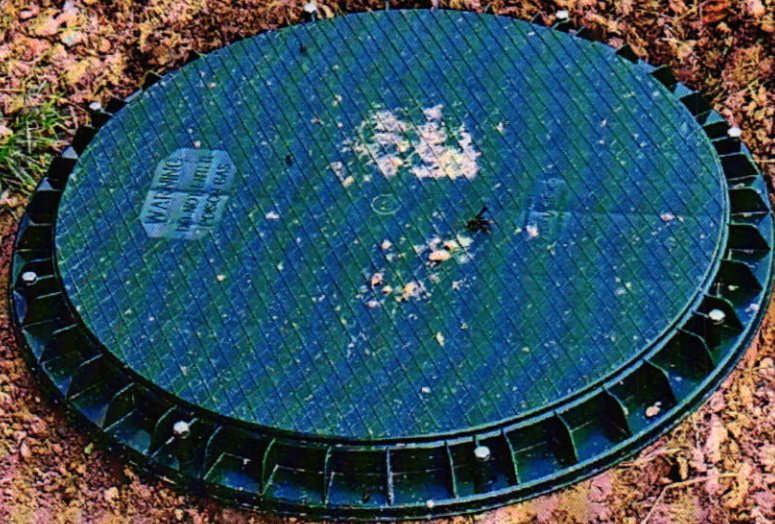
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From: d.mast@mastconstructionllc.com <d.mast@mastconstructionllc.com>
Sent: Monday, September 15, 2025 9:15 AM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: RE: B25002804_1045 Long Corner Road

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Here is the waiver. Working on the plat plan today.





I have contacted Fogles for the permit for the septic repair.

Thanks,
Douglas

From: Oswald Jr, Woodin [<mailto:hoswald@howardcountymd.gov>]
Sent: Wednesday, September 10, 2025 11:56 AM
To: d.mast@mastconstructionllc.com
Subject: RE: B25002804_1045 Long Corner Road

Hi Douglas,

I conducted my site visit yesterday morning, and met with the Deputy Director this morning. Mr. Williams is not opposed to the waiver to the perc cert plan requirements. You will need to complete, sign and return the attached waiver form. We will also need an updated site plan showing the location of the drywell cleanout for the house and the septic components serving the office (see attached office as-built drawing for location of components). I think you can squeeze these components in on your existing site plan after moving your label for the office over to the other side.

During my site visit, I observed the manhole cover was damaged, so you will need to contact a licensed septic contractor to repair it. The septic contractor must obtain a minor septic repair permit from this office to replace the manhole cover before doing the work. In addition, the well had a broken/disconnected pvc conduit, so that needs to be repaired. Lastly, the well did not meet the 10 foot setback to the driveway, so you will need to install bollards or large boulders around the well to protect it from traffic on the driveway.

Once the above aforementioned work is completed, and the waiver and has been received and approved, this office will approve the building permit.

Please send in the waiver form and updated site plan as soon as you can. You may forward the documents to me via pdf. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: d.mast@mastconstructionllc.com <d.mast@mastconstructionllc.com>
Sent: Tuesday, September 9, 2025 2:33 PM

To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Subject: RE: B25002804_1045 Long Corner Road

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Hi,

I just realized that you sent that email yesterday and the 10:00 was for today, Tuesday.

Obviously, I was not there. Let me know what you come up with.

Sincerely,

Douglas

From: Oswald Jr, Woodin [<mailto:hoswald@howardcountymd.gov>]

Sent: Monday, September 8, 2025 12:06 PM

To: Douglas Mast

Subject: RE: B25002804_1045 Long Corner Road

Hi Douglas,

Thanks for the floor plan. I need to conduct a quick site visit to put eyes on the well and septic system. I was planning on coming out tomorrow morning around 10 if that's okay. It will only take about 15 -20 minutes. You don't have to present unless you want to be.

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: Douglas Mast <d.mast@mastconstructionllc.com>

Sent: Friday, September 5, 2025 9:37 AM

To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Subject: Re: B25002804_1045 Long Corner Road

WARNING!!!

Here is a sketch of the layout inside our old office.

We used the back room for desks and the front room for a meeting space.

Douglas

On Thu, Sep 4, 2025, 11:33 AM Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hi Douglas,

I spoke with the assistant director Jeff Williams about a possible waiver to the perc cert plan requirements. He would like more information/details on the accessory structures before making a decision. Please provide details about the utility building, shop, and (2) barns. Also, please provide a simplified floor plan for the utility building which has its own septic system.

Let me know if you have any questions.

Regards,

Hank

Hank Oswald

Licensed Environmental Health Specialist

Bureau of Environmental Health

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Oswald Jr, Woodin

From: d.mast@mastconstructionllc.com
Sent: Thursday, September 4, 2025 11:58 AM
To: Oswald Jr, Woodin
Subject: RE: B25002804_1045 Long Corner Road

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Oh wow!

Ok. So, ill get exact measurements on the accessory building tonight. I had not done that yet because I didn't think it was a priority.

The shop is for working on equipment and has a woodshop in it as well.

The main barn towards the left side of our property has 4 stalls, a feed room, storage space and hayloft.

The rear barn is for hay and equipment storage.

The building labeled accessory structure right behind our house was a butcher shop when we bought it. We remodeled it and used it for an office for a few years until we outgrew it. Our office is in Lisbon now. We don't know what we are going to do with it in the long term, might be a rec center for our kids at some point. Don't have a solid plan on it yet. I'll get you a floor plan for that tomorrow.

Thanks,
Douglas

From: Oswald Jr, Woodin [mailto:hoswald@howardcountymd.gov]
Sent: Thursday, September 4, 2025 11:34 AM
To: d.mast@mastconstructionllc.com
Subject: RE: B25002804_1045 Long Corner Road

Hi Douglas,

I spoke with the assistant director Jeff Williams about a possible waiver to the perc cert plan requirements. He would like more information/details on the accessory structures before making a decision. Please provide details about the utility building, shop, and (2) barns. Also, please provide a simplified floor plan for the utility building which has its own septic system.

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Regards,

Hank

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From: d.mast@mastconstructionllc.com <d.mast@mastconstructionllc.com>

Sent: Wednesday, September 3, 2025 3:00 PM

To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Subject: RE: B25002804 1045 Long Corner Road

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Good afternoon Hank,

Regarding the perc testing. I have dug perc test holes for homeowners who needed this done. Do I need to work with a company for this, or can I work directly with the county on this? I just got quoted \$14,000.00 by sill engineering for the perc certification, and it did not include the digging for the perc test. I'm a little in shock at the price and currently checking with another engineer. So far, I have not had good success getting in touch with anybody. Seems they are all too busy to return a phone call.

I'm just hoping to find a more economical option on this.

Thanks,

Douglas

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Friday, August 8, 2025 9:19 AM
To: d.mast@mastconstructionllc.com
Subject: RE: B25002804_1045 Long Corner Road

Hi Mr. Mast,

With regard to the site plan, would you be able to revise the scale to 1:60 and still fit on 11" x 17" paper? This scale should give you enough room to show the well and septic components. The well head will be evaluated during the perc test. The simplified floor plan for the "utility shed" can be emailed directly to me in pdf.

If you have any more questions, please do not hesitate to contact me.

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
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From: d.mast@mastconstructionllc.com <d.mast@mastconstructionllc.com>
Sent: Wednesday, August 6, 2025 4:56 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: RE: B25002804_1045 Long Corner Road

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Hi Mr Oswald,

Mrs Konczal works for me and filed for the permit for me. I will be overseeing these items that you have requested for my property.

I was unaware of the county's requirement regarding the percolation certificate and sewage disposal requirements. I have contacted a local engineer and will get these documents to you for items 1 and 2 as soon as is practical. I don't know what their backlog is.

Regarding item 3. I am aware that there are 2 septic systems on the property. They are notated in the documents you sent me. Are you asking for the components of both septic systems to be on the plat plan along with all the buildings? I feel like it might get a bit confusing trying to get all that on one document. I was struggling to get all the buildings on the plat plan as it was with all their measurements etc.

Regarding #4. Who do we need to contact to evaluate the well?

Regarding #5. This is easy and I can create that very simply. Does that document get emailed to you? Or does it need to be uploaded through the portal?

Thankyou for your help.

Sincerely,
Douglas Mast
240-405-0763

From: Oswald Jr, Woodin [<mailto:hoswald@howardcountymd.gov>]
Sent: Tuesday, August 5, 2025 11:45 AM
To: a.konczal@mastconstructionllc.com
Cc: d.mast@mastconstructionllc.com
Subject: B25002804_1045 Long Corner Road

Hi Ms. Konczal,

This office is in receipt of a building permit for a 5' x 21' front addition, 12' x 21' rear addition, 6' x 21' deck, and 6' x 21' front porch. While no bedrooms are being proposed, a large living space addition triggers the following requirements:

1. Conduct perc test to formally establish a sewage disposal area on the property for future septic system repairs. There is some perc test notes in the record, but the notes are incomplete i.e. missing soil profiles.
2. Provide a percolation certification plan from an engineer.
3. Revise the site plan to show all septic system components plus the proposed 6' x 21' irregular shape deck. The septic record shows a drywell serving the house and a separate system serving the "utility building". See attachments for more details.
4. The well will be evaluated to ensure that it's at least 8 inches above grade, contains a two piece cap or a similar water tight cap, pvc conduit sits flush with cap, meets required setbacks, and all other current code requirements.
5. Provide floor plan for the "Utility Building".

I've attached some literature and a list of engineers in case you need one to assist you with these requirements. Should you have any questions, please don't hesitate to contact me.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health

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From: Oswald Jr, Woodin [<mailto:hoswald@howardcountymd.gov>]

Sent: Tuesday, August 5, 2025 11:45 AM

To: a.konczal@mastconstructionllc.com

Cc: d.mast@mastconstructionllc.com

Subject: B25002804_1045 Long Corner Road

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Hank

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Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Tuesday, September 23, 2025 2:36 PM
To: 'd.mast@mastconstructionllc.com'
Subject: Waiver Form_1045 Long Corner Road
Attachments: Waiver Form Approved_1045 Long Corner Road.pdf

Hi Douglas,

The waiver has been approved. Please take note of the comments/conditions at the bottom of the page. Please let me know when the bollards or barriers have been installed between well and driveway, and the manhole cover has been replaced. Please send me pics and a copy of the invoice for the repair/replacement of the man hole cover.

Should you have any questions, please don't hesitate to ask.

Regards,

Hank

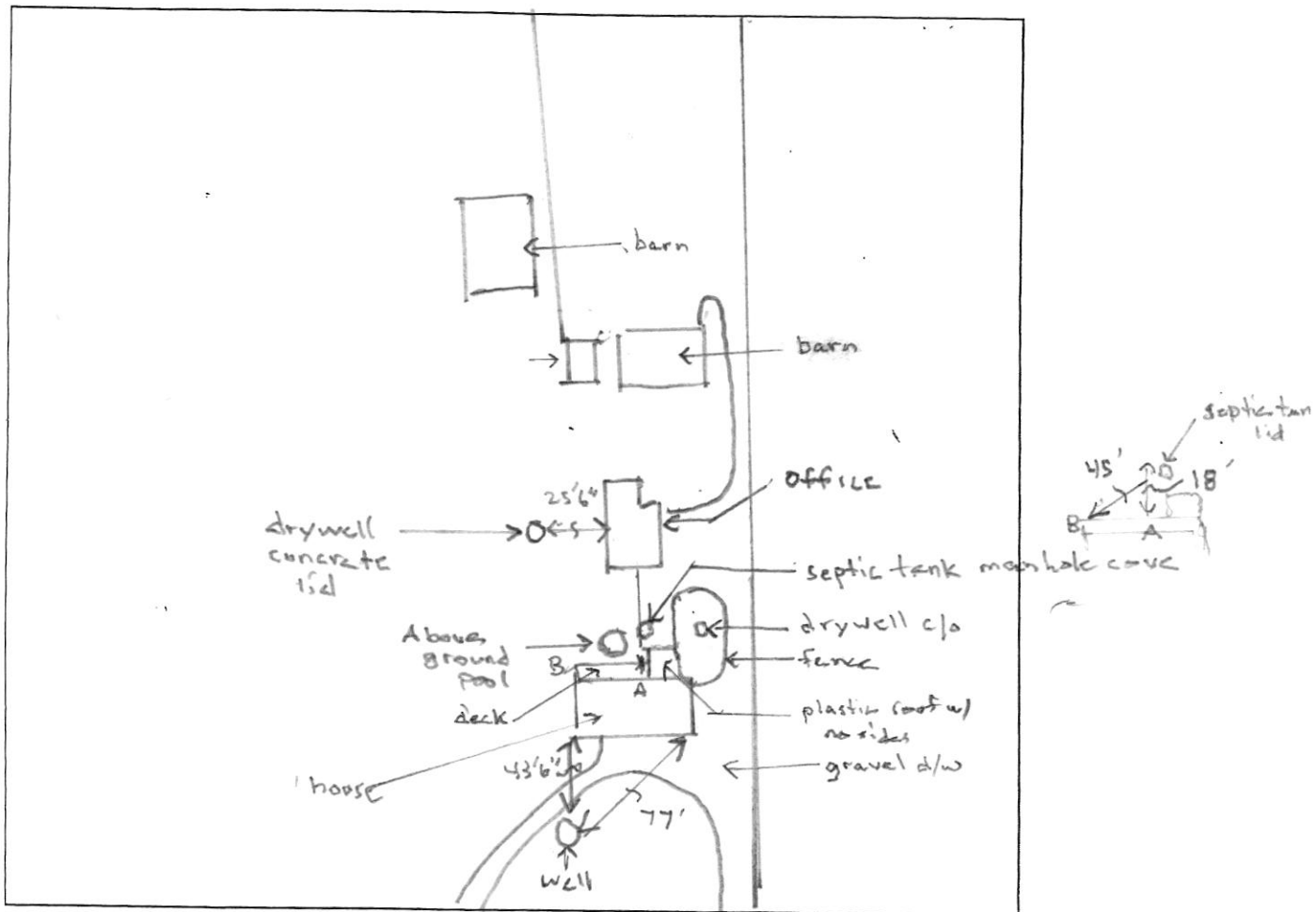
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SITE INSPECTION SHEET

OWNER: Douglas & Dinah Mast PHONE #: _____
ADDRESS: 1045 Long Corner Rd CONTRACTOR: _____
Mt. Airy MD 21771 WELL TAG #: _____
SUBDIVISION: _____ LOT: _____ COUNTY #: _____
PROPOSAL: Living space addition

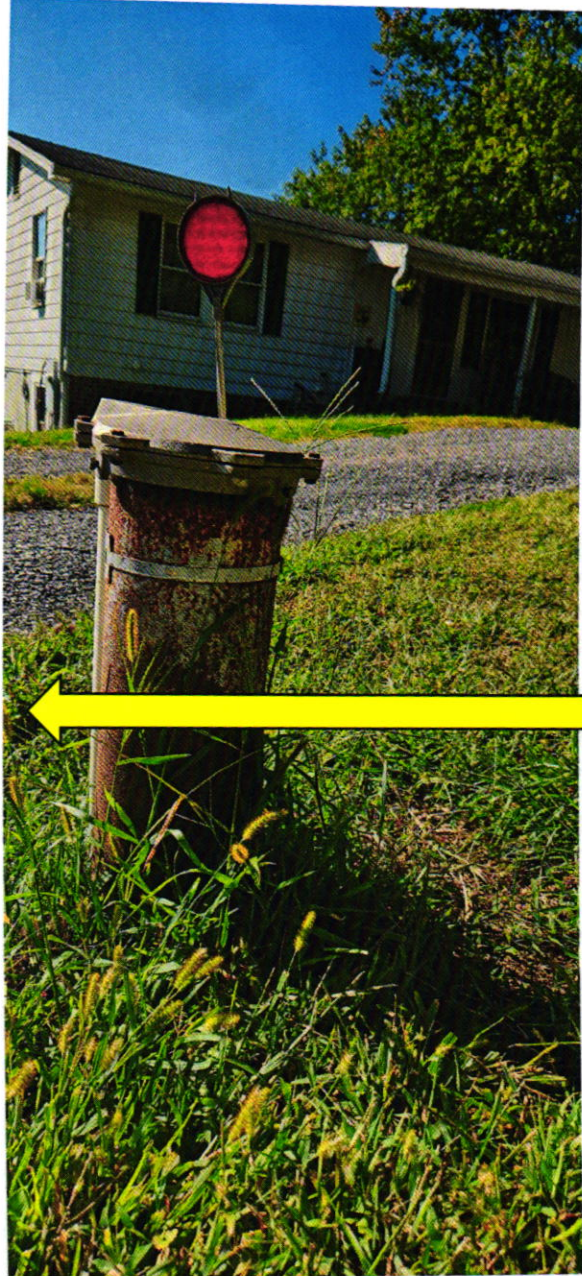
LOCATION DIAGRAM



COMMENTS: Well is located 3' from d/w. PVC conduit is disconnected from well cap.

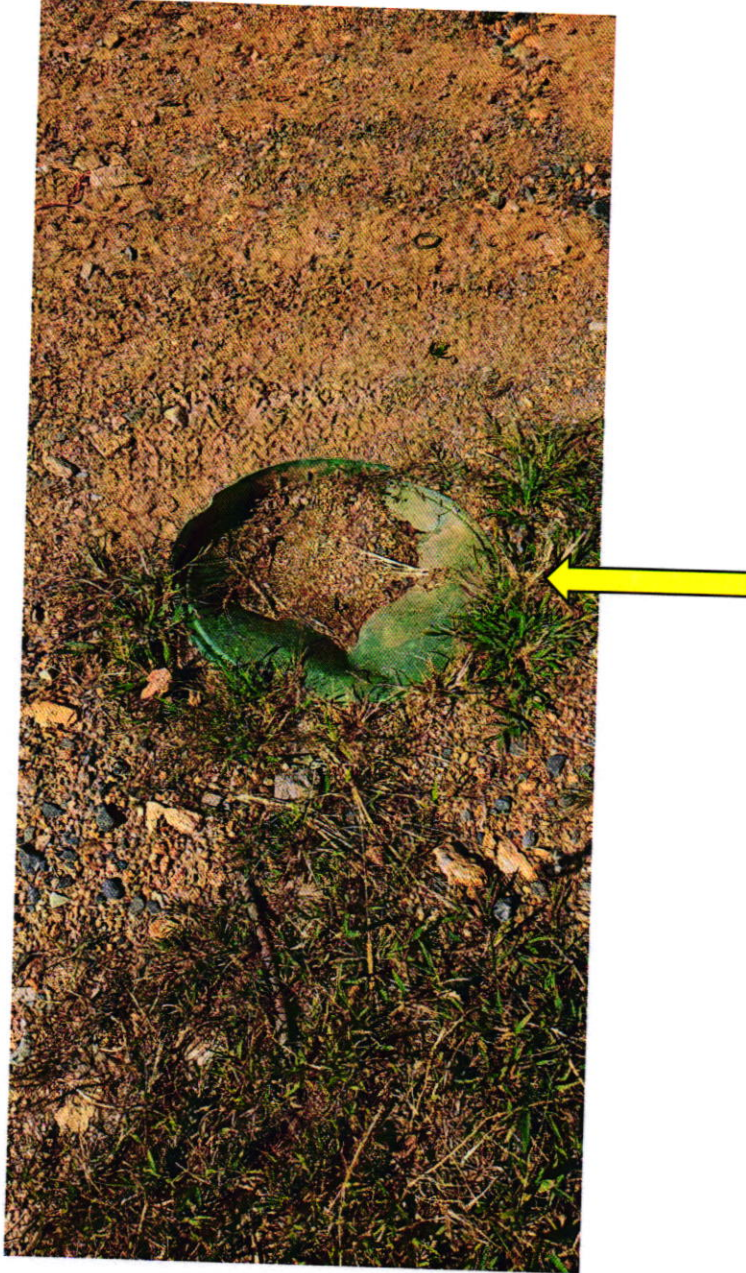
DATE: 9/9/25 INSPECTOR: Hank Oswald

Site Visit – 9/9/25
1045 Long Corner Road
Mt. Airy, MD 21771



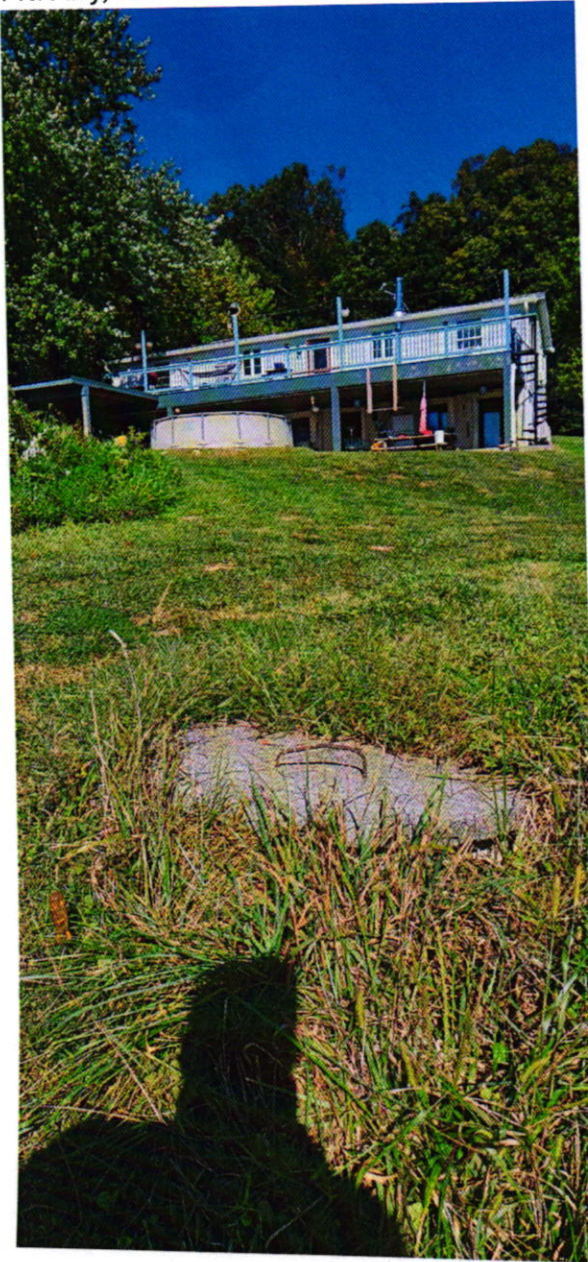
The well is located 3 feet off driveway.

Site Visit – 9/9/25
1045 Long Corner Road
Mt. Airy, MD 21771



Septic tank manhole cover is damaged.

Site Visit – 9/9/25
1045 Long Corner Road
Mt. Airy, MD 21771



Drywell concrete lid for office.

Site Visit – 9/9/25
1045 Long Corner Road
Mt. Airy, MD 21771



Office

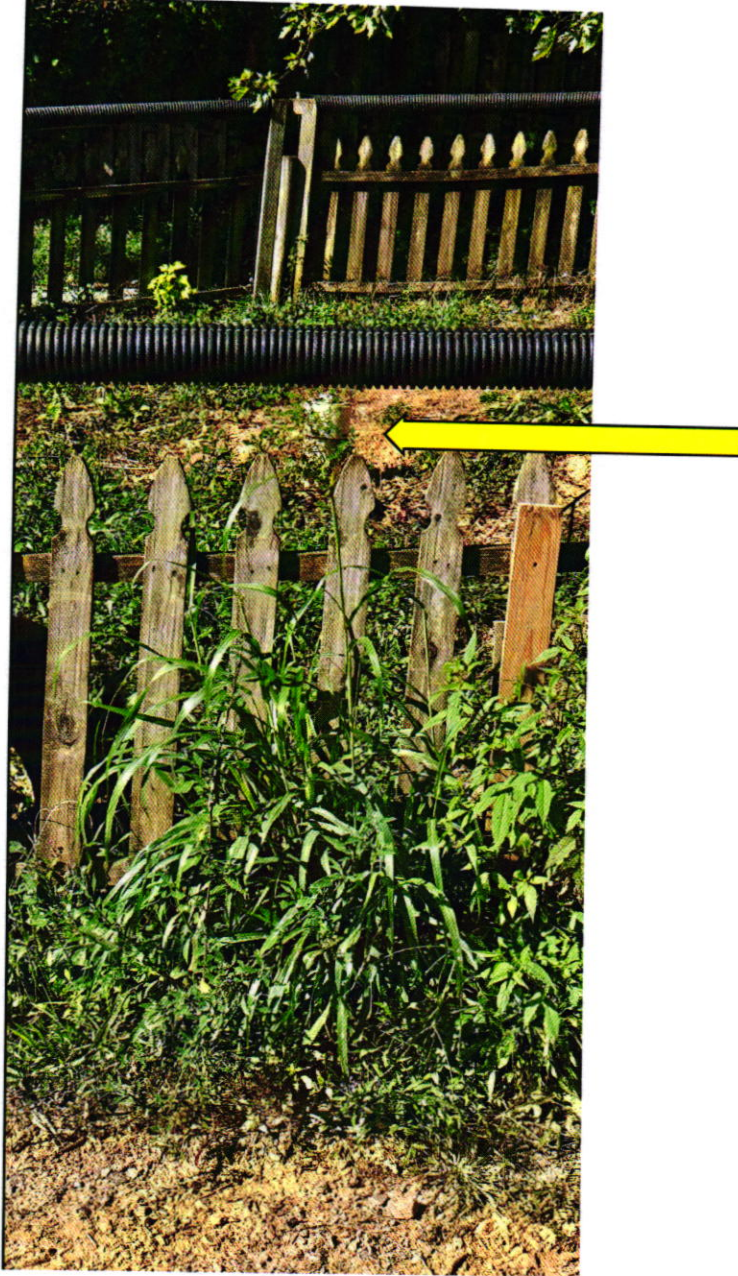
Drywell concrete lid for office.

Site Visit – 9/9/25
1045 Long Corner Road
Mt. Airy, MD 21771



Drywell clean-out for house.

Site Visit – 9/9/25
1045 Long Corner Road
Mt. Airy, MD 21771



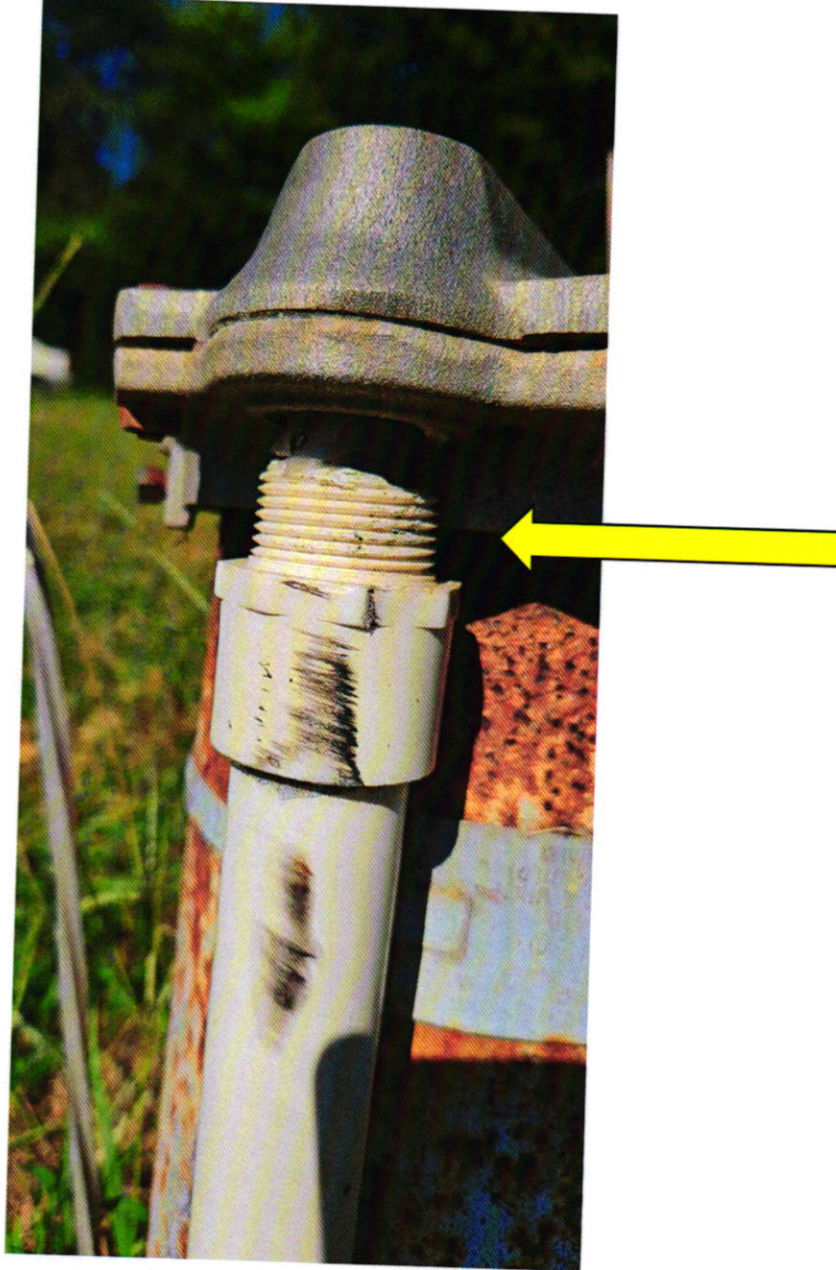
Drywell clean-out for house.

Site Visit – 9/9/25
1045 Long Corner Road
Mt. Airy, MD 21771



Septic tank manhole cover.

Site Visit – 9/9/25
1045 Long Corner Road
Mt. Airy, MD 21771



PVC conduit is disconnected and appears damaged.

Site Visit – 9/9/25
1045 Long Corner Road
Mt. Airy, MD 21771



Well Tag # HO-73-1404

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Wednesday, September 10, 2025 11:56 AM
To: d.mast@mastconstructionllc.com
Subject: RE: B25002804_1045 Long Corner Road
Attachments: County Waiver Form interactive_Perc Cert Plan Requirements.pdf; office as built_250910_113024.pdf; SEPTIC CONTRACTORS 2.4.2020.pdf

Hi Douglas,

I conducted my site visit yesterday morning, and met with the Deputy Director this morning. Mr. Williams is not opposed to the waiver to the perc cert plan requirements. You will need to complete, sign and return the attached waiver form. We will also need an updated site plan showing the location of the drywell cleanout for the house and the septic components serving the office (see attached office as-built drawing for location of components). I think you can squeeze these components in on your existing site plan after moving your label for the office over to the other side.

During my site visit, I observed the manhole cover was damaged, so you will need to contact a licensed septic contractor to repair it. The septic contractor must obtain a minor septic repair permit from this office to replace the manhole cover before doing the work. In addition, the well had a broken/disconnected pvc conduit, so that needs to be repaired. Lastly, the well did not meet the 10 foot setback to the driveway, so you will need to install bollards or large boulders around the well to protect it from traffic on the driveway.

Once the above aforementioned work is completed, and the waiver and has been received and approved, this office will approve the building permit.

Please send in the waiver form and updated site plan as soon as you can. You may forward the documents to me via pdf. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
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From: d.mast@mastconstructionllc.com <d.mast@mastconstructionllc.com>
Sent: Tuesday, September 9, 2025 2:33 PM

To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Subject: RE: B25002804_1045 Long Corner Road

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Hi,

I just realized that you sent that email yesterday and the 10:00 was for today, Tuesday.

Obviously, I was not there. Let me know what you come up with.

Sincerely,

Douglas

From: Oswald Jr, Woodin [<mailto:hoswald@howardcountymd.gov>]

Sent: Monday, September 8, 2025 12:06 PM

To: Douglas Mast

Subject: RE: B25002804_1045 Long Corner Road

Hi Douglas,

Thanks for the floor plan. I need to conduct a quick site visit to put eyes on the well and septic system. I was planning on coming out tomorrow morning around 10 if that's okay. It will only take about 15 -20 minutes. You don't have to present unless you want to be.

Thanks,

Hank

Hank Oswald
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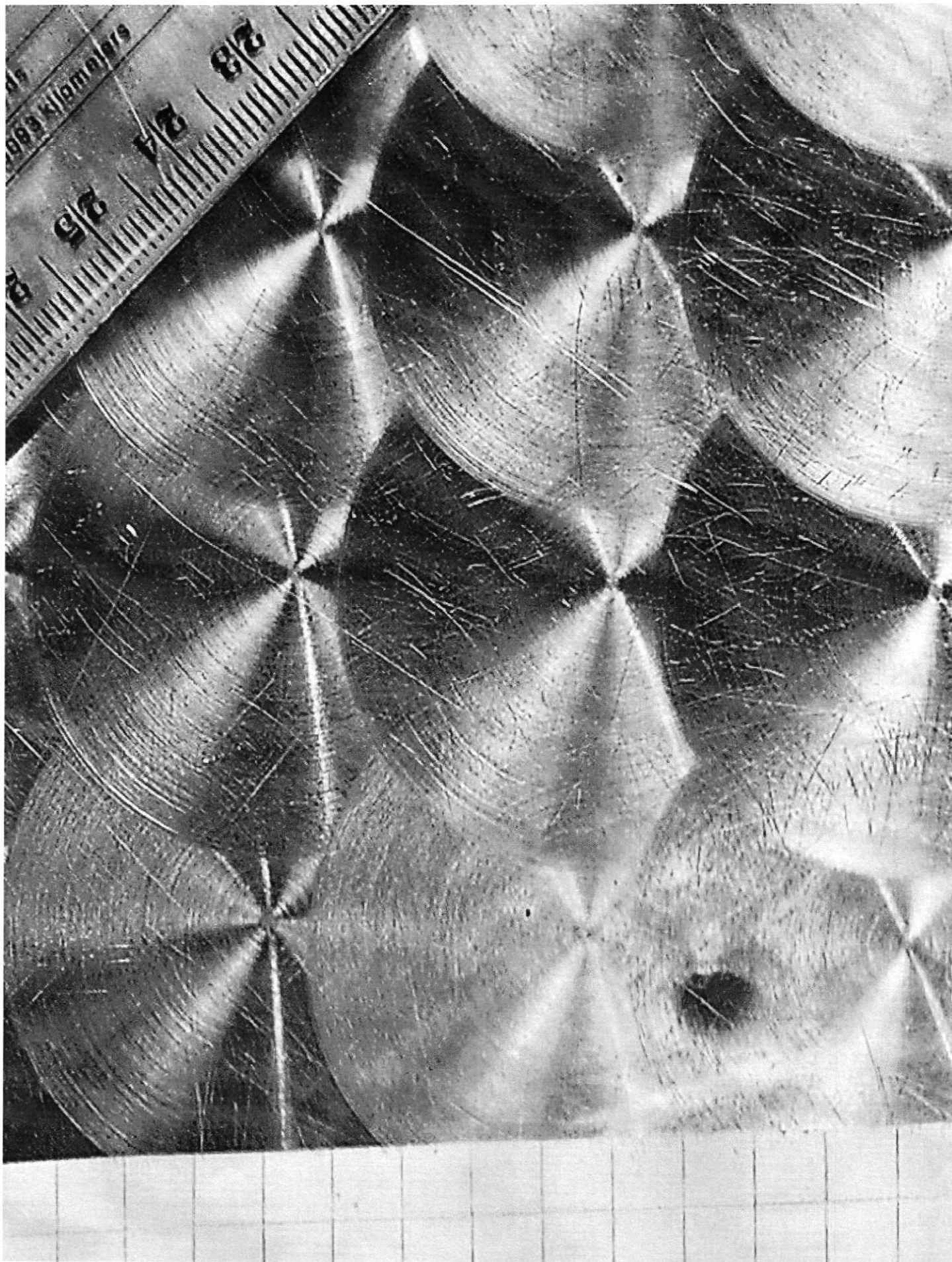
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Sent: Wednesday, September 3, 2025 3:00 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: RE: B25002804 1045 Long Corner Road

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Thanks,

Douglas

From: Oswald Jr, Woodin [<mailto:hoswald@howardcountymd.gov>]

Sent: Tuesday, August 5, 2025 11:45 AM

To: a.koncza1@mastconstructionllc.com

Cc: d.mast@mastconstructionllc.com

Subject: B25002804_1045 Long Corner Road

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Real Property Data Search ()
Search Result for HOWARD COUNTY

[View Map](#) [No Ground Rent Redemption on File](#) [No Ground Rent Registration on File](#)

Special Tax Recapture: None

Account Number: District - 04 Account Identifier - 329007

Owner Information

Owner Name: MAST DOUGLAS E Use: RESIDENTIAL
MAST DINAH E T/E Principal Residence: YES
Mailing Address: 1045 LONG CORNER RD Deed Reference: /12763/ 00011
MOUNT AIRY MD 21771-8036

Location & Structure Information

Premises Address: 1045 LONG CORNER RD Legal Description: 5.001 AR
MT AIRY 21771-0000 1045 LONG CORNER RD
WOODBINE

Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No:
0006 0011 0184 4010102.14 1002 2026 Plat Ref:

Town: None

Primary Structure Built Above Grade Living Area Finished Basement Area Property Land Area County Use
1976 912 SF 300 SF 5.0000 AC

StoriesBasementType ExteriorQualityFull/Half BathGarageLast Notice of Major Improvements
1 YES STANDARD UNITSIDING/4 2 full

Value Information

	Base Value	Value	Phase-in Assessments	
		As of	As of	As of
		01/01/2023	07/01/2025	07/01/2026
Land:	246,200	246,200		
Improvements	200,900	200,900		
Total:	447,100	447,100	447,100	
Preferential Land:	0			

Transfer Information

Seller: SMITH CHARLES E	Date: 10/14/2010	Price: \$245,000
Type: NON-ARMS LENGTH OTHER	Deed1: /12763/ 00011	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

Partial Exempt Assessments: Class	07/01/2025	07/01/2026
County:	000	0.00
State:	000	0.00
Municipal:	000	0.00 0.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: Approved 03/25/2011

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application Date:

